



MINUTES

Ordinary Council Meeting

20 February 2024

CONFIRMATION OF MINUTES

These Minutes have been CONFIRMED by Council as the official record for the Shire of Gingin's Ordinary Council Meeting held on 20 February 2024.

**Councillor C W Fewster
PRESIDENT**

Date of Confirmation: _____

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Applicants and other interested parties should refrain from taking any action until such time as written advice is received confirming Council's decision with respect to any particular issue.

ACKNOWLEDGEMENT OF COUNTRY



The Shire of Gingin would like to acknowledge the Yued people who are the traditional custodians of this land. The Shire would like to pay respect to the Elders past, present and emerging of the Yued Nation and extend this respect to all Aboriginal people. The Shire also recognises the living culture of the Yued people and the unique contribution they have made to the Gingin region.

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ORDER OF BUSINESS

1 DECLARATION OF OPENING

2 RECORD OF ATTENDANCE, APOLOGIES AND LEAVE OF ABSENCE

2.1 ATTENDANCE

Councillors – C W Fewster (President), L Balcombe (Deputy President), F Johnson, R Kestel, F J Peczka, E Sorensen, L Stewart, J Weeks and N Woods

Staff – A Cook (Chief Executive Officer), L Crichton (Executive Manager Corporate and Community Services), R Kelly (Executive Manager Regulatory and Development Services), V Crispe (Executive Manager Operations and Assets), J Bayliss (Manager Planning and Building), L Burt (Coordinator Governance), and K Johnston (Governance Support Officer/Minute Officer)

Gallery – There were 17 members of the public present in the Gallery.

2.2 APOLOGIES

Nil

2.3 LEAVE OF ABSENCE

Nil

3 DISCLOSURES OF INTEREST

A Cook - Chief Executive Officer

Item: 12.2 Consideration of Motions Arising from Annual Meeting of Electors - 6 February 2024

Interest: Financial

Reason: Motion 5.2.3 Designation of Certain Positions as Important Positions as the outcome sought would affect the manner in which the CEO administers these employees.

Motion 5.2.4 Publication of CEO KPIs and Performance Review in the Annual Report as the outcome sought would directly affect his employment confidentiality.

Councillor Johnson

Item: 12.1 Consideration of Motions Arising from Annual Meeting of Electors - 6 February 2024

Interest: Impartiality

Reason: I am a resident of Seabird and former Treasurer and member of the Seabird Progress Association.

4 PUBLIC QUESTION TIME

4.1 RESPONSES TO PUBLIC QUESTIONS PREVIOUSLY TAKEN ON NOTICE

Nil

4.2 PUBLIC QUESTIONS

**4.2.1 Kerry Butler Gingin
Gingin Medical Centre**

Q1. What is the Shire and the ratepayers putting towards the Doctors Surgery to facilitate whomever we can in that surgery?

Response by the President

I'll take the part of your question relating to the amount of subsidy paid to the Doctor on notice. That information may be confidential.

The Doctor and referrals have nothing to do with Council. The Doctor owns the business, and the Shire owns the premises. The Shire provides a subsidy but any decisions the Doctor makes are his business.

**4.2.2 Kate Lane
Neergabby
Annual Electors Meeting and Guilderton Café**

Q1. There is an error in the Minutes of the AGM Agenda regarding the motion that Council employ an independent audit about the Belgravia deal. It was moved by Samantha Smith however I didn't second it.

Response by the President

I have listened to the audio of the meeting, unfortunately the equipment we were going to record on didn't work however the CEO recorded the meeting. The audio clearly states and when I announced the motion it was moved by Samantha Smith and seconded by Kate Lane.

Q2. In today's Agenda it stages "at the Electors' Meeting Mrs Lane made a statement that contained incorrect comments about the responses provided by the CEO and the cost of the solar panels on the building". Will you please specify exactly which comments you consider to be incorrect?

Response by the President

Question taken on notice.

Q3. Under the Freedom of Information Act I obtained a Purchase List from the Shire Executive which stated that the cost of the solar panels was \$13,636,36. Today's Agenda states that my comment that the cost was "in excess of \$13,000" is incorrect. Was the information supplied to me regarding this false and will Council please reveal the correct amount and explain why I was misled?

Response by the President

Question taken on notice.

**4.2.3 Mary Cameron
Gingin
ACROD parking**

Q1. The decision has been made to relocate the two bays to the side of the Medical Centre as two ACROD parking bays. Could it possibly be one ACROD bay and one marked as seniors/strollers and one pick up and drop off?

Response by the President

Council has heard your concerns.

**4.2.4 Kerry Butler
Gingin
Lifestyle Village**

Q1. Regarding the Lifestyle Village, is the building that is being built there at the minute on the side of the road, is that a shed?

Response by the President

I believe the building you are referring to is a storage shed for caravans, boats and is the main storage area.

Q2. So that is going to be the main entrance to the village?

Response by the President

The entrance is further down the road but yes.

**4.2.5 Kate Lane
Neergabby
Guilderton Café**

Q1. At the meeting on 17 October 2023 Mr Fewster stated in response to Q3 “the solar equipment was subsequently purchased by the new lessee off Belgravia” and Mr Cook CEO stated in answer to Q7 “It (the solar system) was bought from Belgravia and Council now owns that infrastructure”. Which of these statements is true and which is false?

Response by the President

Belgravia purchased the solar panels from the previous lessee the Enrights and as part of the negotiations going forward when Belgravia sold the lease to the new lessees there were negotiations in place where amongst other items, we purchased the solar panels from Belgravia, so we actually own the solar panels. Regardless of what was bought, a sum of money was paid to the value of \$75,000 and repayments over the term of the lease is \$180,000 which is good for Council.

Q2 That was not the question I asked. Which of the statements that were made by yourself and the CEO at the meeting on October 17 2023 was true and which one was false?

Response by the President

Question taken on notice.

5 PUBLIC STATEMENT TIME

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson

SECONDED: Councillor Balcombe

That Council resolve to amend the order of business for the meeting to include Public Statement Time.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

**5.1 Kerry Butler
Gingin
Reinstatement of Eliza's Cottage information sign at CU@Park**

Made a statement requesting that the Eliza's Cottage information sign be reinstated at CU@Park.

**5.2 Mary Cameron
Gingin
Gingin Railway Station**

Made a statement in relation to the ongoing maintenance of the Gingin Railway Station.

**5.3 Kate Lane
Neeragby
Annual Meeting of Electors – 6 February 2024**

Made a statement expressing disappointment with Minutes of the Annual Electors meeting held on 6 February 2024.

6 PETITIONS

Nil

7 APPLICATIONS FOR LEAVE OF ABSENCE

Nil

8 CONFIRMATION OF MINUTES

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson SECONDED: Councillor Sorensen

That Council confirm the Minutes of the Ordinary Council Meeting held on 16 January 2024 and the Special Council Meeting held on 6 February 2024 as a true and accurate record.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

9 ANNOUNCEMENTS BY THE PRESIDING MEMBER

Deputations

Four Deputations were heard prior to the meeting commencement, the details of which are as follows:

Item 14.2 Proposed Amendment (No.25) to Local Planning Scheme No.9 - Rezone Lot 5905 (No. 1546) Cowalla Road, Wanerie from General Rural (Uncoded) to General Rural (Coded 10)

Speakers: Henry Dykstra (Harley Dykstra)
Tony Ruse

The deputation was in support of the Officer's Recommendation.

Item 14.1 Application for Development Approval - Proposed Retail Centre on Lot 9500 (Formerly 601) Brockman Street, Gingin

Speakers: Neil Teo (Dynamic Planning and Developments)
Chris Bitmead (Tabec)
John Young (Landowner/Developer)
Nic Preston (Hodge Collard Preston Architects)

The deputation was in support of the Officer's Recommendation.

Item 14.1 Application for Development Approval - Proposed Retail Centre on Lot 9500 (Formerly 601) Brockman Street, Gingin

Speaker: Nick Perrignon

The deputation was in support of the Officer's Recommendation.

Aged Housing

Speaker: Sylvia Kelly

The deputation was in support of Aged Housing.

10 UNRESOLVED BUSINESS FROM PREVIOUS MEETINGS

Nil

11 QUESTIONS BY MEMBERS OF WHICH DUE NOTICE HAS BEEN GIVEN

Nil

12 REPORTS - OFFICE OF THE CEO

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Kestel **SECONDED:** Councillor Balcombe

That Items 14.1 and 14.2 be brought forward for consideration.

CARRIED UNANIMOUSLY

9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

In accordance with Council's resolution, the following items were brought forward and considered the first items of business:

- *Item 14.1 Application for Development Approval - Proposed Retail Centre on Lot 9500 (Formerly 601) Brockman Street, Gingin - see page 129.*
- *Item 14.2 Proposed Amendment (No,25) to Local Planning Scheme No.9 - Rezone Lot 5905 (No. 1546) Cowalla Road, Wanerie from General Rural (uncoded) to General Rural (coded 10) - see page 416.*

Item 12.1 was considered after Item 14.2.

12.1 SEABIRD TOWNSITE PROTECTION

File	ENV/17
Reporting Officer	Aaron Cook - Chief Executive Officer
Refer	Nil
Appendices	1. Correspondence - SPSA [12.1.1 - 1 page]

DISCLOSURES OF INTEREST

Councillor Johnson disclosed an impartiality interest in Item 12.1 as he is a resident of Seabird and former Treasurer and member of the Seabird Progress Association.

PURPOSE

To consider a request from the Seabird Progress and Sports Association Inc (SPSA) for a financial contribution towards the cost of legal advice regarding the gazetting of Seabird as a town.

BACKGROUND

As Council would be aware there is significant history in relation to the above and the Seabird Seawall. As the State approved the subdivision of Seabird despite the fact that there were strong arguments at the time as to the appropriateness of the location, the community is of the opinion that the State should be contributing to and liable for protecting the residences in the town from coastal erosion.

The Seawall, which was constructed by the State, was never intended to be a permanent structure and was built to have a limited lifespan. This was made clear at the time of construction and was intended to allow the affected residents time to consider their future.

Council Officers have prepared several grant submissions over the years to support the Seabird Progress and Sports Association (SPSA) in its requests to the State to investigate a proposal to build groynes to protect and prolong the lifespan of the Seawall and the coast in general. These submissions have not been successful and as such, the preliminary coastal engineering designs or environmental impact studies required to commence this project cannot be commissioned.

Currently there is no prospect of the Shire being able to fund the replacement of the Seawall or to continue to fund its maintenance over the next decade as it deteriorates further, so unless the State agrees to bears the responsibility and financial cost then the wall will eventually need to be removed.

COMMENT

The SPSA, in correspondence received by the Shire on 3 January 2024 (**see appendix**) requests that Council consider making a financial contribution of \$2,500 towards obtaining a legal opinion regarding the gazettal of the Seabird townsite, to ascertain whether the State Government has responsibility to safeguard the town. The quote provided to the SPSA for this advice is \$12,000.

Investigating this matter and potentially identifying that the State Government would be responsible may assist the Shire in obtaining funds or commit the State to funding works to undertake protection and ongoing maintenance of the Seawall into the future.

The advice received from State Departments over the last few years is that the State assisted the residents by building the Seabird Seawall as a temporary measure for protection to allow the residents to relocate, and that the State will not fund further works or maintenance.

In deliberating on this request, Council should consider the following:

1. What precedent (if any) will be set if Council supports the request?
2. Is it considered to be a responsible use of ratepayer funds given that there is no certainty that a legal opinion in the affirmative will prompt the State to take the action sought by the SPSA?

STATUTORY/LOCAL LAW IMPLICATIONS

Nil

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Council's adopted 2023/24 budget includes an amount of \$80,000 in Other Gov Legal Expenses, of which \$53,336 has been spent to 7 February 2024.

With other legal costs expected over the coming months, expenditure from this account may potentially run over budget prior to the end of the financial year.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	3. Planning & Sustainability - Plan for Future Generations
Strategic Objective	3.3 Planning & Land Use - Plan the use of the land to meet future requirements incorporating economic development objectives and community amenity

VOTING REQUIREMENTS - SIMPLE MAJORITY

SUBSTANTIVE MOTION/OFFICER RECOMMENDATION

MOVED: Councillor Kestel SECONDED: Councillor Johnson

That Council agree to provide a financial contribution of \$1,000 plus GST to the Seabird Progress and Sports Association to assist in seeking legal advice as to the responsibility of the State to protect the Seabird Seawall and residences.

AMENDMENT MOTION

MOVED: Councillor Johnson SECONDED: Councillor Peczka

That the substantive motion be amended by replacing the amount of "\$1,000" with the amount of "\$2,500".

CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The amendment was incorporated into the Substantive Motion, which was then put to the vote.

COUNCIL RESOLUTION

MOVED: Councillor Kestel **SECONDED:** Councillor Johnson

That Council agree to provide a financial contribution of \$2,500 plus GST to the Seabird Progress and Sports Association to assist in seeking legal advice as to the responsibility of the State to protect the Seabird Seawall and residences.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

Reason for Amendment

Council considered that \$2,500 was a responsible contribution to the Progress Association and that such a contribution would benefit Council and the community.



Seabird Progress and Sports Association Inc.

c/- Post Office

Seabird, W.A. 6042.

Email: seabirdprogress@gmail.com

Cr Wayne Fewster,

Shire President,

Shire of Gingin,

PO Box 510,

Gingin, WA, 6503.

Dear Cr. Fewster,

I understand that Cr. Johnson advised Council that we, the Seabird Progress Association, were seeking legal advice concerning the gazetting of our town, and as a consequence attempting to ascertain whether the State Government has responsibility to safeguard the town. The preliminary response we received suggests there is some truth supporting this theory, and we are following up our initial request with a full legal opinion. In essence, the feeling is that if it can be proven that the State has responsibility then we will be approaching the relevant Department/s for help to ensure our request for protection of the foreshore is undertaken by them.

Identifying that the State Government is responsible would, we believe assist the Shire in funding discussions with the State Government regarding ongoing maintenance of the sea wall.

Cr. Johnson advised us that it had been suggested to him that we should write to Council seeking your support, so we can reach an outcome that will finalise the issue, and everyone will know where we stand. The cost is approximately \$12,000. We hope we can look forward to your support, and would appreciate any financial contribution Council might consider providing. We believe Cr. Johnson mentioned a figure of \$2,500.00 to Council, and that amount would be most welcome.

Regards,

Seabird Progress Association

12.2 CONSIDERATION OF MOTIONS ARISING FROM ANNUAL MEETING OF ELECTORS - 6 FEBRUARY 2024

File	COR/31
Author	Lee-Anne Burt - Coordinator Governance
Reporting Officer	Aaron Cook - Chief Executive Officer
Refer	Nil
Appendices	1. Unmade Road Reserves North of Lancelin [12.2.1 - 1 page]

DISCLOSURES OF INTEREST

Aaron Cook (CEO) has disclosed a Financial Interest in Motion 5.2.3 Designation of Certain Staff Positions as Important Positions as the outcome sought would affect the manner in which the CEO administers these employees.

Aaron Cook (CEO) has disclosed a Financial Interest in Motion 5.2.4 Publication of CEO's KPIs and Performance Review in the Annual Report as the outcome sought would directly affect his employment confidentiality.

PURPOSE

To consider motions arising from the 2023/24 Annual Meeting of Electors held on Tuesday, 6 February 2024.

BACKGROUND

In accordance with s.5.33 of the *Local Government Act 1995*, motions carried at the above meeting are now presented for Council's consideration. The numbers for each motion correspond to the item number in the Minutes of the Annual Meeting of Electors.

COMMENT

All motions carried at the Annual Meeting of Electors are listed below, with officer comments if and as applicable. The number for each motion corresponds to the relevant item number in the Minutes of the meeting.

Officer recommendations have not been provided with respect to individual motions at this point. It is suggested that, in the event that Council wishes to give further consideration to any of the matters raised, then it should resolve that an officer report be prepared on the matter and presented to a future meeting of Council. This will ensure that Council has all of the information required in order to make a fully informed decision.

5.1.1 Production of Explanatory Booklet - Planning and Building Requirements for Rural Living Areas

Moved D M Gerloff Seconded H K Gerloff

That the Gingin Shire Council review the planning and building policies, regulations and procedures for properties zoned 'Rural Living Areas' within the Shire and produce and distribute to all ratepayers a simplified explanatory booklet clearly detailing what is now acceptable or not.

Carried
20/0

Officer Comment

The Shire is currently working through an Omnibus Amendment to Local Planning Scheme No. 9 that will see amendments to requirements for Rural Living and Rural areas.

The request to have a brochure prepared explaining the requirements of each Rural Living area can be facilitated over a period of 12 months. Staff will need to investigate the historical background of each estate and whether certain requirements are still valid. Brochures should also include information regarding firebreak requirements and fire mitigation.

Once the brochures are prepared, they will need to be reviewed on an annual basis. As such it is recommended that they be produced in an electronic format that can be downloaded from the Shire's website, rather than posting out hard copies each year.

5.1.2 Multi-Use Pathway from Lancelin Townsite to Lancelin Community Sporting Complex

Moved: Tina Broughton Seconded: Jackie Lobb

That the Gingin Shire Council place the design and installation of a multi use pathway connecting the Lancelin community with the Lancelin Community Sporting Complex into the Shire budget with the project to be completed within 2 years or the earliest time after that.

Carried
29/0

Officer Comment

The implementation of a Dual Use Path Way from the Lancelin townsite to the Lancelin Sporting Complex is contained within the Deed of Agreement between the Shire and the developer of Lancelin South. This development was commenced a significant length of time ago, and all expectations at the time that the Deed was entered into were that the trigger point would have been reached by now and the path .

The path length is estimated at just over 2,000 metres from the driveway of the Sporting Complex to the edge of the Lancelin townsite. In addition, a further 350 metres will need to be constructed to take the path to the upper carpark. Based on current costings to build dual use paths, it is estimated that the total cost for this project would be conservatively costed at approximately \$1.5 million, acknowledging that there may be other requirements such as lighting and potentially retaining and hand rails on the driveway access etc.

Should Council decide to undertake these works now, it will be necessary to reach agreement with the developer to ensure that the developer refunds the cost of the project to the Shire once the trigger point referenced in the Deed of Agreement is met.

In addition to the information provided above, Council has always placed a priority on providing paths that provide access to schools and enable the elderly to access essential services. There are many areas within the Shire where this has still not been achieved. There are also many existing paths that are in serious need of repair and maintenance. A focus on providing the path requested will remove all ability for Council to fund other paths for a significant period into the future.

5.2.1 Bidamina Mining Project – Orange Springs Road

Moved: David Wilkie Seconded: Peter Enright

That the Shire be instructed to object to the Bidamina Mining project because it's situated in a State Forest which is a wildlife habitat and is too close to the Moore river and offers no benefit to our community at large.

Carried
34/0

Officer Comment

The motion as put is for Council to oppose the proposed Bidamina Mine located south of Orange Springs Road. It needs to be noted that Council do not control, approve or reject proposed mining operations as this is controlled by the Department of Mines, Industry Regulation and Safety.

Council can, however, endorse the preparation of a letter by Administration to the Department outlining the objections of the community, as indicated at the Annual Meeting of Electors, to the proposed mine.

5.2.2 Change to Method of Electing the Shire President

Moved David Wilkie Seconded: Kate Lane

That the Council vote that the Shire President be elected by the community rather than by Council.

Carried
26/4

Officer Comment

The *Local Government Act 1995* (the Act) makes provision in s.2.11 and s.2.12 for a proposal to be made to change the method of electing the mayor or president from election by the council to election by the electors of the district.

Under s.2.11(2) and 2.11(3), a local government may make an Absolute Majority decision to change the method of filling the office of mayor or president, whether or not an elector proposal made under s.2.12 has been made.

Alternatively, under s.2.12(1), electors of the district may propose a change to the method of filling the office of mayor or president from election by the council to election by the electors, provided that the proposal is supported by at least 250 electors or 10% of the total number of electors of the district. Such a proposal must be in the form prescribed by Regulation 10AD of the *Local Government (Constitution) Regulations 1998*. If the council receives a proposal of this nature then it must be considered by such means as the council thinks fit, after which a motion is to be put to the council. Again, a decision to change the method of election needs to be carried by an Absolute Majority.

In either instance, Council may wish to gauge the level of support amongst electors for a proposed change prior to making a decision. The Shire could conduct its own survey of electors, or alternatively a formal poll could be undertaken by the WA Electoral Commission (WAEC).

Whilst the cost of engaging the WAEC to undertake a poll is not known at this point, the WA Electoral Commission has previously advised that, in the event that the method of electing the president is changed, then the cost of conducting a presidential election would be approximately \$3,000 over and above what the Shire already pays for an ordinary election. For the 2023 elections this cost was \$40,737.87.

If a decision is made to change the method of electing the mayor or president, then under s.2.13 of the Act this would not come into effect until the next ordinary elections in October 2025.

Changing the method of electing the president has significant implications that may not be understood by those outside of the local government arena, and which haven't been considered with respect to this request.

For instance election to Council is in essence a popularity contest that is based on a candidate's profile in the community and their electoral campaign, and not necessarily on their suitability for the role. There is no requirement for a candidate to have any relevant qualifications or experience, or even to have attended a number of Council meetings prior to election. In essence, candidates can be elected and immediately start participating in important strategic decision making with respect to matters that they do not fully understand.

The election of a candidate with no prior experience or training to the position of mayor or president not only places a great deal of pressure on the person concerned, but can also have very significant negative impacts on Council, the Administration and the community of the Shire. In most instances when this has occurred in other local governments the mayor or president is very reliant on guidance and mentoring by the CEO to upskill them for the role.

The current method of election by the council ensures that the 9 elected members vote on the most appropriate, experienced and skilled person to fill the role. This is important as it provides the best opportunity for Council to continue with a new President without losing traction on important matters following an election. It also provides Council with the opportunity to mentor Deputy Presidents into the role of President.

5.2.3 Designation of Certain Staff Positions as Important Positions

Moved: David Wilkie Seconded: Karen Rowe

That Department heads including the Fire Chief are designated as important positions that are ratified by Council rather than employed by the CEO.

Carried
20/5

Officer Comment

The motion as moved requests that Department Heads be designated as Important Positions. The term "Important Position" is not found within the *Local Government Act 1995*, and it is understood that the intent of the motion actually relates to the designation of Senior Employees in accordance with s. 5.37 of the Act.

Council considered the issue of Senior Employees at its meeting on 15 February 2022 (Item 11.1) and resolved at that time that the Shire's executive manager positions would cease to be designated as Senior Employee positions.

The designation of certain positions as Senior Employee positions means that the CEO is required to inform Council of each proposal to employ or dismiss a Senior Employee, and Council may either accept or reject the CEO's recommendation. However, the WA Industrial Relations Commission has previously found that the responsibility for employing and dismissing any employee (including Senior Employees) rests with the CEO and not the Council. Therefore there is no obligation on the CEO to accept Council's position.

The designation of Senior Employee positions can, however, impact on the relationship between the CEO and Council in the event that there is a dispute, and can potentially delay the appointment or dismissal of a Senior Employee thereby creating significant impacts on Administration.

In the event that Council elects to reinstate Senior Employee positions, then this would result in a change to the employment of the officers currently employed in those positions. It would therefore be advisable for the designation to only come into effect as the positions become vacant and before a new employee is appointed.

5.2.4 Publication of CEO's KPIs and Performance Review in the Annual Report

Moved: David Wilkie Seconded: Karen Rowe

That Council consider publishing the CEO's KPIs and Performance Review in the Annual Report.

Carried
24/1

Officer Comment

As part of the ongoing local government reform process, changes are proposed to the *Local Government Act 1995* that will require local governments to make publicly available the CEO's performance criteria, the report on the CEO's performance against that criteria and the CEO's response to that report on their performance.

There is no advice at this point as to when these changes will come into effect, as they are still subject to the development of regulations that will prescribe, amongst other things, the manner in which publication of the information will need to be undertaken.

Currently publication of this information is not a legislated requirement and, as such, would be a breach of confidentiality with respect to the CEO's employment and may result in Industrial Relations outcomes.

5.2.7 Review of ACROD Parking Bays – Gingin CRC/Medical Centre

Moved: Mary Cameron Seconded: Ed Fletcher

That Council review the ACROD parking bays at the base of the steps from the carpark to the building housing the Gingin Medical Centre, the Gingin CRC and the Gingin Library.

Carried
26/0

Officer Comment

The location of the ACROD parking at the Gingin CRC and Medical Centre building has been a topic of discussion on and off for a period of time.

The 2 ACROD bays are currently located to the right of the stairs leading up to the Medical Centre entry. It is proposed that they be relocated to the existing drop off/pick up point located on Lily King Place, which will then provide uninterrupted, level access to the Medical Centre, the CRC and the Library.

One of the bays currently used for ACROD parking will then be designated as a drop off/pick up point, with the other becoming dedicated parking for the Medical Centre.

5.2.8 Construction of Northern Access Road to Lancelin Townsite

Moved: Malcolm Lobb Seconded: Karen Rowe

To push forward with the help of the Council through the Wheatbelt Development Commission to construct a road on the northern access from Lancelin to Indian Ocean Drive.

Carried
28/0

Officer Comment

There has been debate over many years with respect to construction of a road to the north of Lancelin connecting the town to Indian Ocean Drive in order to provide another evacuation route for residents in the event of a bushfire threat to the town.

As the map below shows, there is no gazetted road reserve that leads directly to Indian Ocean Drive. Rather there is:

1. An unmade section of Beacon Road heading north that intersects with an unnamed, unmade gazetted road that then heads east and south to intersect with Indian Ocean Drive (**see Appendix 12.2.1** – route marked in red). This route totals approximately 9.3km of unmade road; and
2. Beacon Road also intersects with a unmade section of Sappers Road within the Nilgen Nature Reserve and this heads east and slightly south to meet Indian Ocean Drive which represents approximately 8.83km of unmade road (**see Appendix 12.2.1** – route marked in blue).

Whilst understanding that community concerns about public safety are high, this type of project would need to be fully engineered and costed prior to seeking funding from the State and Federal Governments.

To put the cost into perspective the upgrade to Orange Springs Road carried out some years ago, which was a reconstruction as opposed to a new build, was over \$10 million. An undertaking like this with the required clearing permits, engineering studies and design and environmental reports would potentially require a budget of a minimum of \$20 million + for an unsealed gravel road.

If Council wishes to progress this matter, then guidance should be sought from the State Government as to how to proceed and which route is preferred, and the process of applying for grants to fund the design and engineering for the project will need to be commenced.

5.2.9 Provision of Formal Emergency Muster Area - Lancelin

Moved: Malcolm Lobb Seconded: Jacqui Lobb

That the Council provide assistance to have a proper muster area that people can retreat to if so asked by the authorities.

Carried
29/0

Officer Comment

Muster points are locations where community members can “shelter in place”, possibly because the circumstances at the time mean that evacuation is not possible.

As Council is aware, the Shire's Local Emergency Management Committee has addressed the matter of muster points in the adopted Local Emergency Management Arrangements for the Shire of Gingin. However, this information is not made available to the public because the decision to activate a particular muster point can only be made by the Hazard Management Agency coordinating an emergency response. This decision is based on issues such as the type of emergency being experienced, where it is located in relation to a community, wind direction etc. If potential muster points are publicised then there is a real risk of members of the public making their own decision to go to a particular point that may not be the safest place at the time.

For that reason, the establishment of a single, publicised muster point as requested would not be recommended because, depending on the nature of the emergency and conditions at the time, that point may not be safe.

Depending on the situation, the Hazard Management Agency may determine that evacuation is the preferable course of action.

It is also important to note that DFES and Red Cross, as well as other agencies, have been promoting the need for individuals to prepare for emergencies by creating their own individual emergency plans that include "taking what you need" in terms of items such as:

- Food and water [at least 4lts per person per day];
- Warm, waterproof clothing and comfortable shoes;
- Sunscreen and sun protection;
- Torch and batteries;
- Mobile phone;
- Device chargers and battery packs;
- Battery or wind-up radio;
- Medication and prescriptions;
- First aid kit;
- Pet essentials;
- Baby essentials (wipes, toys, nappies, blankets, a baby sling, medication, formula);
- Activities for children (eg, cards); and
- Cash.

Consideration should also be given to insurance requirements, plan for pets/livestock, young children or elderly persons and identifying items of sentimental or family importance.

The NDIS is currently working on individual emergency plans as part of its requirements.

It is important that people are responsible for their own requirements. If there is a direction to go to a muster point this usually means that there is no way to safely leave the community, and correspondingly a high likelihood that emergency services cannot gain access to provide support.

5.2.10 Construction of Footpath – Atkinson Way, Lancelin

Moved: Malcolm Lobb Seconded: David Wilkie

That Council budget for a footpath down Atkinson Way from the primary school through to Wangaree Park.

Carried
28/0

Officer Comment

This motion was presented on the basis that there was no footpath from the Lancelin Primary School to the Lancelin Plaza commercial area and Wangaree Park. An investigation has been conducted using aerial photos of Lancelin and these clearly show that there is a footpath constructed on the southern side of the Lancelin Primary school and Cray Street that runs in both directions to Gingin Road and Cockram Street.

The path on Gingin Road continues south to the Lancelin Plaza and Wangaree Park and further. The Cockram Road footpath travels south all the way to King Street at the Roadhouse and Business Area.

If Council decides to consider a footpath along Atkinson Way, then this would require construction of approximately 530m of footpath, and would result in three footpaths on three roads that all run parallel to the south. It appears that this would be an inefficient use of Council resources.

If there is an issue with children accessing the Plaza and Wangaree Park then a more appropriate option would be to provide a path along Riley Street, which would only require construction of approximately 80m of footpath.

5.2.11 Moore River Café and General Store

Moved: Samantha Smith Seconded: Kate Lane

That Council employ an independent audit about the Belgravia deal and release the results to the community.

Carried
24/0

Officer Comment

Mrs Lane, who originally raised this matter at the Electors' Meeting, has on a number of occasions raised the same issue with Council and officers and has previously been provided with all relevant information regarding the transaction. A Freedom of Information application has been facilitated and Mrs Lane has also previously taken her queries to the Department of Local Government, Sport and Cultural Industries.

All Elected Members have been advised of, and provided with the information relating to this matter and how the purchase was enacted.

A full background of this matter will not be provided at this point as it has previously been included in Council Minutes. However, Council's decision to undertake the purchase was based on achieving an outcome that facilitated assignment by Belgravia Leisure of the lease of the premises to the current lessee as the sale of the equipment was delaying progression and resulting in the Café remaining closed. It was considered desirable to expedite this outcome given the expressed dissatisfaction of the community with the performance of Belgravia.

It is considered that it would be a waste of Shire resources to engage an independent auditor to investigate the single transaction of the Shire purchasing the kitchen equipment and solar panels from Belgravia Leisure.

5.2.12 Review of Local Planning Scheme No. 9

Moved: Samantha Smith Seconded: David Wilkie

That LPS 9 be reviewed and updated with a focus on tourism with a Steering Committee including at least 5 members of the community.

Carried
25/0

Officer Comment

The Shire's Planning Officers have been working on an Omnibus Scheme Amendment to Local Planning Scheme No. 9 which includes amendments addressing tourism.

The Omnibus Scheme Amendment will be advertised for public submissions prior to being presented to Council for adoption.

The Omnibus Scheme Amendment has been progressed over a number of years and, as stated, is nearing completion. This important document must be subjected to a period of community consultation prior to final adoption.

As such, the establishment of a Steering Committee at this late stage would only further delay progression of the matter.

5.2.13 Quarterly Meetings with Community Group Representatives

Moved: Samantha Smith Seconded: Karen Rowe

That Council has quarterly meetings with a member of each community group to discuss ongoing issues.

Carried
24/0

Officer Comment

In the past, in conjunction with Councillor tours of various parts of the Shire, invitations have been extended to recognised community groups in those areas to meet with Council. This practice has been well received and will continue to be facilitated.

In addition, a new initiative has recently been implemented where an open invitation is extended to members of the public to meet with Councillors in an informal setting for tea or coffee. The first of these informal sessions was held on 5 December 2023 and also proved to be popular. Again, more of these sessions will be arranged in the future.

Apart from the above, community groups and individuals are always free to request a meeting with Councillors and/or Administration if there are issues that they would like to discuss.

Introducing an additional layer of consultation between Councillors and community group representatives on a quarterly basis would be difficult to facilitate.

5.2.14 Freeze on Rates Increase and Reduction of Penalty for Late Payment of Rates

Moved: Karen Rowe Seconded: David Wilkie

That the Council does not increase rates for at least 1 year, and also reduce the 7% penalty for late payment of rates.

Carried
16/7

Officer Comment

This request acknowledges the fact that many in society are struggling with the increased cost of living and that a nil rates increase may be of assistance. Increased costs also apply to local government across all of its activities and it is increasingly difficult for the Administration to achieve the budgeted requirements set by Council.

Council does have a Financial Hardship policy (Policy 1.39) which applies to all ratepayers experiencing financial hardship. Outside of the policy, ratepayers can make arrangements to enter into a repayment plan.

Unfortunately the option of not raising rates is unrealistic when the cost of undertaking Shire services is increasing, unless a corresponding reduction in services is also to be considered.

5.2.19 Coastal Management

Moved: Michael Cramb Seconded: Malcolm Lobb

1. That the implementation of the Coastal Management Strategy be suspended in its entirety.
2. To the extent that the CEO still has some form of authority to close beaches that was granted in relation to Edward Island, that delegation be revoked.

Carried
19/4

Officer Comment

Council has been working through the revised CHRMAP and the Coastal Management Strategy for a significant period of time. There has been contention within the community over both documents, however the Coastal Management Strategy received the most attention with negative and false information being provided over social media and individuals taking this misinformation on board as fact.

Each document is nearing completion, with the CHRMAP expected to be completed within the next few months and the Coastal Management Strategy (CMS) likely to take 4 – 6 months to complete. Both documents will be advertised back out for consultation with amendments having been made and the mapping made clearer.

The CHRMAP deals with planning implications for developers of land within the identified risk areas. This will provide guidance as to what is acceptable, and the requirements for a person looking to purchase land or undertake a development.

The CMS is the second document to be finalised and has been amended in the areas identified for change. Through this document Council is looking to minor changes in place to provide a level of environmental protection that will hopefully delay the negative impacts of global warming, coastal erosion and inundation.

With respect to the matter of the Edward Island beach access closure, at its meeting on 20 October 2020 (Item 11.1.1), Council resolved to:

- 1. Allow seasonal (September to late April) 4x4 vehicle access to the beach directly from the start of the existing Edward Island Point Track (just south of the gates at the south end of Grace Darling Park) as conditions allow.*
- 2. Authorise the Chief Executive Officer and the Executive Manager Operations to determine when conditions are not suitable for vehicle access.*
- 3. Close the remainder of the existing Edward Island Point 4x4 vehicle access track for the purpose of recreating dunes, re-establishing vegetation and increasing natural protection for both the Lancelin Caravan Park and the Lancelin townsite.*

The authorisation referenced in Part 2 of Council's resolution was granted on the basis of practicality. Under the *Local Government Act 1995*, decisions cannot be made by an individual Councillor and Council as a body can only make decisions at a formal Council meeting.

Given that beach conditions can change very quickly, it is not practical to defer a beach closure decision until it can be considered at a Council meeting.

5.2.27 Tiny Houses

Moved: Samantha Smith Seconded: Kate Lane

That the Shire of Gingin support tiny housing in this Shire.

Carried
9/0

Officer Comment

The concept of Tiny Houses is one that has been discussed informally by Councillors and officers. It has not progressed to the point of incorporation into the requirements of the Shire's Building and Planning departments at this stage. It is on the radar for further discussion in the future, but Council cannot simply endorse a concept such as Tiny Houses without also implementing guidelines around the requirements for this type of accommodation.

5.2.28 Shire of Gingin ABN

Moved: David Wilkie Seconded: Karen Rowe

That the Shire of Gingin ABN be identified and if it's still associated with the Gingin Medical Centre that it be independently audited.

Carried
8/5

Officer Comment

Questions have previously been raised in relation to the Shire of Gingin's ABN and the fact that it lists the Gingin Medical Centre as an entity. In reviewing the Australian Government Business Register the following information is provided:

Current details for ABN 85 679 704 946
 Entity name: SHIRE OF GINGIN
 ABN status: Active from 01 November 1999
 Entity type: Local Government Entity
 Goods & Services Tax (GST): Registered from 01 Jul 2000
 Main business location: WA 6503
 Business name(s): Gingin Medical Centre
 Business name from: 08 March 2019
 Deductible gift recipient status: Not entitled to receive tax deductible gifts

This clearly shows that the Entity Name for the ABN is the Shire of Gingin and that this ABN has been active since 1999. It also shows that there is a registered business name, being the Gingin Medical Centre, which belongs to the Entity (the Shire of Gingin). This is a very common occurrence for local governments – as an example, following is a small sample of local governments who have business names registered under their ABNs.

Entity	Business Names Registered by the Entity
Shire of Northam	Bilya Koort Boodja
Shire of Narrogin	Narrogin & Dryandra Visitor Centre Narrogin Caravan Park
Shire of Toodyay	Toodyay Visitors Centre Toodyay International Food Festival Toodyay Moondyne Festival
Shire of York	York Visitor Centre
Shire of Mundaring	Perth Hills Mundaring Visitor Centre Albert Facey Memorial Library Bilgoman Aquatic Centre Boya Community Centre Boya Public Library

	Eastern Region Family Day Care Katharine Susannah Prichard Library Lake Leschenaultia Midvale Early Childhood & Parenting Centre Midvale Hub Parenting Services Mount Helena Aquatic Centre Mundaring Arena (Recreation Centre) Mundaring Library Swan Children & Family Centre Clayton View Swan Children & Parent Centre Middle Swan The Hub of the Hills Reflections Café
Shire of Augusta Margaret River	Turner Holiday Park Margaret River HEART Alexandra Bridge Camp Ground
City of Wanneroo	Pearsall Tiny Tots Family Day Care Aquamotion Wanneroo

The Shire of Gingin was required to take over the running of the Gingin Medical Centre when Dr Smit departed the practice suddenly. The Shire continued to run the Centre for several years in order to ensure the continuation of medical services to the community.

The Shire still owns the building and the business name, but not the business itself. The incumbent doctor, who has his own ABN, owns the business that operates from the Centre, and merely utilises the name of the Centre.

This matter is clear and transparent. An independent audit to “investigate” it would be a waste of ratepayer funds.

STATUTORY/LOCAL LAW IMPLICATIONS

Local Government Act 1995

Part 5 Administration

Division 2 Council meetings, committees and their meetings and electors’ meetings

s.5.33 Decisions made at electors’ meetings

(1) All decisions made at an electors’ meeting are to be considered at the next ordinary council meeting or, if that is not practicable -

(a) at the first ordinary council meeting after that meeting; or

(b) at a special meeting called for that purpose,

whichever happens first.

- (2) If at a meeting of the council a local government makes a decision in response to a decision made at an electors' meeting, the reasons for the decision are to be recorded in the minutes of the council meeting.

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Any actions arising from decisions of Council that require a financial commitment will need to be factored in to the 2024/25 budget.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	4. Excellence & Accountability - Deliver Quality Leadership and Business Expertise
Strategic Objective	4.2 Effective Governance - Apply systems of compliance which assists Council to make informed decisions within a transparent, accountable and principled environment

VOTING REQUIREMENTS - SIMPLE MAJORITY

OFFICER RECOMMENDATION

MOVED: Councillor Johnson SECONDED: Councillor Stewart

That Council agree as follows:

1. With respect to Motion 5.1.1 Production of Explanatory Booklet – Planning and Building Requirements for Rural Living Areas, that Council agree to produce a brochure containing the requirements for each Rural Living Area that can be accessed by the public from the Shire’s website, with the objective of providing clarity around these requirements.
2. With respect to Motion 5.1.2 Multi-Use Pathway from Lancelin Townsite to Lancelin Community Sporting Complex, that Council refuse to construct a dual use footpath from the Lancelin townsite to the Lancelin Sporting Complex, as this is a requirement of the Lancelin South developer.
3. With respect to Motion 5.2.1 Bidamina Mining Project – Orange Springs Road, that Council agree that correspondence will be prepared by Administration and forwarded to the Department of Mines, Industry Regulation and Safety advising of the community’s objection, as indicated by the motion carried at the Annual Meeting of Electors held on 6 February 2024, to the proposed Bidamina mine on the grounds that it is situated near State Forest wildlife habitats, is too close to the Moore River, and offers no benefit to the Shire of Gingin community at large.

4. With respect to Motion 5.2.2 Change to Method of Electing the Shire President, that Council refuse to give consideration to changing the method of electing the Shire President from election by Council to election by the electors unless a proposal is received in the required format from electors in accordance with s.2.12 of the *Local Government Act 1995* and Regulation 10AD of the *Local Government (Constitution) Regulations 1998*, as Council does not believe such a change would be in the best interests of the Shire.
5. With respect to Motion 5.2.3 Designation of Certain Staff Positions as Important Positions, that Council refuse to designate all Executive Manager positions and the Community Emergency Services Manager position as Senior Employee positions under s.5.37 of the *Local Government Act 1995*, as Council does not believe such an action is warranted.
6. With respect to Motion 5.2.4 Publication of CEO's KPIs and Performance Review in the Annual Report, that Council refuse to publish the CEO's KPIs and Performance Review in the Annual Report, as this is currently not a legislated requirement.
7. With respect to Motion 5.2.7 Review of ACROD Parking Bays – Gingin CRC/Medical Centre, that Council agree that the ACROD parking bays servicing the Gingin CRC/Medical Centre building will be relocated to the current drop off/pick up point on Lily King Place.
8. With respect to Motion 5.2.8 Construction of Northern Access Road to Lancelin Townsite, that discussions be commenced with relevant Ministers with respect to the development of a northern access road from the Lancelin townsite to Indian Ocean Drive, in order to provide a second evacuation route for residents of the town in the event of a bushfire emergency.
9. With respect to Motion 5.2.9 Provision of Formal Emergency Muster Area – Lancelin, that Council refuse to provide assistance to have a proper muster area that people can retreat to if so asked by the authorities as any pre-determined location may not be the safest option in the event of an emergency, and only the Hazard Management Agency responsible for overseeing an emergency response can make a determination as to whether a muster point should be activated.
10. With respect to Motion 5.2.10 Construction of Footpath – Atkinson Way, Lancelin, that Council refuse to construct a footpath from the Lancelin Primary School along Atkinson Way to Wangaree Park, as concrete footpaths are already installed along Gingin Road and Cockram Street which both run parallel to Atkinson Way.
11. With respect to Motion 5.2.11 Moore River Café and General Store, that Council refuse to engage an independent auditor to investigate the purchase by the Shire of kitchen equipment and solar panels from Belgravia Leisure as this was a business transaction fully endorsed by Council to ensure the assignment of the lease.

12. With respect to Motion 5.2.12 Review of Local Planning Scheme No. 9, that Council:
 - a. Agree to continue to progress the Omnibus Scheme Amendment to the Local Planning Scheme and, as is required by legislation, engage with the community to seek feedback prior to considering the Amendment for adoption; and
 - b. Refuse to establish a Steering Committee with community representation because the Amendment must be subjected to a community consultation process prior to adoption, as required under the *Planning and Development (Local Planning Schemes) Regulations 2015*.
13. With respect to Motion 5.2.13 Quarterly Meetings with Community Group Representatives, that Council refuse to arrange quarterly meetings with a member of each community group to discuss ongoing issues as this would be difficult to facilitate, but agree to continue to facilitate its practice of revolving meetings with community groups and hosting informal Coffee with Council sessions that are open to all members of the public.
14. With respect to Motion 5.2.14 Freeze on Rates Increase and Reduction of Penalty for Late Payment of Rates, that Council acknowledge the sentiment behind the request to not raise rates due to financial hardship in the community but refuse to take this action as a commitment of this nature is not sustainable when the cost of delivering services to the community is also rising.
15. With respect to Motion 5.2.19 Coastal Management, that Council:
 - a. Refuse to suspend the implementation of the Coastal Management Strategy in its entirety as the CHRMAP and Coastal Management Strategy will both be advertised for community feedback prior to final adoption by Council; and
 - b. Refuse to withdraw authorisation to the CEO and Executive Manager Operations and Assets to determine when conditions are not suitable for vehicle access to the beach accessing Edward Island Point.
16. With respect to Motion 5.2.27 Tiny Houses, that Council agree that the concept of Tiny Houses will be further investigated in the near future with a view to supporting affordable, sustainable housing.
17. With respect to Motion 5.2.28 Shire of Gingin ABN, that Council refuse to undertake an independent audit of the Shire's own ABN and ownership of the business name "Gingin Medical Centre", as it is clear that there is nothing untoward in this matter.

Motion withdrawn with agreement of Mover and Seconder.

The President advised that Parts 1 and 2 of the Officer Recommendation would be dealt with individually.

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council agree as follows:

1. With respect to Motion 5.1.1 Production of Explanatory Booklet – Planning and Building Requirements for Rural Living Areas, that Council agree to produce a brochure containing the requirements for each Rural Living Area that can be accessed by the public from the Shire’s website, with the objective of providing clarity around these requirements.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

SUBSTANTIVE MOTION/OFFICER RECOMMENDATION

MOVED: Councillor Peczka **SECONDED:** Councillor Johnson

That Council agree as follows:

2. With respect to Motion 5.1.2 Multi-Use Pathway from Lancelin Townsite to Lancelin Community Sporting Complex, that Council refuse to construct a dual use footpath from the Lancelin townsite to the Lancelin Sporting Complex, as this is a requirement of the Lancelin South developer.

AMENDMENT MOTION

MOVED: Councillor Peczka **SECONDED:** Councillor Johnson

That Council amend Part 2 by deleting the words "as this is a requirement of the Lancelin South Developer" at the end of the Part and replacing them with the words "however actively promote progression of this component of the developer's obligation as a priority".

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The amendment was incorporated into the Substantive Motion, which was then put to the vote.

COUNCIL RESOLUTION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council agree as follows:

2. With respect to Motion 5.1.2 Multi-Use Pathway from Lancelin Townsite to Lancelin Community Sporting Complex, that Council refuse to construct a dual use footpath from the Lancelin townsite to the Lancelin Sporting Complex, however actively promote progression of this component of the developer's obligation as a priority.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

Reason for Amendment

It was Council's view that, whilst the Deed of Agreement between the Shire and developer does specify a trigger point at which the footpath construction will be commenced, the level of community concern in relation to this matter indicates that it should be addressed as a priority.

The Chief Executive Officer left the meeting at 4.20 pm.

EN BLOC MOTION

MOVED: Councillor Johnson

SECONDED: Councillor Balcombe

That Council agree as follows:

3. With respect to Motion 5.2.1 Bidamina Mining Project – Orange Springs Road, that Council agree that correspondence will be prepared by Administration and forwarded to the Department of Mines, Industry Regulation and Safety advising of the community’s objection, as indicated by the motion carried at the Annual Meeting of Electors held on 6 February 2024, to the proposed Bidamina mine on the grounds that it is situated near State Forest wildlife habitats, is too close to the Moore River, and offers no benefit to Shire of Gingin community at large.
4. With respect to Motion 5.2.2 Change to Method of Electing the Shire President, that Council refuse to give consideration to changing the method of electing the Shire President from election by Council to election by the electors unless a proposal is received in the required format from electors in accordance with s.2.12 of the *Local Government Act 1995* and Regulation 10AD of the *Local Government (Constitution) Regulations 1998*, as Council does not believe such a change would be in the best interests of the Shire.
5. With respect to Motion 5.2.3 Designation of Certain Staff Positions as Important Positions, that Council refuse to designate all Executive Manager positions and the Community Emergency Services Manager position as Senior Employee positions under s.5.37 of the *Local Government Act 1995*, as Council does not believe such an action is warranted.
6. With respect to Motion 5.2.4 Publication of CEO’s KPIs and Performance Review in the Annual Report, that Council refuse to publish the CEO’s KPIs and Performance Review in the Annual Report, as this is currently not a legislated requirement.
7. With respect to Motion 5.2.7 Review of ACROD Parking Bays – Gingin CRC/Medical Centre, that Council agree that the ACROD parking bays servicing the Gingin CRC/Medical Centre building will be relocated to the current drop off/pick up point on Lily King Place.
8. With respect to Motion 5.2.8 Construction of Northern Access Road to Lancelin Townsite, that discussions be commenced with relevant Ministers with respect to the development of a northern access road from the Lancelin townsite to Indian Ocean Drive, in order to provide a second evacuation route for residents of the town in the event of a bushfire emergency.

Manager Planning and Building left the meeting at 4.31 pm.

PROCEDURAL MOTION

MOVED: Councillor Stewart **SECONDED:** Councillor Weeks

That Parts 3 to 17 be deferred for consideration at the March 2024 meeting of Council.

LOST
2 / 7

FOR: *Councillor Stewart and Councillor Weeks*

AGAINST: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen and Councillor Woods*

Manager Planning and Building returned to the meeting at 4.35 pm.

AMENDMENT MOTION

MOVED: Councillor Weeks **SECONDED:** Councillor Stewart

That Council amend Part 4 by inserting a full stop after "1998" and deleting the remainder of the part.

LOST
2 / 7

FOR: *Councillor Stewart and Councillor Weeks*

AGAINST: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen and Councillor Woods*

AMENDMENT MOTION

MOVED: Councillor Stewart **SECONDED:** Councillor Weeks

That the words "KPIs and" be removed from Part 6.

LOST
3 / 6

FOR: *Councillor Peczka, Councillor Stewart and Councillor Weeks*

AGAINST: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Sorensen and Councillor Woods*

COUNCIL RESOLUTION

MOVED: Councillor Johnson

SECONDED: Councillor Balcombe

That Council agree as follows:

3. With respect to Motion 5.2.1 Bidamina Mining Project – Orange Springs Road, that Council agree that correspondence will be prepared by Administration and forwarded to the Department of Mines, Industry Regulation and Safety advising of the community’s objection, as indicated by the motion carried at the Annual Meeting of Electors held on 6 February 2024, to the proposed Bidamina mine on the grounds that it is situated near State Forest wildlife habitats, is too close to the Moore River, and offers no benefit to Shire of Gingin community at large.
4. With respect to Motion 5.2.2 Change to Method of Electing the Shire President, that Council refuse to give consideration to changing the method of electing the Shire President from election by Council to election by the electors unless a proposal is received in the required format from electors in accordance with s.2.12 of the *Local Government Act 1995* and Regulation 10AD of the *Local Government (Constitution) Regulations 1998*, as Council does not believe such a change would be in the best interests of the Shire.
5. With respect to Motion 5.2.3 Designation of Certain Staff Positions as Important Positions, that Council refuse to designate all Executive Manager positions and the Community Emergency Services Manager position as Senior Employee positions under s.5.37 of the *Local Government Act 1995*, as Council does not believe such an action is warranted.
6. With respect to Motion 5.2.4 Publication of CEO's KPIs and Performance Review in the Annual Report, that Council refuse to publish the CEO KPIs and Performance Review in the Annual Report, as this is currently not a legislated requirement. unless a proposal is received in the required format from electors in accordance with s.2.12 of the *Local Government Act 1995* and Regulation 10AD of the *Local Government (Constitution) Regulations 1998*, as Council does not believe such a change would be in the best interests of the Shire.
7. With respect to Motion 5.2.7 Review of ACROD Parking Bays – Gingin CRC/Medical Centre, that Council agree that the ACROD parking bays servicing the Gingin CRC/Medical Centre building will be relocated to the current drop off/pick up point on Lily King Place.
8. With respect to Motion 5.2.8 Construction of Northern Access Road to Lancelin Townsite, that discussions be commenced with relevant Ministers with respect to the development of a northern access road from the Lancelin townsite to Indian Ocean Drive, in order to provide a second evacuation route for residents of the town in the event of a bushfire emergency.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The Executive Manager Corporate and Community Services left the meeting at 4.58 pm.

The CEO returned to the meeting at 4.59 pm.

The Executive Manager of Corporate and Community Services returned to the meeting at 5.02 pm.

SUBSTANTIVE MOTION/OFFICER RECOMMENDATION

MOVED: Councillor Balcombe **SECONDED:** Councillor Peczka

9. With respect to Motion 5.2.9 Provision of Formal Emergency Muster Area – Lancelin, that Council refuse to provide assistance to have a proper muster area that people can retreat to if so asked by the authorities as any pre-determined location may not be the safest option in the event of an emergency, and only the Hazard Management Agency responsible for overseeing an emergency response can make a determination as to whether a muster point should be activated.

AMENDMENT MOTION

MOVED: Councillor Peczka **SECONDED:** Councillor Johnson

That Part 9 be amended by replacing the words "refuse to provide assistance to have" with "is unable to identify".

CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The amendment was incorporated into the Substantive Motion, which was then put to the vote.

COUNCIL RESOLUTION

MOVED: Councillor Balcombe **SECONDED:** Councillor Peczka

That Council agree as follows:

9. With respect to Motion 5.2.9 Provision of Formal Emergency Muster Area – Lancelin, that Council is unable to identify a proper muster area that people can retreat to if so asked by the authorities as any pre-determined location may not be the safest option in the event of an emergency, and only the Hazard Management Agency responsible for overseeing an emergency response can make a determination as to whether a muster point should be activated.

**CARRIED
8/1**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Woods and Councillor Weeks*

AGAINST: *Councillor Stewart*

Reason for Amendment

Council was of the view that the change of wording more appropriately reflected the fact that the motion from the Annual Meeting of Electors on the grounds that it would not be in the best interests of community safety.

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Woods

That Council agree as follows:

10. With respect to Motion 5.2.10 Construction of Footpath – Atkinson Way, Lancelin, that Council refuse to construct a footpath from the Lancelin Primary School along Atkinson Way to Wangaree Park, as concrete footpaths are already installed along Gingin Road and Cockram Street which both run parallel to Atkinson Way.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Woods

That Council agree as follows:

11. With respect to Motion 5.2.11 Moore River Café and General Store, that Council refuse to engage an independent auditor to investigate the purchase by the Shire of kitchen equipment and solar panels from Belgravia Leisure as this was a business transaction fully endorsed by Council to ensure the assignment of the lease.

**CARRIED
8 / 1**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Woods and Councillor Weeks*

AGAINST: *Councillor Stewart*

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council agree as follows:

12. With respect to Motion 5.2.12 Review of Local Planning Scheme No. 9, that Council:
 - a. Agree to continue to progress the Omnibus Scheme Amendment to the Local Planning Scheme and, as is required by legislation, engage with the community to seek feedback prior to considering the Amendment for adoption; and
 - b. Refuse to establish a Steering Committee with community representation because the Amendment must be subjected to a community consultation process prior to adoption, as required under the *Planning and Development (Local Planning Schemes) Regulations 2015*.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

SUBSTANTIVE MOTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson SECONDED: Councillor Sorensen

That Council agree as follows:

13. With respect to Motion 5.2.13 Quarterly Meetings with Community Group Representatives, that Council refuse to arrange quarterly meetings with a member of each community group to discuss ongoing issues as this would be difficult to facilitate, but agree to continue to facilitate its practice of revolving meetings with community groups and hosting informal Coffee with Council sessions that are open to all members of the public.

AMENDMENT MOTION

MOVED: Councillor Weeks SECONDED: Councillor Balcombe

That Council amend Part 13 by inserting the word "additional" between the words "arrange" and "quarterly" and by deleting the full stop and inserting the word "individually" between the words "group" and "to".

CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The amendment was incorporated into the Substantive Motion, which was then put to the vote.

COUNCIL RESOLUTION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council agree as follows:

13. With respect to Motion 5.2.13 Quarterly Meetings with Community Group Representatives, that Council refuse to arrange additional quarterly meetings with a member of each community group individually to discuss ongoing issues as this would be difficult to facilitate, but agree to continue to facilitate its practice of revolving meetings with community groups and hosting informal Coffee with Council sessions that are open to all members of the public.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

Reason for Amendment

Council was of the view that the added wording was necessary to clarify that community groups would still have the option of seeking a meeting with Council or its representatives as required.

SUBSTANTIVE MOTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council agree as follows:

14. With respect to Motion 5.2.14 Freeze on Rates Increase and Reduction of Penalty for Late Payment of Rates, that Council acknowledge the sentiment behind the request to not raise rates due to financial hardship in the community but refuse to take this action as a commitment of this nature is not sustainable when the cost of delivering services to the community is also rising.

AMENDMENT MOTION

MOVED: Councillor Johnson **SECONDED:** Councillor Kestel

That Part 14 be amended by inserting "the late payment penalty interest is a statutory requirement and as such can't be changed" at the end of the part.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The amendment was incorporated into the Substantive Motion, which was then put to the vote.

COUNCIL RESOLUTION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council agree as follows:

14. With respect to Motion 5.2.14 Freeze on Rates Increase and Reduction of Penalty for Late Payment of Rates, that Council acknowledge the sentiment behind the request to not raise rates due to financial hardship in the community, but refuse to take this action as a commitment of this nature is not sustainable when the cost of delivering services to the community is also rising. The late payment penalty interest is a statutory requirement and as such can't be changed.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

Reason for Amendment

Council was of the view that the amendment was required in order to address the request in the motion from the Annual Electors' Meeting seeking a reduction in the penalty applicable to late payment of rates, as this was not specifically addressed in the Officer's Recommendation

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council agree as follows:

15. With respect to Motion 5.2.19 Coastal Management, that Council:
- a. Refuse to suspend the implementation of the Coastal Management Strategy in its entirety as the CHRMAP and Coastal Management Strategy will both be advertised for community feedback prior to final adoption by Council; and
 - b. Refuse to withdraw authorisation to the CEO and Executive Manager Operations and Assets to determine when conditions are not suitable for vehicle access to the beach accessing Edward Island Point.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

Cr Balcombe left the meeting at 5.38 pm.

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Peczka

That Council agree as follows:

16. With respect to Motion 5.2.27 Tiny Houses, that Council agree that the concept of Tiny Houses will be further investigated in the near future with a view to supporting affordable, sustainable housing.

**CARRIED UNANIMOUSLY
8 / 0**

FOR: *Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Weeks

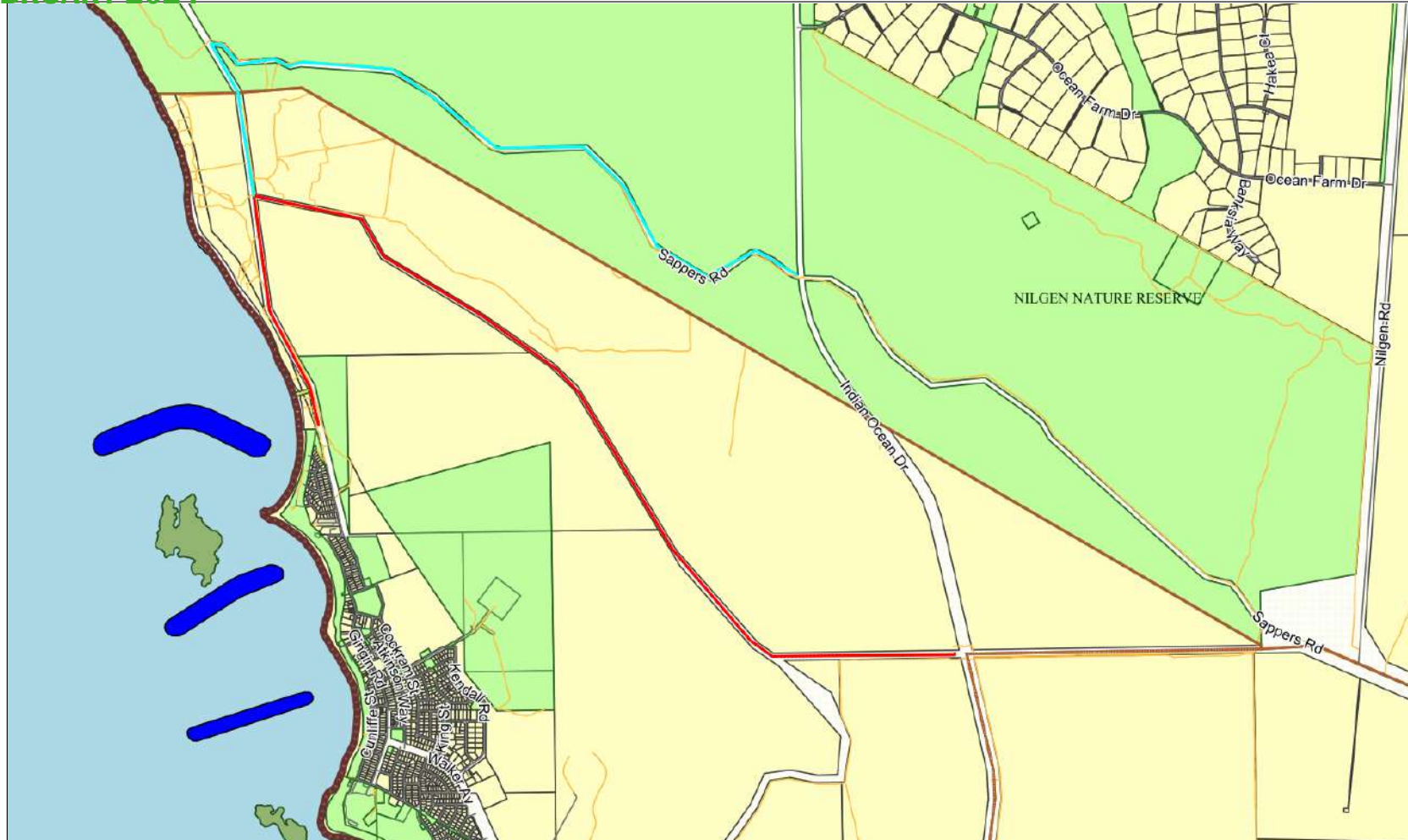
That Council agree as follows:



17. With respect to Motion 5.2.28 Shire of Gingin ABN, that Council refuse to undertake an independent audit of the Shire's own ABN and ownership of the business name "Gingin Medical Centre", as it is clear that there is nothing untoward in this matter.

**CARRIED UNANIMOUSLY
8 / 0**

FOR: *Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*



 <p>SHIRE OF GINGIN HISTORY • BEAUTY • PROSPERITY</p>	<p>7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au</p>	<p>Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.</p>	<p>Unmade Road Reserves North of Lancelin</p>	<p>Scale: 1: 42800</p>	 <p>Date: 09/02/2024</p>
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12.3 REVIEW OF POLICY MANUAL SECTIONS 6 AND 8

File	COR/28-1
Author	Lee-Anne Burt - Coordinator Governance
Reporting Officer	Aaron Cook - Chief Executive Officer
Refer	Nil
Appendices	<ol style="list-style-type: none"> 1. Policy 6.1 Acceptance of Management Orders - Reserves Created as a Result of Subdivision [12.3.1 - 2 pages] 2. Policy 6.2 Applications for Clearing of Native Vegetation [12.3.2 - 3 pages] 3. Policy 8.1 Building Control Disclaimer [12.3.3 - 1 page] 4. Policy 8.3 Building Licence - Deposit for Footpaths-Cycleways [12.3.4 - 1 page] 5. Policy 8.4 Sign Applications [12.3.5 - 1 page] 6. Policy 8.5 Amalgamation of Lots for Building Sites [12.3.6 - 1 page] 7. Policy 8.6 Roof Drainage [12.3.7 - 1 page] 8. Policy 8.7 Roof Guttering on Outbuildings [12.3.8 - 1 page] 9. Policy 8.8 Temporary Accommodation [12.3.9 - 2 pages] 10. Policy 8.9 Retaining Walls [12.3.10 - 1 page] 11. Policy 8.10 Retaining Walls - Cut and Fill of Lots [12.3.11 - 1 page] 12. Policy 8.11 Oversized Outbuildings [12.3.12 - 1 page]

DISCLOSURES OF INTEREST

Nil

PURPOSE

To undertake a review of all policies currently contained within Sections 6 and 8 of Council's Policy Manual.

BACKGROUND

There is no legislative requirement for local governments to put policies in place, although s. 2.7 of the *Local Government Act 1995* identifies determination of the local government's policies as part of the role of Council.

Policies are documents designed to provide guidance to staff and elected members on what is to be considered when dealing with certain matters.

Over recent years Sections 1, 2, 3 and 5 of the Policy Manual have been subjected to comprehensive review, and the review process for other policies is ongoing. As part of this process, the following policies (**see Appendices**) are now presented for formal consideration:

1. Policy 6.1 Acceptance of Management Orders – Reserves Created as a Result of Subdivision (formerly Acceptance of Management Orders by the Shire Over Foreshore Reserves);
2. Policy 6.2 Applications for Clearing of Native Vegetation (formerly Land Clearing – Manner for Dealing with Applications to Clear);
3. Policy 8.1 Building Control Disclaimer;
4. Policy 8.3 Building Licence – Deposit for Footpaths-Cycleways;
5. Policy 8.4 Sign Applications;
6. Policy 8.5 Amalgamation of Lots for Building Sites;
7. Policy 8.6 Roof Drainage;
8. Policy 8.7 Roof Guttering on Outbuildings;
9. Policy 8.8 Temporary Accommodation;
10. Policy 8.9 Retaining Walls;
11. Policy 8.10 Retaining Walls – Cut and Fill of Lots; and
12. Policy 8.11 Oversized Outbuildings.

Policy 1.4 Council Policy Management requires that, where a new policy or major amendment to an existing policy is proposed, Councillors and senior staff are to be provided with a minimum of 21 days to provide feedback on the proposal prior to it being presented to Council for consideration. Any feedback and/or questions received can then be addressed as part of the Officer’s Report to Council.

Proposals with respect to the policies listed above were circulated to all Councillors and the Executive Management Team as a paper to the Briefing Session held on 16 January 2024, with the comment period closing on 7 February 2024. During the period questions were received from Cr Johnson with respect to Policies 6.2 and 8.8 and these are addressed as part of the comments for individual policies below.

COMMENT

Most of the policies subject to this report are very old and are redundant either because the issues they address are now covered by other means, or because they are operational matters that do not fall within the realm of Council policy.

Where it is proposed that a policy be retained (possibly with amendment), then the policy has been reformatted if necessary to meet current standards.

The following comments address each policy individually and include any feedback received from Councillors.

1. Policy 6.1 Acceptance of Management Orders – Reserves Created as a Result of Subdivision (formerly Acceptance of Management Orders by the Shire Over Foreshore Reserves)

Recommendation – that the policy be amended.

Policy 6.1 was first adopted in 1999. It sets out the parameters under which the Shire will accept management responsibility for reserves created as a consequence of subdivision.

This policy was originally adopted by Council in response to the Shire becoming responsible for a number of riparian reserves (reserves along water courses).

No changes are suggested to the policy statement itself; however, the following amendments are proposed:

- a. Currently, the policy title indicates that the policy only applies to “foreshore” reserves. However, in reality the policy is applicable to any reserves created under s.152 of the *Planning and Development Act 2005*, regardless of their location. It is therefore proposed that the policy title be amended to accurately reflect the purpose of the policy.
- b. The policy has been reformatted using the Shire’s current policy template and a new Objective and Scope have been included.

2. Policy 6.2 Applications for Clearing of Native Vegetation (formerly Land Clearing – Manner for Dealing with Applications to Clear)

Recommendation – that the policy be amended.

Policy 6.2 was adopted in 2004. It provides a policy position to guide staff in responding to referrals from the Department of Water and Environmental Regulation with respect to Applications to Clear Native Vegetation.

Apart from some minor updating of terminology, the following amendments are proposed:

- a. Amendment of the policy title to make it clear that the policy only deals with applications for clearing of native vegetation referred to the Shire for comment by the State.

- b. Minor amendments to the Objective and Scope for the purposes of clarification and consistency.
- c. Addition of a two paragraph explanatory preface to the Policy Statement.
- d. Rewording of cl. 1.a. to improve clarity and reflect current terminology.
- e. Deletion of cl. 1.b. This clause is replaced by new clause 1.c.
- f. Cl. 2 is amended to refer to clearing associated with a land use that is not permitted under LPS 9.
- g. Cl. 3 and 4 are deleted as they refer to applications for development approval, rather than clearing referrals from DWER. Applications for development approval are subject to a separate planning assessment process in accordance with LPS 9. In addition it is not considered appropriate for a “political perspective” to be introduced into a statutory process.

During the comment period Cr Johnson queried the reference in cl.1.c.ii of the policy to “relevant department” and sought clarification as to whether this reference was to a Shire or State department. Cr Johnson suggested that it may be preferable to state the specific department concerned.

The response to this question is that “relevant department” means the State department that makes the referral to the Shire. Generally it is preferable not to reference specific State department titles in policy as they can be subject to change. As a result of Cr Johnson’s enquiry the policy objective has been further amended in the interests of consistency.

3. Policy 8.1 Building Control Disclaimer

Recommendation – that the policy be repealed.

Policy 8.1 was first adopted in 1995. It specifies disclaimer wording to be included as a condition of building licences issued by the Shire of Gingin.

This type of disclaimer, if imposed, is a building licence condition rather than a Council policy. In actual fact the disclaimer has not been applied to building licences for many years and it is doubtful as to whether it would have any legal standing.

4. Policy 8.3 Building Licence – Deposit for Footpaths-Cycleways

Recommendation – that the policy be repealed.

Policy 8.3 was adopted in 2008. It specifies that all applicants for a building licence in townsites must agree to pay for restoration of the road verge to its original condition in the event of damage caused during the building process.

This policy has not been used for many years and is considered to be defunct.

Council's current Schedule of Fees and Charges 2023-2024 makes provision for a Footpath Bond of \$520 to be levied, however it is apparent that this bond has never been imposed in conjunction with a building licence application, and the Schedule of Fees and Charges makes no reference to the same type of bond for cycleways. In any case, payment of a bond is not the same as requiring an applicant to commit to bearing the full cost of restoring/replacing a verge to its former condition.

The Shire's Executive Manager Operations and Assets has advised that requirements for road verge reinstatement are usually dealt with on a case-by-case basis.

5. Policy 8.4 Sign Applications

Recommendation – that the policy be repealed.

Policy 8.4 was adopted in 1995. It specifies that the CEO is to administer the By-laws Relating to Signs, Hoarding and Bill Posting, and provides some direction as to how this is to be achieved.

Matters relating to advertising signage are no longer dealt with through local laws and the Shire of Gingin By-laws Relating to Signs, Hoardings and Bill Posting were repealed on 31 March 2023. Advertising signage is now dealt with under the Shire's Local Planning Policy 1.12 Advertising Signs.

Policy 8.4 is therefore redundant.

6. Policy 8.5 Amalgamation of Lots for Building

Recommendation – that the policy be repealed.

Policy 8.5 was adopted in 1995. It specifies that where a building is proposed to be constructed over 2 lots, then the lots must be amalgamated before a building licence is issued.

The Shire's Building Surveyor has confirmed that a building licence would not be issued in instances where the proposed building is not confined to a single lot.

Policy 8.5 is therefore redundant.

7. Policy 8.6 Roof Drainage

Recommendation – that the policy be repealed.

Policy 8.6 was adopted in 1995. It makes provision for the disposal of stormwater from private properties into street drains in instances where the ground is unsuitable for underground sumps.

The Shire’s Building Surveyor has confirmed that Part 3.1.3 of the National Construction Code requires that stormwater runoff must be contained onsite. A notation is applied to all approved building plans to this effect.

Additionally, the Executive Manager Operations and Assets has advised that not only is connection into the Shire’s drainage system not appropriate, but in fact in most instances there is no drainage system in place that can be connected to domestic stormwater disposal.

Policy 8.6 is therefore redundant.

8. Policy 8.7 Roof Guttering on Outbuildings

Recommendation – that the policy be repealed.

Policy 8.7 was adopted in 1995. It exempts outbuildings from having guttering under certain circumstances.

This policy has not been applied for many years. Part 3.5.3 of the National Construction Code requires that guttering and downpipes be installed on all Class 1 and 10a structures. Outbuildings are classified as a Class 10a structure, and therefore Council has no power to waive this requirement.

The policy is therefore redundant.

9. Policy 8.8 Temporary Accommodation

Recommendation – that the policy be amended.

Policy 8.8 was adopted in 1995. It sets out the circumstances under which approval will be granted for persons to reside on their property in temporary accommodation.

The proposed amendments are as follows:

1. During the feedback period, Cr Johnson queried the definition of “Temporary Accommodation” and sought clarification as to whether free-standing ablution facilities were mandatory, or whether a caravan with self-contained facilities would be approved. The definition of “Temporary Accommodation” has been amended slightly to clarify that a self-contained caravan would meet requirements.

2. The policy defines “Temporary Accommodation” to mean accommodation in a caravan. However, the next paragraph refers to the adaptation or use as a dwelling of any building not originally constructed or erected as a dwelling. These 2 statements are contradictory.

Approval for temporary accommodation is administered under the *Caravan Parks and Camping Grounds Regulations 1997*, and therefore cannot be applied to the occupation of built structures. Reference to the adaptation of buildings has therefore been deleted.

2. Clause 1b. specifies that the plans and specifications for a dwelling shall be approved by the CEO. Under Delegation 2.1.1 Approve or Refuse a Building Permit, Council has delegated authority to the CEO under the *Building Act 2011* to approve or refuse building applications, however the CEO has a further power of subdelegation and therefore in reality it is unlikely that a building approval will be issued by the CEO. A generic reference to approval by the Shire of Gingin is more appropriate.
3. Clause 1c. refers to the need for ablutions to be connected to an approved septic system and leach drains. Advances in technology since the policy was first adopted mean that there are now a variety of waste treatment systems (such as ATUs) that don’t require leach drains. As it stands, the policy technically prevents approval being granted for this type of system.

If a septic system requiring leach drains is proposed, then approval would not be granted unless the necessary leach drains form part of the proposal. It is therefore recommended that the reference to leach drains be removed.

In addition, Clause 1c. has been amended to clarify that the requirement for an external WA, shower and laundry is only required if the caravan to be used for temporary accommodation is not self-contained.

4. Clause. 2 has been amended as a result of Cr Johnson’s enquiry. If a self-contained caravan is being used, then a septic system is not required as any approval granted will be conditioned to require waste to be disposed of at an authorised dump point. In instances where a separate septic system is required, then the approval would be conditioned to specify that the accommodation cannot be occupied until such time as the system has been installed and approved.
5. In Clause 5, reference to the Health Act has been deleted as legal proceedings could be instigated under a variety of legislation depending on the specific circumstances. Reference to residing in a building not approved as a dwelling has been replaced with reference to Temporary Accommodation for the reasons stated above.

6. It is proposed that the second last paragraph be deleted. The *Local Government Act 1995* does not contain any provisions relating to temporary accommodation or the staged construction of buildings. If there are matters that need to be dealt with in terms of a building under construction, then these would be addressed as a matter of course under the *Building Act 2011* or other legislation or codes as appropriate and a policy position is not required.
7. Clause 6. should be amended to recognise that there are a range of fees applicable to temporary accommodation applications and approvals listed in the Shire's Schedule of Fees and Charges over and above a single administration fee.

The Policy has also been reformatted using the Shire's current policy template and a new Objective and Scope have been included.

10. Policy 8.9 Retaining Walls

Recommendation – that the policy be repealed.

Policy 8.9 was adopted in 1995. It requires the construction of retaining walls adjacent to lot boundaries where land is being excavated or filled and sets out the standards required for such retaining walls.

Site works and fill are covered by State Planning Policy 7.3 Residential Design Codes (R-Codes) and therefore this policy is redundant.

11. Policy 8.10 Retaining Walls – Cut and Fill of Lots

Recommendation – that the policy be repealed.

Policy 8.10 was adopted in 1995. It serves as an adjunct to Policy 8.9 in terms of imposing further requirements with respect to filling, embankments and sides of excavations.

As is the case with Policy 8.9, site works and fill are covered by State Planning Policy 7.3 Residential Design Codes (R-Codes) and therefore this policy is redundant.

12. Policy 8.11 Oversized Outbuildings

Recommendation – that the policy be repealed.

Policy 8.11 was adopted in 2002. It imposes maximum sizes for outbuildings in residential zones and sets out how such applications are to be dealt with.

Policy 8.11 has been superseded by Local Planning Policy 2.1 Residential Outbuildings which was adopted by Council on 21 February 2023, and is therefore redundant.

STATUTORY/LOCAL LAW IMPLICATIONS

Planning and Development Act 2005
Part 10 Subdivision and development control
Division 3 Conditions of subdivision
Section 152 Certain land to vest in Crown

Environmental Protection Act 1986
Part V Environmental regulation
Division 2 Clearing of native vegetation

National Construction Code 2022
Part 3.1.3 Drainage

Caravan Parks and Camping Grounds Regulations 1997
Part 2 Caravanning and camping generally
Regulation 11 Camping other than at caravan park or camping ground

State Planning Policy 7.3 – Residential Design Codes

POLICY IMPLICATIONS

In the event that Council supports the officer’s recommendations then Policies 6.1, 6.2 and 8.8 will be amended accordingly, and Policies 8.1, 8.3, 8.4, 8.5, 8.6, 8.7, 8.9, 8.10 and 8.11 will be repealed.

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	4. Excellence & Accountability - Deliver Quality Leadership and Business Expertise
Strategic Objective	4.2 Effective Governance - Apply systems of compliance which assists Council to make informed decisions within a transparent, accountable and principled environment

VOTING REQUIREMENTS - SIMPLE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson

SECONDED: Councillor Sorensen

That Council:

1. Adopt amended Policy 6.1 Acceptance of Management Orders – Reserves Created as a Result of Subdivision (as shown at Appendix 12.3.1).
2. Adopt amended Policy 6.2 Applications for Clearing of Native Vegetation (as shown at Appendix 12.3.2).
3. Repeal Policy 8.1 Building Control Disclaimer.
4. Repeal Policy 8.3 Building Licence – Deposit for Footpaths-Cycleways.
5. Repeal Policy 8.4 Sign Applications.
6. Repeal Policy 8.5 Amalgamation of Lots for Building Sites.
7. Repeal Policy 8.6 Roof Drainage.
8. Repeal Policy 8.7 Roof Guttering on Outbuildings.
9. Adopt amended Policy 8.8 Temporary Accommodation (as shown at Appendix 12.3.9).
10. Repeal Policy 8.9 Retaining Walls.
11. Repeal Policy 8.10 Retaining Walls – Cut and Fill of Lots.
12. Repeal Policy 8.11 Oversized Outbuildings.

**CARRIED UNANIMOUSLY
8 / 0**

FOR: *Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*



POLICY MANUAL

POLICY 6.1

~~ACCEPTANCE OF MANAGEMENT ORDERS BY THE SHIRE OVER FORESHORE RESERVES~~

ACCEPTANCE OF MANAGEMENT ORDERS – RESERVES CREATED AS A RESULT OF SUBDIVISION

OBJECTIVE

To set out the circumstances under which the Shire of Gingin will accept management responsibility for reserves created under *Planning and Development Act 2005* s.152 Certain land to vest in Crown.

POLICY

Scope

This policy applies to any reserve created as a result of subdivision of land within the Shire of Gingin in accordance with s.152 for the following purposes:

1. Conservation or protection of the environment;
2. An artificial waterway;
3. A pedestrian accessway;
4. A right-of-way;
5. A reserve for water supply, sewerage, drainage, foreshore management, waterway management or recreation;
6. A public purpose specified in the conditions of subdivision and related to the subdivision.

Policy Statement

1. Management responsibility for reserves created under s.152 of the *Planning and Development Act 2005* as a consequence of subdivision will only be accepted by the Shire of Gingin if the reserve:
 - a. Is accessible by an already constructed road that is, or in due course will be, linked into the existing local road network; or
 - b. As a consequence of subdivision is provided with a road by the developer that is linked into the existing local road network; or

- c. Is located within the boundaries of a gazetted townsite; or
 - d. Will provide a beneficial extension to an area of land already owned or managed by the Shire of Gingin.
2. Notwithstanding any other policy provision, where in the public interest the protection of the foreshore is deemed appropriate the Council may, at its discretion, accept a foreshore reservation.

GOVERNANCE REFERENCES

Statutory Compliance	<i>Planning and Development Act 2005 – s.152</i>
Industry Compliance	
Organisational Compliance	

POLICY ADMINISTRATION

Review Cycle	2 years	Next Review	2024
Department	Regulatory & Development Services (Planning)		

Version	Decision Reference	Synopsis
1.	18/02/1999 Item 10.3	Policy adopted.
2.	19/04/2011 Item 11.2.2	Policy reviewed without amendment.



POLICY MANUAL

POLICY 6.2

~~LAND CLEARING – MANNER FOR DEALING WITH APPLICATIONS TO CLEAR APPLICATIONS FOR CLEARING OF NATIVE VEGETATION~~

OBJECTIVE

To provide ~~definitive~~ parameters to assist Shire staff in responding to the ~~Department of Environment and Conservation~~ relevant state Department in relation to Applications to Clear Native Vegetation, without the requirement for ~~all such applications~~ the matter to be referred to Council.

POLICY

Scope

This policy relates to all "General Rural" zoned land within the Shire of Gingin.

Policy Statement

~~Applications for the clearing of native vegetation are dealt with under the *Environmental Protection Act 1986*. Such applications are referred by the responsible State Department to the relevant local government, which is then required to advise whether it supports the application or not.~~

~~The Shire of Gingin does not have the expertise required to assess and determine the potential environmental impacts of proposals to clear native vegetation, and this is the responsibility of the relevant Department. The role of the Shire of Gingin is to consider applications for clearing of native vegetation in terms of potential land use planning impacts.~~

1. ~~In order to satisfy the purposes of this policy,~~ In view of the above statements, the following general protocols shall ~~prevail~~ apply:
 - a. Where a referral is received ~~from the Department of Environment and Conservation~~ in respect to a land clearing proposal ~~and such land clearing is to facilitate for the purpose of accommodating~~ a land use which is "~~as of right~~" permitted under the provisions of ~~Town Local~~ Planning Scheme No. ~~89 (LPS 9)~~, the ~~Chief Executive Officer~~ be authorised to respond to such application ~~raising Administration will advise that the Shire of Gingin has no objection to the proposed clearing.~~
 - b. ~~Where a referral is received from the Department of Environment and Conservation in respect to a land clearing proposal which is intended to accommodate a land use which can be approved under delegated authority, the~~

~~Chief Executive Officer be authorised to respond to the clearing application, but only to the extent that the clearing application is necessary to accommodate a development the subject of an application for Planning Consent.~~

~~eb. Where a referral is received from the Department of Environment and Conservation in respect to a land clearing proposal which is to accommodate a land use for which the Shire has retained the right to approve or refuse which under the provisions of LPS 9 requires Council consideration, then such application for clearing shall be considered simultaneously with the application for Planning Consent development approval, with Council's position in respect to such the clearing proposal being will be determined by virtue of its support or otherwise for the proposed discretionary land use development.~~

~~c. Where a referral is received with respect to a land clearing proposal and the clearing is associated with a land use:~~

~~i. Which, under the provisions of LPS 9, requires development approval; and~~

~~ii. where no such approval either exists or has been applied for,~~

~~the relevant department will be advised that any proposal for land clearing is premature in the absence of a development approval.~~

~~2. Where a referral is received from the Department of Water and Environmental Regulations and Conservation with respect to land clearing which relates to an unapproved a land use that is not permitted under LPS 9, the Chief Executive Officer be authorised to Department shall be advise advised that the application for land clearing is premature will not be considered. in the absence of such a land use approval.~~

~~3. In the event that an application for Planning Consent necessitates the clearing of land and the land in question has, in the opinion of staff, significant live standing vegetation which may be worthy of preservation, the Chief Executive Officer will, prior to exercising his authority, liaise with the Shire President and relevant Ward Councillor(s) to secure a political perspective in respect to the proposal.~~

~~4. In the event that the political perspective suggests that the vegetation in question is worthy of preservation, regardless of whether the proposed land use is otherwise permitted, the application for Planning Consent and/or the application for clearing shall be referred to Council for a formal decision.~~

GOVERNANCE REFERENCES

Statutory Compliance	<i>Environmental Protection Act 1986 Part 5 Division 2 – Clearing of native vegetation</i>
Industry Compliance	N/A
Organisational Compliance	N/A

POLICY ADMINISTRATION

Review Cycle	2 years	Next Review	2026
Department	Regulatory & Development Services (Planning)		

**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 12.3.2

Version	Decision Reference	Synopsis
1.	07/12/2004 Item 10.1.1	Policy adopted.
2.	19/04/2011 Item 11.2.2	Policy reviewed without amendment.

8.1 BUILDING CONTROL DISCLAIMER

This Disclaimer of legal ability or responsibility shall have and is intended to have effect as a condition of the Building Licence hereby issued.

While the Shire has inspected the Drawings and Specifications to ascertain the extent of compliance of the proposal building/structure with all relevant provisions of the Local Government (Miscellaneous Provisions) Act 1960, Building regulations 1989, Building Code of Australia and Local Laws, (“the Statutory Provisions”) and reserves the right to carry out site inspections, the Shire disclaims all legal liability and responsibility for:

- Actual compliance by the Drawings and Specifications with Statutory Provisions; or for
- Any defect (latent or patent) in design and/or construction of the subject building/structure; or/for
- Any defect in the site and its capacity to support the foundations or in the materials used in the construction of the building/structure.
- You as the Builder/Building Owner must take responsibility in relation to each and all foregoing matters and not rely upon the Shire in relation thereto. By acting upon this permit, you, as the Builder/Building Owner release and discharge the Shire from all liability in relation to such matters and indemnify the Shire from all claims for loss or damage sustained by you and any successor in title by reason of non-compliance by Drawings and Specifications and/or the building with the Statutory Provision and requirements of all other Statutory Authorities or by reason of any such defects.

**ADOPTED: COUNCIL 18 MAY 1995
REVIEWED: 19 APRIL 2011**

8.3 BUILDING LICENCE - DEPOSIT FOR FOOTPATHS/CYCLEWAY

All applicants for a Building Licence in townsites must sign an agreement to pay the entire cost of restoring the verge to the state it was prior to the commencement of any development.

**ADOPTED: 4 NOVEMBER 2008
REVIEWED: 19 APRIL 2011**

8.4 SIGN APPLICATIONS

Road Reserves - Signs

It shall be the duty of the Chief Executive Officer to administer the By-Laws relating to Signs, Hoardings and Bill Posting. The Chief Executive Officer is hereby authorised to take action in relation to signs placed on road reserves in contravention of the Local Laws.

An instruction is to be served on the owner of an offending sign, requiring removal forthwith. If it is not removed within seven (7) days from service of the notice, arrangements are to be made for removal of the sign. Signs removed are to be placed in the Depot Yard and the owner notified of the action taken.

**ADOPTED: COUNCIL 18 MAY 1995
REVIEWED: 19 APRIL 2011**

8.5 AMALGAMATION OF LOTS FOR BUILDING SITES

Where the site of a proposed building extends over more than one surveyed allotment, such lots shall be amalgamated into one allotment and the Chief Executive Officer will not issue a Building Licence until he is satisfied that an approved Diagram of Survey has been lodged at the Titles Office and an application for a Certificate of Title for the amalgamated allotments has been registered and accepted.

**ADOPTED: COUNCIL 18 MAY 1995
REVIEWED: 19 APRIL 2011**

8.6 ROOF DRAINAGE

Where the ground is unsuitable for underground sumps to take rainwater from roofs, it be channelled into a suitable pipe to be laid under the footpath of the adjoining street and discharged into street drains, with the approval of the Chief Executive Officer.

The owner of such a dwelling will bear the full cost of this work, but it is to be carried out under the supervision of a Shire employee.

**ADOPTED: COUNCIL 18 MAY 1995
REVIEWED: 19 APRIL 2011**

8.7 ROOF GUTTERING ON OUTBUILDINGS

Outbuildings are exempt from having guttering, provided the run-off water from the roof of such outbuilding does not cause:-

1. Entry of water into buildings.
2. Instability of the building or any other building on the same site.
3. Drainage problems to the adjoining properties.
4. Any unhealthy or dangerous condition on-site or to the adjoining site.

**ADOPTED: COUNCIL 18 MAY 1995
REVIEWED: 19 APRIL 2011**

8.8 TEMPORARY ACCOMMODATION

OBJECTIVE

To set out the circumstances under which approval will be granted for persons to reside on their property in temporary accommodation.

POLICY

Scope

This policy applies to all privately owned land within the boundaries of the Shire of Gingin.

Definitions

Temporary Accommodation means ~~a person or persons residing in~~ a caravan ~~Only~~ with approved basic health facilities included in or adjacent to the caravan.

Policy Statement

1. No person/s is allowed to reside on their property in temporary accommodation ~~(that is no person shall convert into or adapt or use as a dwelling any building not originally constructed or erected as a dwelling/house)~~, unless they comply with the following conditions:

a. A written request shall be made for occupancy of temporary accommodation and permission received before such temporary accommodation is taken up.

b. Plans and specifications for the erection of a dwelling/house shall be approved by the ~~Chief Executive Officer~~ Shire of Gingin and the sand pad, footings and slab (or stumps) must be completed before the Shire will grant approval to occupy temporary accommodation.

c. If the caravan to be used as Temporary Accommodation is not self-contained, then an external WC, shower and laundry, connected to an approved septic system ~~and leach drains~~, shall be provided prior to occupying the Temporary Accommodation.

d. An adequate supply of potable water fit for human consumption shall be available on the property. Water can be provided by means of a bore, well or other supply approved by the Shire.

e. The applicant must provide a written detailed works programme, showing the various stages of constructed and the associated time frames, with the application.

2. Duration of Approval

Approval shall be in accordance with the *Caravan Parks and Camping Grounds Regulations 1997*, Regulation 11 (2) (a), (b) and (c) ~~from the date of the installation and approval of an authorised septic system.~~

3. Conditions

The applicant must provide a written detailed works programme, showing the various stages of construction and the associated time frames, with the application.

General

4. Applicants are to be advised that the period of approval shall not be extended beyond eighteen (18) months, being the initial twelve (12) month period and one possible extension of six (6) months.

5. After the expiration date of this approval, the Shire will instigate legal proceedings under the Health Act against those persons who have not complied with the Shire's conditions of approval for residing in a building not approved as a dwelling Temporary Accommodation.

~~Applicants are also to be advised that the Shire will serve Notice under the Local Government Act for any buildings that have not been constructed to the required stage within the given period of approval.~~

~~An administration fee established by the Shire from time to time, is required with each initial application for temporary accommodation. Fees are applicable in accordance with the Shire of Gingin Schedule of Fees and Charges.~~

GOVERNANCE REFERENCES

Statutory Compliance	<i>Caravan Parks and Camping Grounds Regulations 1997 – r.11(2)</i>
Industry Compliance	
Organisational Compliance	

POLICY ADMINISTRATION

Review Cycle	2 years	Next Review	
Department	Regulatory & Development Services (Environmental Health)		

Version	Decision Reference	Synopsis
1.	18/05/1995	Policy adopted.
2.	19/04/2011 Item 11.2.2	Policy reviewed without amendment.

8.9 RETAINING WALLS

Persons who excavate or fill land for any use shall be held responsible for adequate retaining walls to be constructed adjacent to lot boundaries.

Materials proposed shall be of durable type and quality and be constructed on or adjacent to boundaries. Other materials shall not be considered within one metre of any adjacent lot boundaries.

Provided the proposed building or structure can be safely constructed before a retaining wall is built, construction of retaining walls shall be as follows:-

1. Up to 300mm at the boundary, within twelve (12) months of completion of the development.
2. Up to 600mm at the boundary shall be completed when the development is at plate height.
3. Over 600mm shall be specified as a condition of a development approval, and the retaining wall shall be constructed with the sand pad prior to the placing of any concrete footings.
4. Neighbours with property abutting a proposed retaining wall shall be advised of the proposal by the applicant, giving them opportunity to comment on the proposal to the Shire.

**ADOPTED: COUNCIL 18 MAY 1995
REVIEWED: 19 APRIL 2011**

8.10 RETAINING WALLS – CUT AND FILL OF LOTS

All filling, embankments and sides of excavations, must be stabilised and protected against erosion by wind and water where the structural safety of any building could be affected. They shall be capable of supporting any reasonable load that may be exerted on them from within the site, or from any required support to adjoining ground, and, wherever the soil conditions so require or the excavation or fill is permanent with a slope steeper than the angle of repose or natural slope of the soil, retaining walls or other approved methods of preventing movement of the soil shall be provided and constructed to the satisfaction of the Chief Executive Officer.

A letter of non-objection shall be obtained from the owners of the adjoining property before placing any fill exceeding one metre in depth within 2.4 metres of the common boundary, unless contained within the external wall of the building. Alternatively, the Shire may serve a notice of proposal, in writing, to the owners of the adjoining property, stating that if no objection is received within twenty one (21) days, it shall determine the application.

**ADOPTED: COUNCIL 18 MAY 1995
REVIEWED: 19 APRIL 2011**

8.11 OVERSIZED OUTBUILDINGS

1. The maximum size of outbuildings allowable in a residential zone shall be 90m². However, where properties are in excess of 4,000m², outbuildings in excess of 90m² may be permitted to a maximum of 140 m².
2. Applications for outbuildings between 60m² and 90m² should be accompanied by a letter of non-objection from the owners and occupiers of the adjoining properties. Alternatively, Council may write to the owners and/or occupiers of adjoining properties giving them twenty-one (21) days in which to make comment.
3. Where no adverse submissions have been received from the adjoining owners and/or occupiers within the 21 day advertising period the Chief Executive Officer, following positive consultation with the relevant Ward Councillor(s), shall be granted delegated authority to approve the proposal with appropriate conditions.
4. Where an adverse submission(s) has been received the matter shall be referred to Council for determination.
5. All approved applications are to be marked that approval is on the condition that the outbuilding is not to be for Commercial or Industrial purposes.

**ADOPTED: COUNCIL 15 JANUARY 2002
AMENDED: COUNCIL 6 DECEMBER 2005
REVIEWED: 19 APRIL 2011**

13 REPORTS - CORPORATE AND COMMUNITY SERVICES

13.1 MONTHLY FINANCIAL REPORT FOR THE PERIOD ENDING 31 JANUARY 2024.

File	FIN/25
Author	Alarna Richards - Coordinator Financial Planning & Reporting
Reporting Officer	Les Crichton - Executive Manager Corporate and Community Services
Refer	Nil
Appendices	1. Monthly Financial Report January 2024 [13.1.1 - 24 pages]

DISCLOSURES OF INTEREST

Nil

PURPOSE

To present for Council endorsement the Monthly Financial Reports for the period ending 31 January 2024.

BACKGROUND

The Financial Reports are presented to Council in accordance with the *Local Government Act 1995* and *Local Government (Financial Management) Regulations 1996*.

COMMENT

The Monthly Financial Reports for the period ending 31 January 2024 present the financial performance of the Shire for the 2023/24 financial year and compare year-to-date expenditure and revenue against the corresponding year-to-date budget.

A break-up of the **\$2,108,161** variance in the Monthly Financial Report for the period ending 31 January 2024 is summarised across operations, investing and financing below, with a detailed explanation of variations within each area contained within the **Appendix**.

Under Budget

Operating Fund Surplus/Deficit	(\$357,178)
Investing Activities – Expenditure	\$1,353,012
Financing Activity – Revenue	\$0

Over Budget

Operating Revenue	\$168,277
Operating Expenditure	(\$115,272)
Investing Activities -Revenue	\$1,080,067
Financing Activities – Expenditure	(\$20,745)

An explanation outlining a summary of the variances across each of the above areas is provided in Note 3, and those specific to capital works is provided within the supplementary information on page 12.

Investments

As required by Council Policy 3.2 Investments, details of Council's investments are provided within the supplementary information on page 10.

STATUTORY/LOCAL LAW IMPLICATIONS

Local Government Act 1995

Part 6 – Financial Management

Division 3 – Reporting on activities and finance

Section 6.4 – Financial Report

Local Government (Financial Management) Regulations 1996

Part 4 – Financial Reports

Reg 34 – Financial activity statement required each month.

Shire of Gingin Delegation Register – Delegation 1.1.10 Power to Invest and Manage Investments

POLICY IMPLICATIONS

Policy 3.2 – Investments

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	4. Excellence & Accountability - Deliver Quality Leadership and Business Expertise
Strategic Objective	4.2 Effective Governance - Apply systems of compliance which assists Council to make informed decisions within a transparent, accountable and principled environment

VOTING REQUIREMENTS - ABSOLUTE MAJORITY

Councillor Balcombe returned to the meeting at 5.42 pm.

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Kestel SECONDED: Councillor Woods

That Council endorse the Monthly Financial Report for the period ending 31 January 2024.

**CARRIED BY ABSOLUTE MAJORITY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

SHIRE OF GINGIN

MONTHLY FINANCIAL REPORT

(Containing the required statement of financial activity and statement of financial position)

For the period ended 31 January 2024

LOCAL GOVERNMENT ACT 1995

LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 13.1.1

**SHIRE OF GINGIN
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2024**

	Supplementary Information	Amended Budget Estimates (a) \$	YTD Budget Estimates (b) \$	YTD Actual (c) \$	Variance* \$ (c) - (b)	Variance* % ((c) - (b))/(b)	Var.
OPERATING ACTIVITIES							
Revenue from operating activities							
General rates	10	10,077,038	10,077,038	10,096,373	19,335	0.19%	
Rates excluding general rates		6,299	0	0	0	0.00%	
Grants, subsidies and contributions	14	1,587,992	925,352	789,616	(135,736)	(14.67%)	▼
Fees and charges		4,195,911	3,170,122	3,325,852	155,730	4.91%	▲
Interest revenue		308,442	133,496	128,063	(5,433)	(4.07%)	
Other revenue		375,476	229,725	354,186	124,461	54.18%	▲
Profit on asset disposals	6	76,025	480	10,400	9,920	2066.67%	▲
		16,627,183	14,536,213	14,704,490	168,277	1.16%	
Expenditure from operating activities							
Employee costs		(6,856,559)	(4,070,212)	(3,878,496)	191,716	4.71%	▲
Materials and contracts		(7,487,183)	(4,476,517)	(4,873,419)	(396,902)	(8.87%)	▼
Utility charges		(509,110)	(297,045)	(244,336)	52,709	17.74%	▲
Depreciation		(6,309,532)	(1,802,722)	(17,288)	1,785,434	99.04%	▲
Finance costs		(92,173)	(49,353)	(53,741)	(4,388)	(8.89%)	
Insurance		(393,956)	(393,956)	(396,075)	(2,119)	(0.54%)	
Other expenditure		(645,229)	(271,933)	(218,301)	53,632	19.72%	▲
Loss on asset disposals	6	(291,099)	0	0	0	0.00%	
		(22,584,841)	(11,361,738)	(9,681,656)	1,680,082	14.79%	
Non-cash amounts excluded from operating activities	Note 2(b)	6,524,606	1,802,242	6,888	(1,795,354)	(99.62%)	▼
Amount attributable to operating activities		566,948	4,976,717	5,029,722	53,005	1.07%	
INVESTING ACTIVITIES							
Inflows from investing activities							
Proceeds from capital grants, subsidies and contributions	15	4,336,989	0	1,080,067	1,080,067	0.00%	▲
Proceeds from disposal of assets	6	356,900	14,400	14,400	0	0.00%	
Proceeds from financial assets at amortised cost - self supporting loans		4,291	2,135	2,135	0	0.00%	
		4,698,180	16,535	1,096,602	1,080,067	6532.01%	
Outflows from investing activities							
Payments for property, plant and equipment	5	(5,673,356)	(1,631,944)	(1,739,536)	(107,592)	(6.59%)	▼
Payments for construction of infrastructure	5	(5,264,515)	(3,168,954)	(1,708,350)	1,460,604	46.09%	▲
		(10,937,871)	(4,800,898)	(3,447,886)	1,353,012	28.18%	
Amount attributable to investing activities		(6,239,691)	(4,784,363)	(2,351,284)	2,433,079	50.85%	
FINANCING ACTIVITIES							
Inflows from financing activities							
Proceeds from new debentures	11	1,015,000	0	0	0	0.00%	
Transfer from reserves	4	2,917,096	0	0	0	0.00%	
		3,932,096	0	0	0	0.00%	
Outflows from financing activities							
Repayment of borrowings	11	(262,349)	(158,840)	(158,840)	0	0.00%	
Payments for principal portion of lease liabilities	12	(32,089)	(17,188)	(17,188)	0	0.00%	
Transfer to reserves	4	(630,852)	0	(20,745)	(20,745)	0.00%	▼
		(925,290)	(176,028)	(196,773)	(20,745)	(11.79%)	
Amount attributable to financing activities		3,006,806	(176,028)	(196,773)	(20,745)	(11.79%)	
MOVEMENT IN SURPLUS OR DEFICIT							
Surplus or deficit at the start of the financial year		2,665,937	2,665,937	2,308,759	(357,178)	(13.40%)	▼
Amount attributable to operating activities		566,948	4,976,717	5,029,722	53,005	1.07%	▲
Amount attributable to investing activities		(6,239,691)	(4,784,363)	(2,351,284)	2,433,079	50.85%	▲
Amount attributable to financing activities		3,006,806	(176,028)	(196,773)	(20,745)	(11.79%)	▼
Surplus or deficit after imposition of general rates		0	2,682,263	4,790,424	2,108,161	78.60%	▲

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

* Refer to Note 3 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

**SHIRE OF GINGIN
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 31 JANUARY 2024**

	Supplementary Information	30 June 2023 \$	31 January 2024 \$
CURRENT ASSETS			
Cash and cash equivalents	3	13,161,376	13,138,475
Trade and other receivables		958,703	3,637,327
Other financial assets		4,291	2,156
Inventories	8	22,913	23,950
Contract assets	8	383,908	109,801
Other assets	8	39,059	0
TOTAL CURRENT ASSETS		14,570,250	16,911,709
NON-CURRENT ASSETS			
Trade and other receivables		169,380	169,380
Other financial assets		100,015	100,015
Property, plant and equipment		51,756,372	53,495,907
Infrastructure		218,636,014	220,344,365
Right-of-use assets		44,774	42,718
TOTAL NON-CURRENT ASSETS		270,706,555	274,152,385
TOTAL ASSETS		285,276,805	291,064,094
CURRENT LIABILITIES			
Trade and other payables	9	1,985,146	1,244,011
Other liabilities	13	922,102	1,504,422
Lease liabilities	12	20,122	10,355
Borrowings	11	261,817	102,976
Employee related provisions	13	1,257,422	1,257,422
TOTAL CURRENT LIABILITIES		4,446,609	4,119,186
NON-CURRENT LIABILITIES			
Lease liabilities	12	25,274	33,086
Borrowings	11	1,580,847	1,580,847
Employee related provisions		5,318,798	5,318,798
TOTAL NON-CURRENT LIABILITIES		6,924,919	6,932,731
TOTAL LIABILITIES		11,371,528	11,051,917
NET ASSETS		273,905,277	280,012,177
EQUITY			
Retained surplus		49,827,476	55,913,631
Reserve accounts	4	8,092,530	8,113,275
Revaluation surplus		215,985,271	215,985,271
TOTAL EQUITY		273,905,277	280,012,177

This statement is to be read in conjunction with the accompanying notes.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2024**

1 BASIS OF PREPARATION AND SIGNIFICANT ACCOUNTING POLICIES

BASIS OF PREPARATION

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996*, prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the Shire to measure any vested improvements at zero cost.

Local Government (Financial Management) Regulations 1996, regulation 34 prescribes contents of the financial report. Supporting information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements.

Judgements and estimates

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- estimated fair value of certain financial assets
- impairment of financial assets
- estimation of fair values of land and buildings, infrastructure and investment property
- estimation uncertainties made in relation to lease accounting
- estimated useful life of intangible assets

SIGNIFICANT ACCOUNTING POLICIES

Significant accounting policies utilised in the preparation of these statements are as described within the 2023-24 Annual Budget. Please refer to the adopted budget document for details of these policies.

PREPARATION TIMING AND REVIEW

Date prepared: All known transactions up to 31 January 2024

**MINUTES
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20 FEBRUARY 2024**

APPENDIX 13.1.1

**SHIRE OF GINGIN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2024**

2 STATEMENT OF FINANCIAL ACTIVITY INFORMATION

(a) Net current assets used in the Statement of Financial Activity	Supplementary Information	Amended Budget	Last Year	Year to Date
		Opening 30 June 2023	Closing 30 June 2023	31 January 2024
		\$	\$	\$
Current assets				
Cash and cash equivalents	3	8,580,267	13,161,376	13,138,475
Trade and other receivables		1,940,054	958,703	3,637,328
Other financial assets		0	4,291	2,156
Inventories	8	389,877	22,913	23,950
Contract assets	8	0	383,908	109,801
Other assets	8	19,325	39,059	0
		<u>10,929,523</u>	<u>14,570,250</u>	<u>16,911,710</u>
Less: current liabilities				
Trade and other payables	9	(3,392,338)	(1,985,146)	(1,244,011)
Other liabilities	13	0	(922,102)	(1,504,422)
Lease liabilities	12	0	(20,122)	(10,355)
Borrowings	11	(550,001)	(261,817)	(102,976)
Employee related provisions	13	(1,004,339)	(1,257,422)	(1,257,422)
		<u>(4,946,678)</u>	<u>(4,446,609)</u>	<u>(4,119,186)</u>
Net current assets		5,982,845	10,123,641	12,792,524
Less: Total adjustments to net current assets	Note 2(c)	(5,982,845)	(7,814,882)	(8,002,100)
Closing funding surplus / (deficit)		0	2,308,759	4,790,424

(b) Non-cash amounts excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

Non-cash amounts excluded from operating activities	Amended Budget	YTD Budget (a)	YTD Actual (b)
	\$	\$	\$
Adjustments to operating activities			
Less: Profit on asset disposals	6	(76,025)	(480)
Add: Loss on asset disposals	6	291,099	0
Add: Depreciation		6,309,532	1,802,722
Total non-cash amounts excluded from operating activities		6,524,606	1,802,242

(c) Current assets and liabilities excluded from budgeted deficiency

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation 32* to agree to the surplus/(deficit) after imposition of general rates.

Adjustments to net current assets	Amended Budget	Last Year	Year to Date
	Opening 30 June 2023	Closing 30 June 2023	31 January 2024
	\$	\$	\$
Less: Reserve accounts	4	(6,532,846)	(8,092,530)
Less: Financial assets at amortised cost - self supporting loans	8	0	(4,291)
Add: Current liabilities not expected to be cleared at the end of the year:			
- Current portion of borrowings	11	550,001	261,817
- Current portion of lease liabilities	12	0	20,122
Total adjustments to net current assets	Note 2(a)	(5,982,845)	(7,814,882)

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.1.1

SHIRE OF GUNDAH
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
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3 EXPLANATION OF MATERIAL VARIANCES

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.
The material variance adopted by Council for the 2023-24 year is \$20,000 or 10.00% whichever is the greater.

Description	Timing and Permanent	Var. \$	Var. %	
		\$	%	
Revenue from operating activities				
Grants, subsidies and contributions				
DFES funding for BRMO and CEM positions; Coastal management grant for sand renourishment works - aquittal completed, awaiting payment;	Timing	(135,736)	(14.67%)	+
Emergency resilience grant recognition - timing of project deliverables;				
MAF Mitigation funding recognition - timing of works;				
Fees and charges				
Additional health regulatory licences, building licence fees, planning application fees and rates instalment administration fees income;	Timing	155,730	4.91%	-
Commercial property leases, additional income - gross revenue shares; mobile telephone tower leases charged in full;				
Other revenue				
Reimbursements for general administration; licensing commission income based on service delivery levels; employee long service leave accruals paid by other local governments; cash in lieu of parking income to be transferred to reserve; additional workers compensation reimbursements; refund of works overpayment; Department of Housing rates payments still to be dispursed to rate book.	Timing	124,461	54.18%	-
Profit on asset disposals				
Timing of assets processing.	Timing	9,920	2066.67%	-
Expenditure from operating activities				
Employee costs				
Timing of salary changes due to budget adoption in August 2023; vacancy of positions.	Timing	191,716	4.71%	-
Materials and contracts				
Information technology licenses paid in advance; emergency repairs to freezer and cool room at Guilderton Store; timing of works for sand renourishment projects; timing of maintenance for all vehicles and plant; timing of maintenance works parks, garden and recreation areas; increase in road maintenance costs.	Timing	(396,902)	(8.87%)	+
Utility charges				
Timing of billing cycle for utilities.	Timing	52,709	17.74%	-
Depreciation				
Timing on assets processing.	Timing	1,785,434	99.04%	-
Other expenditure				
Timing of community grant payments.	Timing	53,632	19.72%	-
Non-cash amounts excluded from operating activities				
Timing on assets processing.	Timing	(1,795,354)	(99.62%)	+
Inflows from investing activities				
Proceeds from capital grants, subsidies and contributions				
Timing of grants for DFES fire vehicle change overs;	Timing	1,080,067	0.00%	-
Roads to Recovery funding for Wild Street Bridge - project delayed;				
Timing of recognition of grant funding for road projects;				
Outflows from investing activities				
Payments for property, plant and equipment				
Timing of capital projects and plant purchases.	Timing	(107,592)	(6.59%)	+
Payments for construction of infrastructure				
Timing of capital projects.	Timing	1,460,604	46.09%	-
Outflows from financing activities				
Transfer to reserves				
End of year process.	Timing	(20,745)	0.00%	+
Surplus or deficit at the start of the financial year				
Increase in employee leave provisions, reserve transfer and additional 2022/23 supplier invoices recognised in correct financial year.	Permanent	(357,178)	(13.40%)	+
Surplus or deficit after imposition of general rates				
Due to variances described above		2,108,161	78.60%	-

SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
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**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

1 KEY INFORMATION

Funding Surplus or Deficit Components

Funding surplus / (deficit)				
	Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
Opening	\$2.67 M	\$2.67 M	\$2.31 M	(\$0.36 M)
Closing	\$0.00 M	\$2.68 M	\$4.79 M	\$2.11 M

Refer to Statement of Financial Activity

Cash and cash equivalents		
	\$	% of total
Unrestricted Cash	\$5.03 M	38.2%
Restricted Cash	\$8.11 M	61.8%

Refer to 3 - Cash and Financial Assets

Payables		
	\$	% Outstanding
Trade Payables	\$0.23 M	
0 to 30 Days		95.5%
Over 30 Days		4.6%
Over 90 Days		1.0%

Refer to 9 - Payables

Receivables		
	\$	% Collected
Rates Receivable	\$2.46 M	76.5%
Trade Receivable	\$1.17 M	
Over 30 Days		38.7%
Over 90 Days		6.8%

Refer to 7 - Receivables

Key Operating Activities

Amount attributable to operating activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
\$0.57 M	\$4.98 M	\$5.03 M	\$0.05 M

Refer to Statement of Financial Activity

Rates Revenue		
	\$	% Variance
YTD Actual	\$10.10 M	
YTD Budget	\$10.08 M	0.2%

Refer to 10 - Rate Revenue

Grants and Contributions		
	\$	% Variance
YTD Actual	\$0.79 M	
YTD Budget	\$0.93 M	(14.7%)

Refer to 14 - Grants and Contributions

Fees and Charges		
	\$	% Variance
YTD Actual	\$3.33 M	
YTD Budget	\$3.17 M	4.9%

Refer to Statement of Financial Activity

Key Investing Activities

Amount attributable to investing activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$6.24 M)	(\$4.78 M)	(\$2.35 M)	\$2.43 M

Refer to Statement of Financial Activity

Proceeds on sale		
	\$	%
YTD Actual	\$0.01 M	
Amended Budget	\$0.36 M	(96.0%)

Refer to 6 - Disposal of Assets

Asset Acquisition		
	\$	% Spent
YTD Actual	\$3.45 M	
Amended Budget	\$10.94 M	(68.5%)

Refer to 5 - Capital Acquisitions

Capital Grants		
	\$	% Received
YTD Actual	\$1.08 M	
Amended Budget	\$4.34 M	(75.1%)

Refer to 5 - Capital Acquisitions

Key Financing Activities

Amount attributable to financing activities			
Amended Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
\$3.01 M	(\$0.18 M)	(\$0.20 M)	(\$0.02 M)

Refer to Statement of Financial Activity

Borrowings	
Principal repayments	(\$0.16 M)
Interest expense	(\$0.05 M)
Principal due	\$1.68 M

Refer to 11 - Borrowings

Reserves	
Reserves balance	\$8.11 M
Interest earned	\$0.02 M

Refer to 4 - Cash Reserves

Lease Liability	
Principal repayments	(\$0.02 M)
Interest expense	(\$0.00 M)
Principal due	\$0.04 M

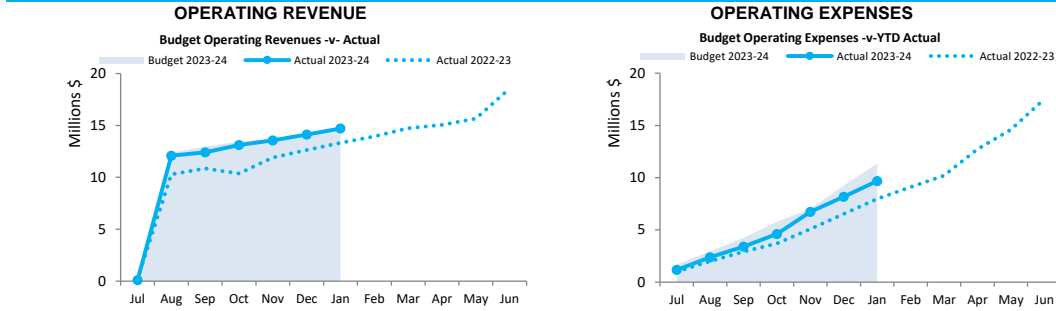
Refer to Note 12 - Lease Liabilities

This information is to be read in conjunction with the accompanying Financial Statements and notes.

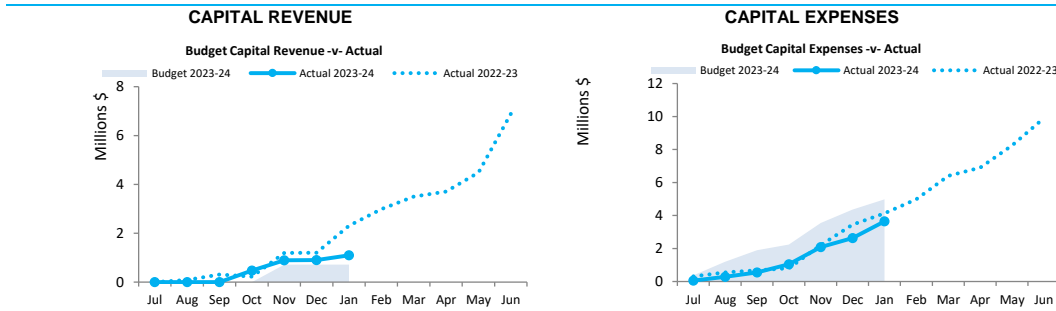
**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

2 KEY INFORMATION - GRAPHICAL

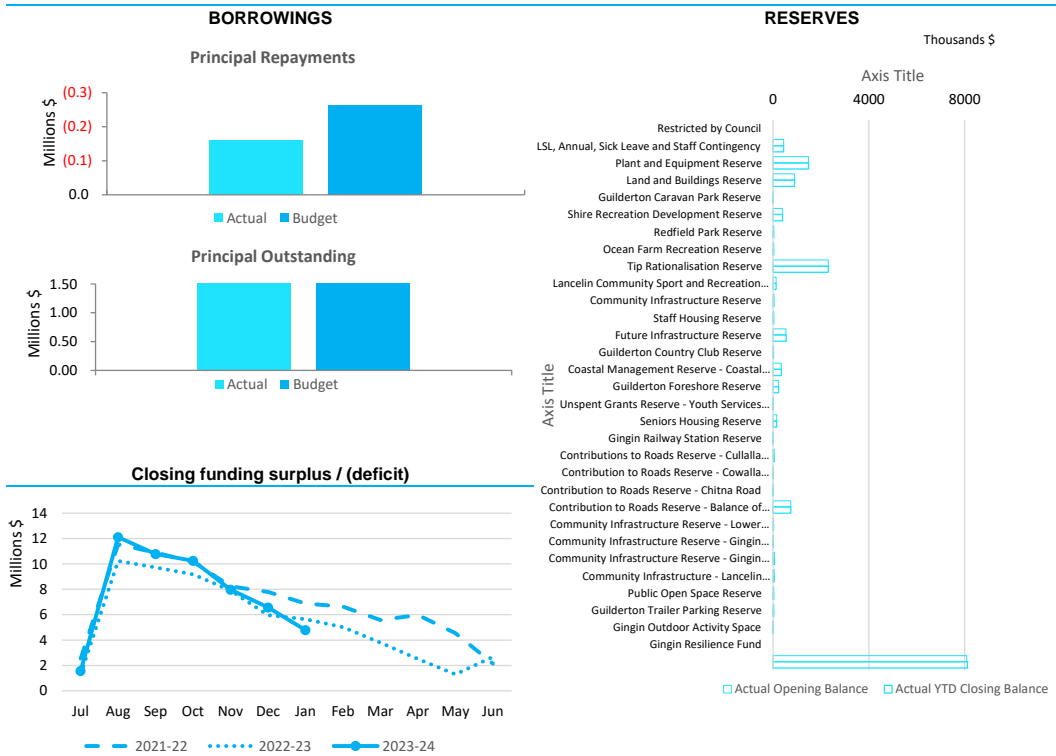
OPERATING ACTIVITIES



INVESTING ACTIVITIES



FINANCING ACTIVITIES



This information is to be read in conjunction with the accompanying Financial Statements and Notes.

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.1.1

SHIRE OF GINGIN SUPPLEMENTARY INFORMATION FOR THE PERIOD ENDED 31 JANUARY 2024

3 CASH AND FINANCIAL ASSETS

Description	Classification	Unrestricted \$	Restricted \$	Total Cash \$	Institution	Interest Rate	Maturity Date
Cash Deposits							
Municipal Bank Account	Cash and cash equivalents	2,022,900	0	2,022,900	Bendigo Bank	0.00%	At Call
Reserve Bank Account	Cash and cash equivalents	0	92,530	92,530	Bendigo Bank	0.00%	At Call
Cash on hand	Cash and cash equivalents	2,300	0	2,300	Petty Cash/Till float	N/A	At Call
Municipal Investment 4508681	Cash and cash equivalents	3,000,000	0	3,000,000	Bendigo Bank	4.82%	20/03/2024
Reserve Investment 4608145	Cash and cash equivalents	0	2,020,745	2,020,745	Bendigo Bank	5.01%	19/06/2024
Reserve Investment 4515174	Cash and cash equivalents	0	6,000,000	6,000,000	Bendigo Bank	4.79%	26/03/2024
Total		5,025,200	8,113,276	13,138,475			
Comprising							
Cash and cash equivalents		5,025,200	8,113,276	13,138,475			
		5,025,200	8,113,276	13,138,475			

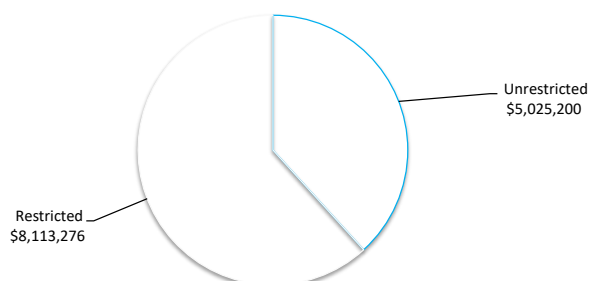
KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 4 - Other



MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.1.1

SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024

4 RESERVE ACCOUNTS

Reserve name	Budget	Budget	Budget	Budget	Budget	Actual	Actual	Actual	Actual	Actual
	Opening	Interest	Transfer	Transfers	Closing	Opening	Interest	Transfers	Transfer	YTD
	Balance	Earned	s In (+)	Out (-)	Balance	Balance	Earned	In (+)	Out (-)	Closing
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Restricted by Council										
LSL, Annual, Sick Leave and Staff Contingency	440,075	8,829	0	0	448,904	440,075	1,128	0	0	441,203
Plant and Equipment Reserve	1,438,722	28,859	7,500	(1,295,955)	179,126	1,479,886	3,794	0	0	1,483,680
Land and Buildings Reserve	893,170	17,916	0	(875,350)	35,736	893,170	2,290	0	0	895,460
Guilderton Caravan Park Reserve	4,842	97	100,000	0	104,939	4,842	12	0	0	4,854
Shire Recreation Development Reserve	393,010	7,883	0	(40,000)	360,893	393,010	1,007	0	0	394,017
Redfield Park Reserve	32,231	647	0	0	32,878	32,231	83	0	0	32,314
Ocean Farm Recreation Reserve	31,915	640	0	0	32,555	31,915	82	0	0	31,997
Tip Rationalisation Reserve	2,302,313	46,181	71,428	(37,500)	2,382,422	2,302,313	5,902	0	0	2,308,215
Lancelin Community Sport and Recreation Reserve	127,542	2,558	26,530	0	156,630	127,542	327	0	0	127,869
Community Infrastructure Reserve	35,790	718	8,000	0	44,508	35,790	92	0	0	35,882
Staff Housing Reserve	34,372	689	0	(34,372)	689	34,372	88	0	0	34,460
Future Infrastructure Reserve	542,123	10,874	0	0	552,997	542,123	1,390	0	0	543,513
Guilderton Country Club Reserve	21,219	426	8,232	0	29,877	21,219	54	0	0	21,273
Coastal Management Reserve - Coastal Inundation	344,272	6,906	100,000	(85,000)	366,178	344,272	883	0	0	345,155
Guilderton Foreshore Reserve	232,411	4,662	79,931	(50,000)	267,004	232,411	596	0	0	233,007
Unspent Grants Reserve - Youth Services Website Grant	5,136	103	0	0	5,239	5,136	13	0	0	5,149
Seniors Housing Reserve	157,126	3,152	25,000	(150,000)	35,278	157,126	403	0	0	157,529
Gingin Railway Station Reserve	5,886	118	0	0	6,004	5,886	15	0	0	5,901
Contributions to Roads Reserve - Cullalla Road Intersection	46,221	927	0	0	47,148	46,221	118	0	0	46,339
Contribution to Roads Reserve - Cowalla Road Intersection	16,434	330	0	0	16,764	16,434	42	0	0	16,476
Contribution to Roads Reserve - Chitna Road	3,081	62	0	0	3,143	3,081	8	0	0	3,089
Contribution to Roads Reserve - Balance of Muni Funds	739,584	14,835	0	(348,919)	405,500	739,584	1,896	0	0	741,480
Community Infrastructure Reserve - Lower Coastal Fire Control	25,878	519	0	0	26,397	25,878	74	0	0	25,952
Community Infrastructure Reserve - Gingin Logo Plates	8,497	170	300	0	8,967	8,497	14	0	0	8,511
Community Infrastructure Reserve - Gingin Ambulance	55,285	1,109	6,000	0	62,394	55,285	142	0	0	55,427
Community Infrastructure - Lancelin Ambulance	49,686	997	18,000	0	68,683	49,686	127	0	0	49,813
Public Open Space Reserve	26,681	535	0	0	27,216	26,681	68	0	0	26,749
Guilderton Trailer Parking Reserve	32,913	660	4,680	0	38,253	32,913	84	0	0	32,997
Gingin Outdoor Activity Space	4,951	99	0	0	5,050	4,951	13	0	0	4,964
Gingin Resilience Fund	0	0	13,750	0	13,750	0	0	0	0	0
	8,051,366	161,501	469,351	(2,917,096)	5,765,122	8,092,530	20,745	0	0	8,113,275

**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

INVESTING ACTIVITIES

5 CAPITAL ACQUISITIONS

Capital acquisitions	Amended		YTD Actual	YTD Actual Variance
	Budget	YTD Budget		
	\$	\$	\$	\$
Land	805,000	805,000	746,293	(58,707)
Buildings - non-specialised	662,900	173,000	96,970	(76,030)
Buildings - specialised	1,027,687	424,830	278,395	(146,435)
Plant and equipment	2,829,097	229,114	617,878	388,764
Vehicles	348,672	0	0	0
Acquisition of property, plant and equipment	5,673,356	1,631,944	1,739,536	107,592
Infrastructure - roads	2,885,954	2,885,954	1,604,703	(1,281,251)
Infrastructure - parks & ovals	242,500	179,000	74,410	(104,590)
Infrastructure - other	454,000	104,000	29,237	(74,763)
Infrastructure - bridges	1,682,061	0	0	0
Acquisition of infrastructure	5,264,515	3,168,954	1,708,350	(1,245,420)
Total capital acquisitions	10,937,871	4,800,898	3,447,886	(1,137,828)
Capital Acquisitions Funded By:				
Capital grants and contributions	4,336,989	0	1,080,067	1,080,067
Borrowings	1,015,000	0	0	0
Other (disposals & C/Fwd)	356,900	14,400	14,400	0
Reserve accounts				
Plant and Equipment Reserve	1,295,955	0	0	0
Land and Buildings Reserve	875,350	0	0	0
Staff Housing Reserve	34,372	0	0	0
Seniors Housing Reserve	150,000	0	0	0
Contribution to Roads Reserve - Balance of Muni Funds	348,919	0	0	0
Contribution - operations	2,524,386	4,786,498	2,353,418	(2,433,080)
Capital funding total	10,937,871	4,800,898	3,447,886	(1,353,012)

SIGNIFICANT ACCOUNTING POLICIES

Each class of fixed assets within either plant and equipment or infrastructure, is carried at cost or fair value as indicated less, where applicable, any accumulated depreciation and impairment losses.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Financial Management Regulation 17A (5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

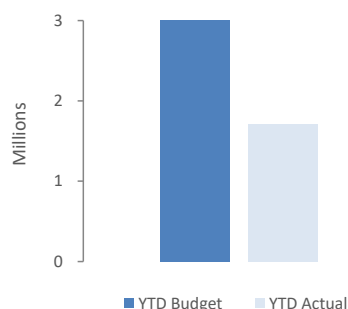
Initial recognition and measurement for assets held at cost

Plant and equipment including furniture and equipment is recognised at cost on acquisition in accordance with *Financial Management Regulation 17A*. Where acquired at no cost the asset is initially recognise at fair value. Assets held at cost are depreciated and assessed for impairment annually.

Initial recognition and measurement between mandatory revaluation dates for assets held at fair value

In relation to this initial measurement, cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads.

Payments for Capital Acquisitions



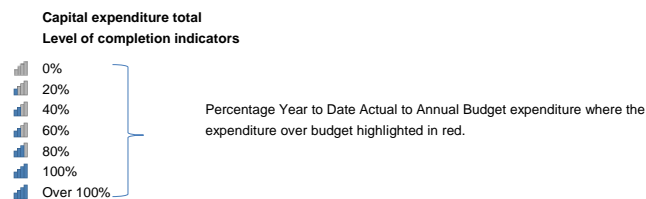
MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

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FOR THE PERIOD ENDED 31 JANUARY 2024

INVESTING ACTIVITIES

5 CAPITAL ACQUISITIONS - DETAILED



Level of completion indicator, please see table at the end of this note for further detail.

Account Description	Amended		YTD Actual	Variance (Under)/Over
	Budget	YTD Budget		
BC11100-141101120	80,000	0	1,370	1,370
BC11103-141101120	90,000	90,000	81,721	(8,279)
BC11316-141103120	35,000	29,165	11,925	(17,240)
BC11319-141103120	30,000	25,000	0	(25,000)
BC11361-141103120	30,000	30,000	28,850	(1,150)
BC11700-141107120	280,000	40,000	78,147	38,147
BC1182-141007120	30,000	0	11,830	11,830
BC1192-141103120	13,500	0	8,475	8,475
BC12100-141201120	30,000	30,000	32,876	2,876
BC12200-141201140	75,000	62,500	76,368	13,868
BC13260-141302120	79,000	79,000	2,891	(76,109)
BC14200-141402120	130,000	91,665	17,750	(73,915)
BC5100-140501120	40,187	0	0	0
BC7700-140707140	15,000	15,000	11,127	(3,873)
BC8390-140803120	10,000	10,000	2,560	(7,440)
BC8701-140807140	35,500	35,500	0	(35,500)
BC9101-140901140	40,000	40,000	9,475	(30,525)
BC9105-140901140	20,000	20,000	0	(20,000)
BC9490-140904120	150,000	0	0	0
CH90201-140902140	477,400	0	0	0
LC11300-141103080	715,000	715,000	746,293	31,293
LC13200-141302080	90,000	90,000	0	(90,000)
P002-141203300	350,000	0	0	0
P005-140501310	93,472	0	0	0
P034-141203300	30,539	0	30,539	30,539
P041-141203300	30,539	0	30,539	30,539
P045-141203300	350,000	0	0	0
P056-141203300	250,000	0	38,636	38,636
P058-141203300	71,000	71,000	72,441	1,441
P059-141203300	71,000	71,000	72,441	1,441
P076-140501310	255,200	0	0	0
P077-140501300	549,100	0	0	0
P079-141203300	200,000	0	0	0
P088-141203300	100,000	0	0	0
P6014-141203300	45,000	0	0	0
P6017-141203300	45,000	45,000	66,281	21,281
PE11200-141102300	0	0	6,268	6,268
PE13260-141302300	30,000	30,000	7,968	(22,032)
PE13600-141306300	0	0	75,000	75,000
PE13800-141308300	12,114	12,114	0	(12,114)
PNEW12-141203300	70,000	0	58,572	58,572
PNEW2-141203300	113,805	0	0	0
PNEW5-141203300	140,000	0	138,929	138,929
PNEW7-141203300	300,000	0	0	0
PNEW9-141203300	50,000	0	0	0
-140501300	0	0	0	0
BR661-141201670	1,682,061	0	0	0
DC000-141201650	30,000	30,000	0	(30,000)
LRCI0002-140503900	40,000	20,000	250	(19,750)
LRCI0003-141103700	63,500	0	0	0
OC10701-141007900	60,000	30,000	13,798	(16,203)
OC11200-141102900	18,000	18,000	0	(18,000)
OC13261-141302900	36,000	36,000	15,190	(20,810)
PC1102-141103700	30,000	30,000	3,243	(26,757)
PC11100-141103700	25,000	25,000	22,933	(2,068)
PC11316-141103700	29,000	29,000	0	(29,000)
PC1170-141103700	15,000	15,000	11,064	(3,936)
PC1192-141103700	50,000	50,000	24,888	(25,112)
PC1198-141103700	10,000	10,000	12,281	2,281
PC14200-141402700	20,000	20,000	0	(20,000)
R2R019-141201460	323,436	323,436	300,060	(23,376)
RC004-141201420	54,800	54,800	33,233	(21,567)
RC012-141201420	320,510	320,510	442,142	121,632
RC019-141201420	0	0	2,746	2,746
RC032-141201420	344,508	344,508	324,224	(20,284)
RC066-141201410	0	0	6,875	6,875
RC254-141201410	304,000	304,000	205,108	(98,892)
RRG001-141201490	1,376,000	1,376,000	180,525	(1,195,475)
SC10300-141003900	300,000	0	0	0
-	10,937,871	4,800,898	3,447,886	(1,353,012)

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

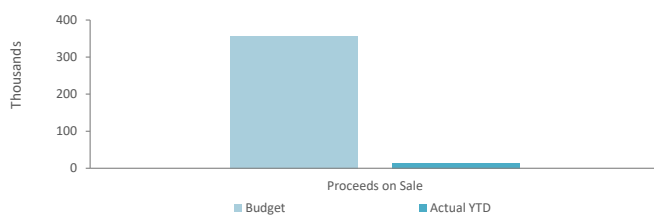
APPENDIX 13.1.1

SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024

OPERATING ACTIVITIES

6 DISPOSAL OF ASSETS

Asset Ref.	Asset description	Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
		\$	\$	\$	\$	\$	\$	\$	\$
Plant and equipment									
	Beermullah BFB Light Tanker	19,053	45,000	25,947	0	0	0	0	0
	Guilderton BFB Fire Tanker	278,169	90,000	0	(188,169)	0	0	0	0
	GG045 Volvo Prime Mover	83,972	60,000	0	(23,972)	0	0	0	0
	GG002 Volvo Prime Mover	45,996	60,000	14,004	0	0	0	0	0
	GG034 Kubota Mower	0	7,200	7,200	0	0	7,200	7,200	0
	GG041 Kubota Mower	4,000	7,200	3,200	0	4,000	7,200	3,200	0
	GG056 Spray Truck	28,000	15,000	0	(13,000)	0	0	0	0
	GG066 Mercedes Benz Water Truck	60,000	20,000	0	(40,000)	0	0	0	0
	GG079 Bomag Roller	25,044	50,000	24,956	0	0	0	0	0
	GG6015 Trailer	762	1,000	238	0	0	0	0	0
	Guilderton Caravan Park - Generator	1,020	1,500	480	0	0	0	0	0
Infrastructure - Parks and ovals									
	Granville Park Dam - Bridge x 2	18,225	0	0	(18,225)	0	0	0	0
	Harold Park BBQs	4,000	0	0	(4,000)	0	0	0	0
	Guilderton Caravan Park - Bench seats in camp kitchen	3,733	0	0	(3,733)	0	0	0	0
		571,974	356,900	76,025	(291,099)	4,000	14,400	10,400	0



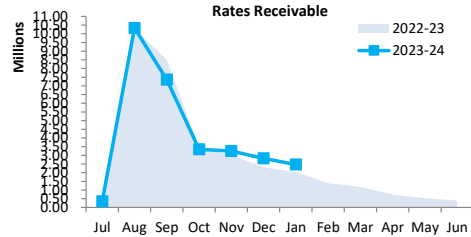
**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

OPERATING ACTIVITIES

7 RECEIVABLES

Rates receivable

	30 June 2023	31 Jan 2024
	\$	\$
Opening arrears previous years	399,663	393,515
Levied this year	9,437,442	10,096,373
Less - collections to date	(9,443,590)	(8,024,993)
Gross rates collectable	393,515	2,464,894
Net rates collectable	393,515	2,464,894
% Collected	96.0%	76.5%



Receivables - general

	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	(6,309)	535,731	271,108	3,114	58,275	861,919
Percentage	(0.7%)	62.2%	31.5%	0.4%	6.8%	
Balance per trial balance						
Trade receivables						861,919
GST receivable						83,403
Allowance for credit losses of trade receivables						(8,871)
Legal costs - recovery of rates						72,423
Rubbish fees						163,559
Total receivables general outstanding						1,172,433

Amounts shown above include GST (where applicable)

KEY INFORMATION

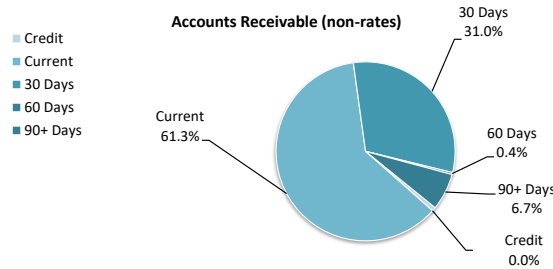
Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business.

Trade receivables are recognised at original invoice amount less any allowances for uncollectable amounts (i.e. impairment). The carrying amount of net trade receivables is equivalent to fair value as it is due for settlement within 30 days.

Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.



**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

OPERATING ACTIVITIES

8 OTHER CURRENT ASSETS

	Opening Balance 1 July 2023	Asset Increase	Asset Reduction	Closing Balance 31 January 2024
	\$	\$	\$	\$
Other current assets				
Other financial assets at amortised cost				
Financial assets at amortised cost - self supporting loans	2,327	0	(1,157)	1,170
Financial assets at amortised cost - advances	1,964	0	(978)	986
Inventory				
Fuel	8,223	224,420	(223,384)	9,260
History Books	14,690	0	0	14,690
Other assets				
Prepayments	39,059	0	(39,059)	0
Contract assets				
Contract assets	383,908	0	(274,107)	109,801
Total other current assets	450,171	224,420	(538,685)	135,906

Amounts shown above include GST (where applicable)

KEY INFORMATION

Other financial assets at amortised cost

The Shire classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

Contract assets

A contract asset is the right to consideration in exchange for goods or services the entity has transferred to a customer when that right is conditioned on something other than the passage of time.

**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

OPERATING ACTIVITIES

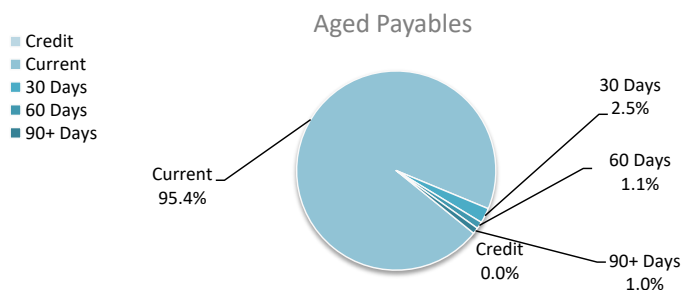
9 PAYABLES

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	222,571	5,732	2,648	2,303	233,055
Percentage	0.0%	95.5%	2.5%	1.1%	1.0%	
Balance per trial balance						
Sundry creditors						233,055
ATO liabilities						71,152
Prepaid rates						102,287
Bonds & deposits						815,930
Accrued interest on long term borrowings						21,587
Total payables general outstanding						1,244,011

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the period that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.



**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 13.1.1

SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024

OPERATING ACTIVITIES

10 RATE REVENUE

General rate revenue

RATE TYPE	Rate in	Number of	Rateable	Rate	Budget	Total	Rate	YTD Actual	Total
	\$ (cents)	Properties	Value	Revenue	Interim	Revenue	Revenue	Interim	Revenue
				\$	\$	\$	\$	\$	\$
Gross rental value									
GRV Townsites	0.092598	1,595	30,572,286	2,830,933	0	2,830,933	2,830,933	7,303	2,838,236
GRV Other	0.092598	979	18,179,385	1,683,375	0	1,683,375	1,683,375	10,747	1,694,122
Unimproved value									
UV Rural	0.004848	463	366,649,000	1,777,514	0	1,777,514	1,777,514	31,607	1,809,121
UV Other	0.004848	3	2,686,000	13,022	0	13,022	13,022	0	13,022
UV Intensive/Mining	0.007376	131	97,379,000	718,268	0	718,268	718,268	(28,723)	689,545
UV Exploraton Mining	0.004848	0	0	0	0	0	0	(1,599)	(1,599)
Sub-Total		3,171	515,465,671	7,023,112	0	7,023,112	7,023,112	19,335	7,042,447
Minimum payment									
Minimum Payment \$									
Gross rental value									
GRV Townsites	1,248	1,033	9,760,775	1,289,184	0	1,289,184	1,289,184	0	1,289,184
GRV Other	1,248	744	4,222,360	928,512	0	928,512	928,512	0	928,512
Unimproved value									
UV Rural	1,444	346	76,307,000	499,624	0	499,624	499,624	0	499,624
UV Other	1,444	1	180,000	1,444	0	1,444	1,444	0	1,444
UV Intensive/Mining	2,461	118	23,639,885	290,398	0	290,398	290,398	0	290,398
UV Exploraton Mining	1,444	31	101,934	44,764	0	44,764	44,764	0	44,764
Sub-total		2,273	114,211,954	3,053,926	0	3,053,926	3,053,926	0	3,053,926
Amount from general rates						10,077,038			10,096,373
Ex-gratia rates						6,299			0
Total general rates						10,083,337			10,096,373

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.1.1

SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024

FINANCING ACTIVITIES

11 BORROWINGS

Repayments - borrowings

Information on borrowings Particulars	Loan No.	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments		
		1 July 2023	Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	
Gingin Medical Centre	100	36,082	0	0	(36,081)	(36,081)	1	1	(785)	(1,771)
Tip Rationalisation Site	111	374,839	0	0	(11,216)	(22,797)	363,623	352,042	(13,926)	(23,963)
Seabird Sea Wall	127	81,002	0	0	(22,426)	(22,426)	58,576	58,576	(1,043)	(1,893)
Guilderton Country Club Hall Extension	114	254,993	0	0	(21,666)	(44,105)	233,327	210,888	(10,366)	(17,433)
Regional Hardcourt Facility	120	192,913	0	0	(13,333)	(27,111)	179,580	165,802	(7,463)	(12,441)
Regional Hardcourt Facility	124A	188,721	0	0	(11,763)	(23,769)	176,958	164,952	(4,500)	(7,551)
Gingin Swimming Pool Tiling	126	49,937	0	0	(8,006)	(16,136)	41,931	33,801	(784)	(1,424)
Gingin Outdoor Activity Space	132	143,590	0	0	(8,502)	(17,066)	135,088	126,524	(1,193)	(1,995)
Lancelin Cunliffe Street Carpark	133	250,000	0	0	(10,007)	(20,774)	239,993	229,226	(6,640)	(11,165)
Altus Financials Suite	131	139,253	0	0	(4,735)	(9,516)	134,518	129,737	(1,574)	(2,653)
Lot 44 Weld Street, Gingin	123	116,589	0	0	(9,947)	(20,241)	106,642	96,348	(4,562)	(7,768)
Land for Future Gingin Sporting Precinct	New	0	0	715,000	0	0	0	715,000	0	0
Guilderton Caravan Park Waste Water	New	0	0	300,000	0	0	0	300,000	0	0
		1,827,919	0	1,015,000	(157,683)	(260,022)	1,670,236	2,582,897	(52,837)	(90,057)
Self supporting loans										
Ledge Point Country Club Cool Room		14,745	0	0	(1,157)	(2,327)	13,588	12,418	(182)	(306)
		14,745	0	0	(1,157)	(2,327)	13,588	12,418	(182)	(306)
Total		1,842,664	0	1,015,000	(158,840)	(262,349)	1,683,824	2,595,315	(53,019)	(90,363)
Current borrowings		261,817					102,976			
Non-current borrowings		1,580,847					1,580,847			
		1,842,664					1,683,823			

All debenture repayments were financed by general purpose revenue.
Self supporting loans are financed by repayments from third parties.

New borrowings 2023-24

Particulars	Amount Borrowed		Institution	Loan Type	Term Years	Total Interest & Charges	Interest Rate	Amount (Used)		Balance Unspent
	Actual	Budget						Actual	Budget	
	\$	\$					%	\$	\$	\$
Guilderton Caravan Park Waste Water	0	300,000		Council	10	0	4.54	0	(300,000)	0
Land for Future Gingin Sporting Precinct	0	715,000		Council	20	0	-	0	(715,000)	0
	0	1,015,000				0		0	(1,015,000)	0

KEY INFORMATION

Borrowing costs are recognised as an expense when incurred except where they are directly attributable to the acquisition, construction or production of a qualifying asset. Where this is the case, they are capitalised as part of the cost of the particular asset until such time as the asset is substantially ready for its intended use or sale.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature. Non-current borrowings fair values are based on discounted cash flows using a current borrowing rate.

**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

FINANCING ACTIVITIES

12 LEASE LIABILITIES

Movement in carrying amounts

Information on leases Particulars	Lease No.	1 July 2023	New Leases		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	
Lancelin administration office	1A	0	15,232	22,634	(4,267)	(7,236)	10,965	15,398	(420)	(797)
Photocopier - Ineo 958	2	2,559	0	0	(2,559)	(2,559)	-0	0	(6)	(6)
Photocopier NEW	2A	0	0	22,333	0	(4,726)	0	17,607	0	(554)
IT Server	4	42,835	0	0	(10,362)	(17,568)	32,473	25,267	(297)	(451)
Total		45,394	15,232	44,967	(17,188)	(32,089)	43,438	58,272	(722)	(1,808)
Current lease liabilities		20,122					10,355			
Non-current lease liabilities		25,274					33,086			
		45,396					43,441			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is or contains a lease, if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

OPERATING ACTIVITIES

13 OTHER CURRENT LIABILITIES

	Opening Balance 1 July 2023	Liability transferred from/(to) non current	Liability Increase	Liability Reduction	Closing Balance 31 January 2024
Other current liabilities	\$	\$	\$	\$	\$
Other liabilities					
Contract liabilities	454,424	0	255,649	(47,993)	662,081
Capital grant/contributions liabilities	467,678	0	1,396,652	(1,021,988)	842,341
Total other liabilities	922,102	0	1,652,301	(1,069,981)	1,504,422
Employee Related Provisions					
Provision for annual leave	721,704	0	0	0	721,704
Provision for long service leave	535,718	0	0	0	535,718
Total Provisions	1,257,422	0	0	0	1,257,422
Total other current liabilities	2,179,524	0	1,652,301	(1,069,981)	2,761,844

Amounts shown above include GST (where applicable)

A breakdown of contract liabilities and associated movements is provided on the following pages at Note 14 and 15

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured. Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Employee Related Provisions

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as employee related provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

Contract liabilities

An entity's obligation to transfer goods or services to a customer for which the entity has received consideration (or the amount is due) from the customer.

Capital grant/contribution liabilities

Grants to acquire or construct recognisable non-financial assets to identified specifications be constructed to be controlled by the Shire are recognised as a liability until such time as the Shire satisfies its obligations under the agreement.

**MINUTES
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APPENDIX 13.1.1

**SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024**

OPERATING ACTIVITIES

14 GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Unspent grant, subsidies and contributions liability					Grants, subsidies and contributions revenue		
	Liability	Increase in	Decrease in	Liability	Current	Amended	YTD	YTD
	1 July 2023	Liability	Liability	31 Jan 2024	Liability	Budget	Budget	Revenue
	\$	\$	(As revenue)	\$	\$	\$	\$	\$
Grants and subsidies								
General purpose funding								
Financial Assistance Grant - General Purpose	0	0	0	0	0	0	0	23,993
Financial Assistance Grant - Roads	0	0	0	0	0	0	0	26,900
DFES Operating Grant	0	0	0	0	0	224,404	168,303	161,761
Coastal Hazard Risk Management Plan Grant	0	0	0	0	0	10,580	6,174	0
CAP Grant Funding	0	0	0	0	0	45,000	0	45,000
CMPAP Coastal Inundation Integration	0	0	0	0	0	20,000	11,669	0
Direct Road Grant MRWA	0	0	0	0	0	261,330	261,330	267,159
DWER Grant for Standpipe Monitoring System	0	0	0	0	0	0	0	900
	0	0	0	0	0	561,314	447,476	525,712
Contributions								
General purpose funding								
Rates incentive Prize Night	0	0	0	0	0	12,000	12,000	16,682
Law, order, public safety								
CESM Grant - DFES	0	0	0	0	0	96,143	58,272	45,468
BRMO Grant - DFES	72,084	46,508	(47,316)	71,276	71,276	111,618	111,618	47,316
MAF Mitigation - DFES	0	209,141	0	209,141	209,141	600,517	100,086	71,064
Gingin Resilience Project - Mindaroo Foundation	100,000	0	(677)	99,323	99,323	137,500	137,500	677
Community amenities								
Claymont Estate - Planning contributions	0	0	0	0	0	8,000	4,662	2,400
Recreation and culture								
Naming Sponsorship - Gingin Aquatic Centre - Image Resources	0	0	0	0	0	10,000	10,000	10,000
Contribution income for suite of events	0	0	0	0	0	36,400	30,069	57,655
Transport								
Contribution income for Aurisch Road Maintenance	0	0	0	0	0	12,500	12,500	12,500
Economic Services								
Guilderton Caravan Park Deposit Liability	282,340	0	0	282,340	282,340	0	0	0
Market PLI contributions	0	0	0	0	0	2,000	1,169	142
	454,424	255,649	(47,993)	662,080	662,080	1,026,678	477,876	263,903
TOTALS	454,424	255,649	(47,993)	662,080	662,080	1,587,992	925,352	789,616

**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 13.1.1

SHIRE OF GINGIN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 JANUARY 2024

INVESTING ACTIVITIES

15 CAPITAL GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Capital grant/contribution liabilities					Capital grants, subsidies and contributions revenue		
	Liability	Increase in	Decrease in	Liability	Current	Amended	YTD	YTD
	1 July 2023	Liability	Liability	31 Jan 2024	Liability	Budget	Budget	Revenue
	\$	\$	(As revenue)	\$	\$	\$	\$	\$
Capital grants and subsidies								
Law, order, public safety								
DFES - Capital Grant - Buildings	40,187	0	0	40,187	40,187	0	0	0
DFES - Capital Grant - Vehicles	0	0	0	0	0	0	0	0
Recreation and culture								
LRCI - Unspent funds	15,101	0	(15,101)	0	0	103,500	0	0
Transport								
LRCI - Unspent Funds Roads	21,732	550,733	(504,952)	67,513	67,513	892,579	0	578,132
Roads to Recovery	40,596	268,713	(300,060)	9,249	9,249	1,641,309	0	300,060
Regional Road Group (Mooliabeenee Rd)	0	577,206	(201,875)	375,331	375,331	505,053	0	201,875
Financial Assistance Grants - Special Projects	350,062	0	0	350,062	350,062	350,061	0	0
	467,678	1,396,652	(1,021,988)	842,342	842,342	4,336,989	0	1,080,067

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.1.1

SHIRE OF GINGIN SUPPLEMENTARY INFORMATION FOR THE PERIOD ENDED 31 JANUARY 2024

16 BUDGET AMENDMENTS

Amendments to original budget since budget adoption. Surplus/(Deficit)

Description	GL/Project Code	Council Resolution	Classification	Non Cash Adjustment \$	Increase in Available Cash \$	Decrease in Available Cash \$	Amended Budget Running Balance \$
Budget adoption							0
Management approval 06/11/2023 to reduce budget for Gully Traps	OC13261	N/A	Capital expenses	0	10,000	0	10,000
Management approval 06/11/2023 to reduce budget for Replacement of bench seats	OC13261	N/A	Capital expenses	0	29,000	0	39,000
Management approval 06/11/2023 to increase budget for repairs to Chalet verandah roofing	BC13260	N/A	Capital expenses	0	0	(39,000)	0
CCM 19/09/2023 - Item 18.1 Purchase of land for Future Gingin Sporting Precinct	LC11300	CCM 19/09/2023 Item 18.1	Capital expenses	0	0	(715,000)	(715,000)
CCM 19/09/2023 - Item 18.1 Purchase of Land for Future Gingin Sporting Precinct - Lot 7 Dewar Road, Granville	151103550	CCM 19/09/2023 Item 18.1	Capital revenue	0	715,000	0	0
					754,000	(754,000)	0

13.2 LIST OF PAID ACCOUNTS JANUARY 2024

File	FIN/25
Author	Alarna Richards- Coordinator Financial Planning and Reporting
Reporting Officer	Les Crichton - Executive Manager Corporate and Community Services
Refer	Nil
Appendices	1. Voucher List 2023-2024 - January 2024 [13.2.1 - 9 pages]

DISCLOSURES OF INTEREST

Nil

PURPOSE

For Council to note the payments made in January 2024

BACKGROUND

Council has delegated authority to the CEO to exercise the power to make payments from the Municipal Fund (Delegation 1.1.13 Payments from the Municipal or Trust Funds). The CEO is required to present a list to Council of those payments made since the last list was submitted.

COMMENT

Accounts totalling \$2,485,465.31 were paid during the month of January 2024.

A payment schedule is included as **an appendix** to this report.
The schedule details:

- Municipal Fund electronic funds transfers (EFT) \$1,906,501.29
- Municipal Fund cheques \$0
- Municipal Fund direct debits \$578,964.02
- Municipal Fund - Transfer to Term Deposit Investments \$0

TOTAL MUNICIPAL EXPENDITURE \$2,485,465.31

- Reserve Fund – Transfer to Term Deposit Investments \$0

TOTAL RESERVE FUND EXPENDITURE \$0

TOTAL EXPENDITURE \$2,485,465.31

All invoices have been verified, and all payments have been duly authorised in accordance with Council's procedures.

In accordance with Regulation 13A of the *Local Government (Financial Management) Regulations 1996* requiring details of purchasing card expenditure, the list of payments includes details of fuel card purchases in addition to previously supplied credit card purchases.

STATUTORY/LOCAL LAW IMPLICATIONS

Local Government Act 1995
s.6.4 – Financial Report

Local Government (Financial Management) Regulations 1996
Reg. 13 – Payments from municipal fund or trust by CEO
Reg 13A – Payments by employees via purchasing cards

Shire of Gingin Delegation Register – Delegation 1.1.13 Payments from the Municipal or Trust Funds

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Resource requirements are in accordance with existing budgetary allocations.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	4. Excellence & Accountability - Deliver Quality Leadership and Business Expertise
Strategic Objective	4.4 Strategic & Sustainable Financial Planning - Undertake long-term resource planning and allocation in accordance with the Integrated Planning and Reporting Framework

VOTING REQUIREMENTS - SIMPLE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Woods

That Council note all payments made by the Chief Executive Officer under Delegation 1.1.13 for January 2024 totaling \$2,485,465.31 as detailed in the schedule appendices to this report, comprising:

• Municipal Fund electronic funds transfers (EFT)	\$1,906,501.29
• Municipal Fund cheques	\$0
• Municipal Fund direct debits	\$578,964.02
• Municipal Fund term deposit investment	\$0
• Reserve Fund term deposit investment	\$0

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category
L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,

DATE PAID	NAME	DETAILS	AMOUNT
	TYPE		AMOUNT
EFT-40600	2/01/2024 Carringtons Traffic Services	Traffic Management Weld street	4,496.25
EFT-40601	2/01/2024 Danica Todd	Flavours of Gingin Long Table Dinner - wood art	130.00 L/S
EFT-40602	2/01/2024 Enviro Sweep	Contractor sweep roads -Flavours of Gingin	1,387.54
EFT-40603	2/01/2024 Karen Grant	Cleaning	3,044.25 L
EFT-40604	2/01/2024 Lancelin Concrete and Plumbing	Contractor supply 1 Cu/m of concrete.	374.00
EFT-40605	2/01/2024 Roma Gandy	Rate Refund	399.50 R
EFT-40606	2/01/2024 TLCWA Pty Ltd t/as Saferoads WA	Blackboy Nilgen Jetpatching	32,340.00
EFT-40607	2/01/2024 WA Stump Grinding & Tree Services	Mooliabeenee Road Tree removal	891.00
EFT-40608	4/01/2024 Autospark Bullsbrook	GG088 - aircon unit	5,977.50
EFT-40609	4/01/2024 Avon Waste	10 x Red Park Bins Guilderton Foreshore Area	1,100.00
EFT-40610	4/01/2024 Belgravia PRO Pty Ltd	Guilderton Caravan Park - Management & License Fees	39,653.16
EFT-40611	4/01/2024 Carabon Limestone & Sand Supplies	Guilderton groin sand renourishment	1,215.72
EFT-40612	4/01/2024 CB Traffic Solutions Pty Ltd	Traffic Management 16th -30th Nov and Dec 1st to 15th Traffic	56,807.46
EFT-40613	4/01/2024 Chittering Pest and Weed	Pest spray & Rodent bait stations various shire buildings	13,222.00
EFT-40614	4/01/2024 Eagleye Technical Services	Inspect and remediate Guilderton foreshore car park light pole in the middle of the car park.	275.00 L
EFT-40615	4/01/2024 Elizabeth French Consulting	Contract Environmental Health Officer Services	13,377.00
EFT-40616	4/01/2024 Fire and Safety WA	Fire fighter PPE/PPC Gear stowage bags	745.91
EFT-40617	4/01/2024 Gingin District Community Resource Centre	Flavours of Gingin	93.85 L
EFT-40618	4/01/2024 Gingin Fuel & Tyres	adblue 1000L	1,650.00 L
EFT-40619	4/01/2024 K B Riley & Sons Pty Ltd t/a Lancelin Sands	Lancelin Waste facility -Supply of cover	880.00 L
EFT-40620	4/01/2024 Kerry Munns Artlife	Refund Long Table Dinner ticket	280.00 R
EFT-40621	4/01/2024 Kleenheat Gas Pty Ltd	Guilderton Caravan Park LPG Bulk Gas - annual service fee	2,004.82
EFT-40622	4/01/2024 Leigh Solomon	Guilderton Caravan Park- landscaping works	7,356.00 L
EFT-40623	4/01/2024 Local Government Professionals WA - LGPA	Executive Support Professionals Network	50.00 S
EFT-40624	4/01/2024 Lo-Go Appointments	Temp Contract - Community Development Officer	2,208.44
EFT-40625	4/01/2024 Merredin Telephone Services	CCTV system to Gingin Works Depot	5,847.80
EFT-40626	4/01/2024 Omnicom Media Group Australia Pty Ltd	Public Notice - Cemetery Proclamation	535.44
EFT-40627	4/01/2024 Presidential Facility Services Pty Ltd	Deep Clean Depot Gingin	10,450.00
EFT-40628	4/01/2024 TLCWA Pty Ltd t/as Saferoads WA	Emulsion on various Roads	18,665.90
EFT-40629	4/01/2024 Truck Centre WA Pty Ltd	GG002 - service Kit- air bags	5,363.36
EFT-40630	4/01/2024 WA Stump Grinding & Tree Services	Cheriton Road - tree pruning	11,550.00
EFT-40631	4/01/2024 WANT Tree Services	Mogumber Road West Mulching verge	46,200.00 L
EFT-40632	4/01/2024 Xtreme Bounce Party Hire	Summer Suite 23/24 events	2,620.00
EFT-40633	5/01/2024 ACS Swan Express Print	Printing - instalment and reminder notices	832.70
EFT-40634	5/01/2024 Belgravia PRO Pty Ltd	Guilderton Caravan Park	10,050.97
EFT-40635	5/01/2024 Gingin Fuel & Tyres	Towing service of Abandoned burned out vehicle on Cowalla Road.	536.00
EFT-40636	5/01/2024 Guilderton Country Club Inc.	Electricity - Guilderton Hall	162.95 R
EFT-40637	5/01/2024 Landgate	GRV & UV Schedule G2023/10,11,12	453.41
EFT-40638	5/01/2024 Local Government Professionals WA - LGPA	Executive Support Professionals Network - Webinar	100.00 S
EFT-40639	5/01/2024 Lo-Go Appointments	Temp Contract - Community Development Officer/Rates Officer	1,940.46
EFT-40640	8/01/2024 Country Values Real Estate - Trust Account	Deposit - Lot 7 Dewar Road, Granville	5,000.00 L
EFT-40641	9/01/2024 Australian Taxation Office (PAYG)	Payroll deduction	50,164.00 S
EFT-40642	9/01/2024 ACS Swan Express Print	Flavours event signage 2023	1,837.00
EFT-40643	9/01/2024 Ausrecord Pty Ltd	100 traditional tube clip sets	189.20
EFT-40644	9/01/2024 Cellarbrations Gingin	Refreshments December Council Meeting	42.00 L
EFT-40645	9/01/2024 Cooee Couriers & Transport	Freight Charges - December 23	1,933.80
EFT-40646	9/01/2024 Cromag Pty Ltd T/A Sigma Chemicals	Chlorine pallet for Aquatic Centre	1,009.80
EFT-40647	9/01/2024 Department of Local Government, Sport and	Standards Panel Fees 2022-2023	105.60
EFT-40648	9/01/2024 Gingin District Community Resource Centre	Seniors Movie Matinee 2023 Prizes	64.40 L
EFT-40649	9/01/2024 Gingin Fuel & Tyres	GG09 - Fit and replace 4 x tyres	4,851.60 L
EFT-40650	9/01/2024 Institute of Public Works Engineering	Lunch Forum - Development Contribution Plans	85.00
EFT-40651	9/01/2024 M & J Essential Solutions Pty Ltd Trading As	Professional Coaching - Executive	300.00
EFT-40652	9/01/2024 Northern Valleys Fruit Pops	Aquatic Centre kiosk supplies	405.00 L
EFT-40653	9/01/2024 Office of the Auditor General	Fee - 2022/23 Audit	36,674.00
EFT-40654	9/01/2024 Presidential Building Services Pty Ltd	Harold Park ablution - render & paint.	9,322.50
EFT-40655	9/01/2024 Presidential Facility Services Pty Ltd	Depot new office clean	737.00
EFT-40656	9/01/2024 Teresa Helm	Staff Meeting Breakfast - December 2023	300.00 L
EFT-40657	9/01/2024 Tiffany's Catering	Catering - December Council meeting	144.00 L

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category
L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,

DATE PAID	NAME	DETAILS	AMOUNT
	TYPE		AMOUNT
EFT-40658	9/01/2024 True Blue Pool Services Pty Ltd	Chemigem Annual Service 2023	660.00
EFT-40659	9/01/2024 Vorgee Pty Ltd	Kiosk supplies - goggles	742.50
EFT-40660	10/01/2024 Alarm Assets Group & Austech Surveillance	Security monitoring - December 2023	120.00
EFT-40662	10/01/2024 Bitumen Distributors Pty Ltd	Supply Emulsion for sealed roads 350L	404.25
EFT-40663	10/01/2024 Bunnings Buildings Supplies Pty Ltd	Various tools	337.76
EFT-40664	10/01/2024 Cellarbrations Gingin	Restock refreshments - December 2023	152.00 L
EFT-40665	10/01/2024 Commercial Locksmiths	Locksmith Service & Repair	176.00
EFT-40666	10/01/2024 Complete Office Supplies Pty Ltd	Stationery Order 4 x 2024 Wall Planners for Operations Dept	120.87
EFT-40667	10/01/2024 Corsign	Guide posts, speed signs, lookout sign, street sign skate park lancelin	30,028.90
EFT-40668	10/01/2024 Eagleye Technical Services	Repair electric bed	929.50 L
EFT-40669	10/01/2024 Ecowater Services	Guilderton Caravan Park and General Store - ATU Maintenance & Repairs	1,176.50
EFT-40670	10/01/2024 Get Pumped CWS Pty Ltd t/as Chittering	Waste pump out in preparation for Flavours of Gingin event.	3,430.00
EFT-40671	10/01/2024 Greenway Solutions Pty Ltd t/as Greenway Turf Solutions	Purchase Watchdog Windmaster to assist with Pesticide / Herbicide applications.	726.00
EFT-40672	10/01/2024 Hersey's Safety Pty Ltd	FLY NETS/ Yellow marker paint	312.40
EFT-40673	10/01/2024 K B Riley & Sons Pty Ltd t/a Lancelin Sands	Clear north beach access Lancelin jetty.	968.00 L
EFT-40674	10/01/2024 M.R. Mulching	Fire mitigation works TX tower Nilgen	6,600.00 L
EFT-40675	10/01/2024 Moore River Electrical Services	Repair faulty park lighting	220.00 L
EFT-40676	10/01/2024 Nutrien Water	Sprinklers for various parks in lower coastal area.	386.98
EFT-40677	10/01/2024 Presidential Building Services Pty Ltd	57 Lefroy - Internal patch/paint and patio repairs	9,982.50
EFT-40678	10/01/2024 Sprayline Innovative Spraying & Agri	Spray record boos and various spray equipment for spray utes.	1,002.00
EFT-40679	10/01/2024 Tanya Anderson	Reimbursement - Work Safety Boots for onsite inspections	115.00 S/R
EFT-40680	10/01/2024 Tiffany's Catering	Catering - WALGA Planning Practices workshop	180.00 L
EFT-40681	10/01/2024 WANT Plumbing Services Pty Ltd	Granville HWS; CWA -leach drains and sink; Bowling Club - Cistern;	10,010.00 L
EFT-40682	10/01/2024 WCS Concrete Pty Ltd	Concrete Beermulla Road west Capital Works	1,496.00 L
EFT-40683	10/01/2024 WEX Australia Pty Ltd	Fuel Card purchases for December 2023	1,609.20
EFT-40684	12/01/2024 Alarm Assets Group & Austech Surveillance	GESC Monitored security	146.00
EFT-40685	12/01/2024 Amy Gibbs	Reimbursement - training accommodation	621.55 S/R
EFT-40686	12/01/2024 Aurora Delta Pty Ltd	Medical Subsidy Payment - December 2023	20,625.00
EFT-40687	12/01/2024 Catherine Castaing	Reimbursement for DoT training expenses. Parking & Meals. 04/12/2023-08/12/2023	178.99 S/R
EFT-40688	12/01/2024 Damstra Technology Pty Ltd	Damstra Learning - Velpic System	10,915.94
EFT-40689	12/01/2024 Jonas Leisure Pty Ltd	Envibe Licence POS etc at Gingin Pool	7,511.74
EFT-40690	12/01/2024 Marianna Reid	Caravan Park Reservation cancelled within Policy	398.00 R
EFT-40691	12/01/2024 McLeods Barristers and Solicitors	Legal Advice - Barragoon Road	1,180.85
EFT-40692	12/01/2024 Moore River Cafe & General Store	Cleaning of kitchen canopy Guilderton Cafe	700.00 R/L
EFT-40693	12/01/2024 Moore River News Inc	Advertisement - "Local Government Financial Audit Results 2021/2022"	110.00 L
EFT-40694	12/01/2024 Northern Valley News	Advertisement - LG Election Results	225.00 L
EFT-40695	12/01/2024 Northern Valleys Fruit Pops	Aquatic Centre kiosk supplies	216.00 L
EFT-40696	12/01/2024 Plain Grazing Co	Wet Hire of Loader for fire suppression	1,925.00 F
EFT-40697	15/01/2024 Club Band Pty Ltd (The Trustee for Club Band	SUMMER SUITE 2023	2,908.12
EFT-40698	15/01/2024 Helen Sampson	Transport of Ewaste recyclables	407.00 L
EFT-40699	15/01/2024 Moore River Electrical Services	Ablution block lights and BBQ tripping out & Harold Park BBQs.	1,452.00 L
EFT-40700	15/01/2024 Moore River Roadhouse	Shire and Fire Fuel for November/December 2023	2,661.82 L
EFT-40701	15/01/2024 Presidential Facility Services Pty Ltd	Cleaning services, Lancelin/Ledge	6,490.00
EFT-40702	15/01/2024 Strettle Pty Ltd	Preparation of New/Amendment/Repeal Local Laws as resolved by Council 20/12/2022.	1,100.00
EFT-40703	15/01/2024 Total Green Recycling	E-waste recycling - Gingin Waste Facility	324.26
EFT-40704	15/01/2024 Triview Pty Ltd T/as Dandaragan Mechanical	GG13277 Custom Trailer Inspection Fee	188.70
EFT-40705	15/01/2024 Truck Centre WA Pty Ltd	PVR filter for GG045/GG028	174.41
EFT-40706	15/01/2024 Western Australia Police Force	National Police Check for Volunteer Sep 2023	17.00
EFT-40707	15/01/2024 Western Power (Electricity Networks)	Vegetation encroachment Military Road/Sandringham Rd	5,112.79
EFT-40708	15/01/2024 Xtreme Bounce Party Hire	Australia Day Event 2024	660.00
EFT-40709	15/01/2024 Andrea Vis	Refund Councillor nomination fee	100.00 C
EFT-40710	15/01/2024 Colin Fewster	Refund Councillor nomination fee	100.00 C
EFT-40711	15/01/2024 Frank Peczka	Refund Councillor nomination fee	100.00 C
EFT-40712	15/01/2024 Jason Weeks	Refund Councillor nomination fee	100.00 C
EFT-40713	15/01/2024 Lincoln Stewart	Refund Councillor nomination fee	100.00 C

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category
L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,

DATE PAID	NAME	DETAILS	AMOUNT	
TYPE				
EFT-40714	15/01/2024	Linda Balcombe	Refund Councillor nomination fee	100.00 C
EFT-40715	15/01/2024	Lindsay Leahy	Refund Councillor nomination fee	100.00 C
EFT-40716	15/01/2024	Nicole Woods	Refund Councillor nomination fee	100.00 C
EFT-40717	16/01/2024	Construction Training Fund	Construction Training Fund (CTF) payments	2,686.86
EFT-40718	16/01/2024	Shire of Gingin	Building Services Levy (BSL) payments	533.25 R
EFT-40719	16/01/2024	Avon Waste	Kerbside Collection Services	41,146.50
EFT-40720	16/01/2024	Element Advisory Pty Ltd	Processing of Scheme Amendment No. 23 - Section 26 Order	9,570.00
EFT-40721	16/01/2024	Elizabeth French Consulting	Relief Environmental Health Officer Services	7,957.60
EFT-40722	16/01/2024	Fuel Distributors of WA Pty Ltd	Supply & Deliver 18,000 litres of diesel on 4th Dec	32,040.00
EFT-40723	16/01/2024	Get Pumped CWS Pty Ltd t/as Chittering Septic Service	Pump Out portable toilet at Gingin Waste Management Facility	140.00
EFT-40724	16/01/2024	Gingin Grading Service Pty Ltd	Cartage Fill - Seabird and Gingin Waste Facilities	495.00 L
EFT-40725	16/01/2024	K B Riley & Sons Pty Ltd t/a Lancelin Sands	Lancelin Waste facility -Supply of cover	8,468.63 L
EFT-40726	16/01/2024	LGRCEU (WA Division)	Payroll deduction for PE: 04/01/2024	44.00
EFT-40727	16/01/2024	Redink Homes Pty Ltd	Building Application 203466 Overcharged as charged as Uncertified	638.37
EFT-40728	16/01/2024	Tony Pisconeri	Seabird/Lancelin Waste Facility Management	17,374.00 L
EFT-40729	16/01/2024	WA Contractors	Training for new Stable Fly Officer	4,356.00
EFT-40730	19/01/2024	Australia Post	Postage Supply this Period Ending 31/12/2023	4.10
EFT-40731	19/01/2024	Boya Equipment	New Kubota F39690-au-su mower with trade in of Kubota mower GG034	25,672.90
EFT-40732	19/01/2024	Bunnings Buildings Supplies Pty Ltd	Shade sail Lancelin depot	217.93
EFT-40733	19/01/2024	Caraban Limestone & Sand Supplies	Limestone for Caravan Park 31/10 & 01/11	1,206.74 L
EFT-40734	19/01/2024	Complete Office Supplies Pty Ltd	Stationery Order and new Rangers Printer	124.74
EFT-40735	19/01/2024	Construction Training Fund	CTF Payments for October, November 2023	345.25
EFT-40736	19/01/2024	Demi-Lee Mohr	Guilderton Holiday Park refund	441.00 R
EFT-40737	19/01/2024	Department of Mines, Industry Regulation and Safety - Bond Administrator DMIR	Building Services Levy (BSL) with refund request REF-196	2,815.75
EFT-40738	19/01/2024	Eagleye Technical Services	Upgrade switch board to shire depot	5,583.60 L
EFT-40739	19/01/2024	Eastern Hills Chainsaws & Mowers Pty Ltd	Honda spares	124.20 L
EFT-40740	19/01/2024	Ergolink	Four chairs for CEO department	2,279.20
EFT-40741	19/01/2024	Fuel Distributors of WA Pty Ltd	Supply & Deliver 13,500 litres of diesel to Shire Depot on 5.1.2024	22,917.60
EFT-40742	19/01/2024	Gingin Grading Service Pty Ltd	Push large hanging branch out of tree next to Chemical container storage.	247.50 L
EFT-40743	19/01/2024	Iron Mountain Australia Group Services Pty Ltd	Storage Business Cartons 2023 / 2024	345.96
EFT-40744	19/01/2024	Karen Grant	Cleaning of shire facilities	2,351.25 L
EFT-40745	19/01/2024	Ledge Point Reticulation & Refrigeration	Supply and install 5 relief valves for bores Lancelin and Ledge point. Verbal quote.	792.00 L
EFT-40746	19/01/2024	Margaret Massam	Rate Refund - Pension Rebate applied after billing	497.18 R
EFT-40747	19/01/2024	Officeworks	Stationery Order	221.21
EFT-40748	19/01/2024	PFD Food Services Pty Ltd	Aquatic Centre kiosk items	954.10
EFT-40749	19/01/2024	Plumb It Right Pty Ltd	Guilderton Caravan Park repairs	1,413.50
EFT-40750	19/01/2024	Power Audio Visual	Festoon lights for Music in the park 2024	1,765.50
EFT-40751	19/01/2024	Seaview Fabrication & Maintenance	Manufacture safety rail for bin tipper trailer	267.93
EFT-40752	19/01/2024	Truck Centre WA Pty Ltd	power steering pipe,drier filter,steering pipe fitting	939.68
EFT-40753	19/01/2024	Waterlogic Australia Pty Ltd	Gingin Administration Centre - water cooler rental and service	145.27
EFT-40754	19/01/2024	West Australian Shalom Group Inc	A2974 2023/24 Early Rates Incentive Scheme Prize Night winner	1,500.00
EFT-40755	19/01/2024	Western Australian Local Government	Registration - WALGA Council Member Essentials training program (5	385.00
EFT-40756	23/01/2024	All Hours Auto Electrics Pty Ltd	GG6017 - tarp power supply	428.29
EFT-40757	23/01/2024	Australian Taxation Office (PAYG)	Payroll deduction for PE: 18/01/2024	57,290.00 S
EFT-40758	23/01/2024	Boya Equipment	New kubota F3690-au-su mower with trade in of Kubota mower GG041	25,672.90
EFT-40759	23/01/2024	Cat Haven	Cat adoption Report from Cat Haven - July 2023 -June 2024	11.00
EFT-40760	23/01/2024	CCR Commercial Pty Ltd	Emergency Works;	1,405.80
EFT-40761	23/01/2024	Cellarbrations Gingin	Depot - Ice	32.00 L
EFT-40762	23/01/2024	Country Copiers	Colour copier fees	87.30
EFT-40763	23/01/2024	Department of Transport	Release of Information fee for the Shire of Gingin Parking Infringement	127.60
EFT-40764	23/01/2024	Dielectric Security Systems	Alarm monitoring fees	560.56
EFT-40765	23/01/2024	Duncan Solutions	Guilderton Parking Meters -Credit Card Transactions and Monthly support fee for July 2023 - June 2024	397.14
EFT-40766	23/01/2024	Eagleye Technical Services	MIP 2024 replace broken flood light at building entry	665.50 L
EFT-40767	23/01/2024	Ecowater Services	Call out guilderton general store	527.00

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APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category
L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,

DATE PAID	NAME	DETAILS	AMOUNT	
	TYPE		AMOUNT	
EFT-40768	23/01/2024 Farm Information Services Pty Ltd	Advances Spraying Training 11 participants	8,800.00	
EFT-40769	23/01/2024 Frontline Fire and Rescue Equipment	Embroidary - BRMC PPE (LONG SLEEVE HI-VIS SHIRTS)	286.00	
EFT-40770	23/01/2024 Full Flow Plumbing and Gas	Clean blocked septic pipe Grace Darling ablution Lancelin.	121.00	
EFT-40771	23/01/2024 Gingin Fuel & Tyres	Workshop 20t jack	165.00	L
EFT-40772	23/01/2024 Greenway Solutions Pty Ltd t/as Greenway Turf Solutions	Contractor spray Crabgrass infestation in Gingin Oval and GOAS lawn area.	957.00	
EFT-40773	23/01/2024 Gull Gingin Pty Ltd	Unleaded Fuel Reserve for Small Plant - Jerry Cans	328.16	L
EFT-40774	23/01/2024 Hills Tracks and Blinds	Blinds - Lancelin Playgroup	1,716.00	
EFT-40775	23/01/2024 Kleen West Distributors	Supply toiletries for lower coastal	1,061.83	
EFT-40776	23/01/2024 Leigh Solomon	Replace faded signs at Guilderton Foreshore	804.42	L
EFT-40777	23/01/2024 LGRCEU (WA Division)	Payroll deduction for PE: 18/01/2024	44.00	S
EFT-40778	23/01/2024 Local Government Professionals WA - LGPA	Microsoft Excel Course	1,300.00	S
EFT-40779	23/01/2024 Lo-Go Appointments	Temp Contract - Community Development Officer	1,104.22	S
EFT-40780	23/01/2024 Mcintosh and Son	GG026 - evaporator	650.86	
EFT-40781	23/01/2024 McLeods Barristers and Solicitors	Dog Act Prosecution	994.40	
EFT-40782	23/01/2024 Midland Camera House	Repairs on Ranger 2 USB Port on Camera - Nikon Coolpix P900	480.57	
EFT-40783	23/01/2024 Moore Australia (WA) Pty Ltd	2024 FBT Workshop	990.00	
EFT-40784	23/01/2024 Moore River Roadhouse	Fuel, Vehicle & Refreshment Charges for December 2023	332.70	L
EFT-40785	23/01/2024 Ocean Keys Flooring Xtra	Gingin Medical Centre -reflooring - 50%	6,120.00	
EFT-40786	23/01/2024 Residential Building Services Pty Ltd	Gingin Admin - 50% Prep/paint external surfaces, install trim deck roofing	4,565.00	
EFT-40787	23/01/2024 Stable Fly Action Group Inc. (SFAG)	Stable Fly Action Group Inc PLI Grant Contribution	382.00	
EFT-40788	23/01/2024 Steven Tweedie	Delivery of post-election Councillor induction session - 21 November 2023	1,760.00	C
EFT-40789	23/01/2024 Sunny Signs Company Pty Ltd	Irrigation signs, speed signs	668.80	
EFT-40790	23/01/2024 Team Global Express Pty Ltd	Freight Charges 21/12/23 - Depot	63.44	
EFT-40791	23/01/2024 The National Trust of Western Australia	Gingin Railway Stn - Rent 28 January 2024 - 27 February 2024	255.37	
EFT-40792	23/01/2024 Usher Bay Pty Ltd T/As Lancelin Mechanical	Service to GG 033	536.50	L
EFT-40793	24/01/2024 Carnaby Settlements	Lot 7 Dewar Road Garville	741,293.21	
EFT-40795	25/01/2024 ACS Swan Express Print	50 x heavy duty QR code stickers	165.00	
EFT-40796	25/01/2024 Agserv Pty Ltd t/as Agserv Pest Control Supplies	Purchase chemical to eradicate ticks at Neergabby prior to Australia Day Event. Includes delivery to Depot.	506.00	
EFT-40797	25/01/2024 Belgravia PRO Pty Ltd	Guilderton Caravan Park Management and Licence fee	39,653.16	
EFT-40798	25/01/2024 BOC Pty Ltd	Gas & Oxygen Supplies for the Workshop & Gingin Medical Centre for the period 28/11/2023 - 28/12/2023	107.40	
EFT-40799	25/01/2024 Brent Williams	Over payment at property sale settlement	10.00	R
EFT-40800	25/01/2024 Brown Automotive Gingin	Service of 6GG	675.00	L
EFT-40801	25/01/2024 Complete Office Supplies Pty Ltd	Refit firefighting pump fuel tanks to factory specifications		
EFT-40802	25/01/2024 Country Copiers	Stationery Order and new Rangers Printer	369.00	
EFT-40803	25/01/2024 Cromag Pty Ltd T/A Sigma Chemicals	Colour copier fees	1,615.08	
EFT-40804	25/01/2024 CSStech	Liquid Chlorine for the Aquatic Centre	1,009.80	
EFT-40805	25/01/2024 Data#3	Monthly service fee - phone management	165.00	
EFT-40806	25/01/2024 Debbie Bandy	Additional licence for larger staff capacity	311.15	
EFT-40807	25/01/2024 Department of Local Government, Sport and	Bond refund	500.00	R
EFT-40808	25/01/2024 Gingin Fuel & Tyres	Local Government Standards Panel Fee	105.60	
EFT-40809	25/01/2024 JB Hi-Fi	Towing Service of Abandoned burnt out vehicle on Dewar Road.	300.00	L
EFT-40810	25/01/2024 Jupiter Health and Medical Services (Lancelin)	Updated PA System: 3 Ipads and accessories	6,584.00	
EFT-40811	25/01/2024 L J & M R Crowe	Reimbursement - Lancelin doctor accommodation costs (August -	8,000.00	
EFT-40812	25/01/2024 Lancelin Gull Roadhouse	Firebreak Contractor Work: Wanerie x 2, Lennard Brook, Gingin x2	3,200.00	
EFT-40813	25/01/2024 Lancelin IGA	Diesel Charges - Lancelin Gull December 2023	1,143.96	L
EFT-40814	25/01/2024 Ledge Point Reticulation & Refrigeration	Cleaning, Office & Refreshment Supplies for Lancelin Shire Office and	82.12	L
EFT-40815	25/01/2024 Les Crichton	Five relief valves for bores Lancelin and Ledge point.	819.50	L
EFT-40816	25/01/2024 M.R. Mulching	Reimbursement - Rottnest Bronze Virtual Swim pack (up to 40	575.00	S/R
EFT-40817	25/01/2024 McLeods Barristers and Solicitors	Firebreak Contractor Work:	3,960.00	L
EFT-40818	25/01/2024 Midland Camera House	Dog Act Prosecution	1,387.65	
EFT-40819	25/01/2024 PFD Food Services Pty Ltd	Repair of Ranger 2 Camera	99.00	
EFT-40820	25/01/2024 Plumb It Right Pty Ltd	Aquatic Centre kiosk items	2,777.45	
EFT-40821	25/01/2024 Rebecca Foulkes-Taylor	Guilderton Caravan Park repairs	495.00	
EFT-40822	25/01/2024 Richard Carey Smith	Reimbursements for Pool supplies	121.42	S/R
EFT-40823	25/01/2024 Shire of Gingin	Rate Refund - Ratepayer paid twice	2,032.00	R
		Commission CTF Levy - September, October, November 2023	66.00	

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APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category

L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,

DATE PAID	NAME	DETAILS	AMOUNT
TYPE			AMOUNT
EFT-40824	25/01/2024 Stewart & Heaton Clothing Co Pty Ltd	Volunteer firefighter PPE/PPCW	2,582.63
EFT-40825	25/01/2024 TONER PLUS	Toner cartridges for Library and Rates Printers	361.50
EFT-40826	25/01/2024 Tutt Bryant Equipment (BT Equipment Pty Ltd	GG079 - radiator hose	406.02
EFT-40827	25/01/2024 WANT Plumbing Services Pty Ltd	Contractor dig grave, backfill same the following day.	770.00 L
EFT-40828	25/01/2024 Waterlogic Australia Pty Ltd	Gingin Administration Centre - water cooler rental and service	161.38
EFT-40829	31/01/2024 ASK Waste Management Pty Ltd	Urgent Submission DWER	22,225.50
EFT-40830	31/01/2024 Avon Waste	Kerbside Collection Services	41,463.09
EFT-40831	31/01/2024 Brooks Hire Service	Roller Hire - 07/11/2023-05/12/2023	1,045.00
EFT-40832	31/01/2024 Brown Automotive Gingin	GG074 10,000km Service	1,020.00 L
EFT-40833	31/01/2024 Cat Haven	Cat adoption Report from Cat Haven - July 2023 -June 2024	22.00
EFT-40834	31/01/2024 Cellarbrations Gingin	Refreshments - Japanese Delegation	4.50 L
EFT-40835	31/01/2024 Coastal Courier	2x Advertisements - Community Funding 2024/2025 - February & March	80.00 L
EFT-40836	31/01/2024 Department of Water and Environmental	Annual Licence Fee 2024 Seabird and Gingin Waste Facilities	2,085.60
EFT-40837	31/01/2024 Eagleye Technical Services	Replace exhaust fan in female toilet	187.00 L
EFT-40838	31/01/2024 Environmental Health Australia (WA)	IFEH World Congress Registrations	2,189.00
EFT-40839	31/01/2024 Flynn Drive Panel and Paint	Insurance excess for repairs to front of vehicle 8GG caused by kangaroo	500.00
EFT-40840	31/01/2024 Frontline Fire and Rescue Equipment	Firefighter PPC/PPE	1,698.49
EFT-40841	31/01/2024 Gingin Fuel & Tyres	Tow 8GG / gas bottles for Aquatic Centre	1,083.50 L
EFT-40842	31/01/2024 Greenway Solutions Pty Ltd t/as Greenway Turf Solutions	Purchase material / chemicals (final application), to balance soil chemistry in Shire Sports Turf areas.	17,567.00
EFT-40843	31/01/2024 Jason Industries & Signmakers	BEN Sign Face D/S 465X860	1,333.20
EFT-40844	31/01/2024 Lancelin Gull Roadhouse	Diesel Charges - September/ October 2023	3,450.55 L
EFT-40845	31/01/2024 Ledge's Kanga Service and Skip Bin Hire	Annual Jetty Bin Collection	2,200.00 L
EFT-40846	31/01/2024 Leigh Solomon	Guilderton Caravan Parksignage	506.87 L
EFT-40847	31/01/2024 Local Government Professionals WA - LGPA	2023 -2024 Affiliate Membership	92.50 S
EFT-40848	31/01/2024 Lo-Go Appointments	Temporary Staffing for Rates	442.99 S
EFT-40849	31/01/2024 Market Creations Agency Pty Ltd	Annual Report 2022-23 design, production, and supply of web & print ready versions.	1,773.75
EFT-40850	31/01/2024 McLeods Barristers and Solicitors	Legal Advice - Gingin Road and Miragliotta Street	1,199.00
EFT-40851	31/01/2024 Michael King Auto Electrics	Air con system fault - GG026 &GG066	926.25
EFT-40852	31/01/2024 Moore River News Inc	Advertisement - Community Funding 2024/2025	110.00 L
EFT-40853	31/01/2024 Omnicom Media Group Australia Pty Ltd	Adverts - Tender; employment, electors meeting	2,262.62 S
EFT-40854	31/01/2024 Peter Winn	Rate refund pension rebate - rates paid in full. property sold.	799.00 R
EFT-40855	31/01/2024 Plumb It Right Pty Ltd	Guilderton Caravan Park -plumbing repairs	704.00
EFT-40856	31/01/2024 Seek Limited	Employment advertisements	1,364.00
EFT-40857	31/01/2024 Sonic HealthPlus Pty Ltd	Pre Employment Medical x 5	1,597.20
EFT-40858	31/01/2024 Stewart & Heaton Clothing Co Pty Ltd	Fire fighter PPE/PPCW	305.60
EFT-40859	31/01/2024 Strettle Pty Ltd	Preparation of New/Amendment/Repeal Local Laws as resolved by Council 20/12/2022.	687.50
EFT-40860	31/01/2024 Tiffany's Catering	Catering for WALGA Planning Practices - The Essentials training - Morning Tea and Lunch for 12 people	180.00 L
EFT-40861	31/01/2024 Vanessa Crispe	Reimbursement - fuel purchased on personal bank card	110.61 S/R
EFT-40862	31/01/2024 Western Australian Electoral Commission -	Quote to conduct 2023 Shire of Gingin elections as a postal election	40,737.87
EFT-40863	31/01/2024 Eagleye Technical Services	Emergency purchase of new bore pump for Honeycomb rd stand pipe	13,277.00 L
EFT TOTAL			1,906,501.29
CHEQUES			
CHEQUES TOTAL			0.00
DIRECT DEBIT			
DE-4377	1/01/2024 Go Go Media	Monthly On Hold Message Service January 2024	75.90

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APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

DATE PAID	NAME	Payment Category	DETAILS	AMOUNT
		L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,		
TYPE				
DE-4387	1/01/2024 Bendigo Bank		Bendigo Bank - BPAY Biller Fee	811.36
DE-4388	1/01/2024 Bendigo Bank		Bendigo Bank - Transfer Fees	62.50
DE-4268	2/01/2024 Synergy		799 289 350 Electricity 07.10.2023 - 04.12.2023 Douglas Park Searbird	1,238.36
DE-4293	2/01/2024 Synergy		781 501 390 - Electricity - 19.09.2023 - 16.11.2023 - Lancelin Hall	225.91
DE-4294	2/01/2024 Synergy		870 298 050 - Electricity - 07.10.2023 - 04.12.2023 - Seabird Hall	366.76
DE-4389	2/01/2024 Bendigo Bank		Bendigo Bank - De Fees	1.20
DE-4390	2/01/2024 Bendigo Bank		Bendigo Bank - Fts De Process GST	6.92
DE-4391	2/01/2024 Bendigo Bank		Bendigo Bank - Tyro Fees	66.00
DE-4392	2/01/2024 Bendigo Bank		Bendigo Bank - Tyro Fees	85.37
DE-4393	2/01/2024 Bendigo Bank		Bendigo Bank - Tyro Fees	1,009.47
DE-4267	3/01/2024 Synergy		190 842 510 - Guilderton Caravan Park Residence 10 Oct 2023 - 06 Dec 2023	671.47
DE-4282	3/01/2024 Synergy		158 243 550 - Electricity - 10.10.2023 - 06.12.2023 - Ablution Block - Guilderton Foreshore	340.55
DE-4283	3/01/2024 Synergy		178 235 200 - Electricity - 10.10.2023 - 06.12.2023 - Guilderton Foreshore	156.42
DE-4376	3/01/2024 Business Service Brokers T/A TeleChoice		5037665-3357 - TeleChoice Mobile charges for the period 01/12/2023 - 31/12/2023	195.00
DE-4394	3/01/2024 Bendigo Bank		Bendigo Bank - CBA Merchant Fee	1,260.78
DE-4395	3/01/2024 Bendigo Bank		Bendigo Bank - CBA Merchant Fee	902.42
DE-4396	3/01/2024 Bendigo Bank		Bendigo Bank - CBA Merchant Fee	511.59
DE-4397	3/01/2024 Bendigo Bank		Bendigo Bank - CBA Merchant Fee	39.99
DE-4271	4/01/2024 Synergy		247 878 000 - Electricity - 11 Oct 2023 - 11 Dec 2023 Guilderton Oval	319.91
DE-4272	4/01/2024 Synergy		905 975 750 - Electricity - 11 Oct 2023 - 11 Dec 2023 Guilderton Fire	328.17
DE-4308	4/01/2024 Synergy		235 782 200 - Electricity - 11.10.2023 - 11.12.2023 - Gabbadah Park	263.43
DE-4378	4/01/2024 QPC Group		Ineo 958 Printer Black Click Charges	153.95
DE-4398	4/01/2024 Bendigo Bank		Bendigo Bank - De Fees	16.35
DE-4399	4/01/2024 Department of Transport		Department of Transport - Police Licensing DOT - 02.01.2024	4,526.95
DE-4366	4/01/2024 Precision Administration Services Pty Ltd		Payroll deduction for PE: 04/01/2024	31,870.42
PAY-102	4/01/2024 Shire of Gingin		Net Pays for PE 02/01/2024	165,080.08
DE-4438	5/01/2024 Department of Transport		Department of Transport - Police Licensing DOT - 03.01.2024	2,047.90
DE-4453	5/01/2024 Bendigo Bank		Bendigo Bank - De Fees	1.05
DE-4454	5/01/2024 Bendigo Bank		Bendigo Bank: De Fees	3.75
DE-4279	8/01/2024 Synergy		392 383 350 - Electricity - 13.10.2023 - 12.12.2023 Woodridge Fire Shed	715.02
DE-4373	8/01/2024 Telstra		486 9948 600 - Telstra to 13.12.2023 - Guilderton Caravan Park	240.00
DE-4439	8/01/2024 Department of Transport		Department of Transport - Police Licensing DOT - 04.01.2024	2,516.15
DE-4455	8/01/2024 Bendigo Bank		Bendigo Bank: De Fees	0.15
DE-4440	9/01/2024 Department of Transport		Department of Transport - Police Licensing DOT - 05.01.2024	2,322.65
DE-4374	10/01/2024 Telstra		332 1096 000 - Telstra to 13.12.2023	892.00
DE-4441	10/01/2024 Department of Transport		Department of Transport - Police Licensing DOT - 08.01.2024	3,833.85
DE-4456	10/01/2024 Bendigo Bank		Bendigo Bank: De Fees	3.60
DE-4457	10/01/2024 Bendigo Bank		Bendigo Bank: De Fees	2.85
DE-4468	10/01/2024 Synergy		936 644 360 - Electricity - 14.10.2023 - 12.12.2023 - Neergabby Recreation Ground	280.62
DE-4306	11/01/2024 Synergy		285 816 500 - Electricity - 09 Nov 2023 - 13 Dec 2023 - Granville Civic Centre	3,037.98
DE-4307	11/01/2024 Synergy		696 773 000 - Electricity -18 Oct 2023 - 13 Dec 2023 - Seaview Park	404.98
DE-4369	11/01/2024 Helen Sampson		Management of the Gingin Waste Facility	2,538.46
DE-4371	11/01/2024 Synergy		415 826 910 - Electricity 19.10.2023 - 15.12.2023 - Sovereign House & Ablution Block	290.84
DE-4442	11/01/2024 Department of Transport		Department of Transport - Police Licensing DOT - 09.01.2024	3,257.15
DE-4340	12/01/2024 Synergy		285 816 690 -Electricity - 09 Nov 2023 - 13 Dec 2023 - Gingin Aquatic Centre	3,407.51
DE-4341	12/01/2024 Synergy		346 843 830 - Electricity - 14 Oct 2023 - 19 Dec 2023 Radio Mast Ocean Farms	1,587.63
DE-4342	12/01/2024 Synergy		803 650 860 - Electricity - 09 Nov 2023 - 13 Dec 2023 - Guilderton Holiday Park	2,574.26
DE-4370	12/01/2024 Telstra		Mobile Telephone Account Allocations TO 21.12.2023	942.41
DE-4375	12/01/2024 Telstra		161 4466 975 - Telstra Integrated Messaging 22.12.2023 - 21.01.2024	1,592.36

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Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category
L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,

DATE PAID	NAME	DETAILS	AMOUNT
	TYPE		
DE-4443	12/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 10.01.2024	1,692.65
DE-4458	12/01/2024 Bendigo Bank	Bendigo Bank: De Fees	1.95
DE-4469	12/01/2024 Synergy	803 180 850 -Gingin Administration Office 7 BROCKMAN STREET GINGIN	1,650.67
DE-4400	15/01/2024 Telstra	2000 43467 4378 - Telstra - 05.12.2023 - 04.01.2024 - Seabird Fire Shed	102.20
DE-4444	15/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 11.01.2024	1,011.75
DE-4459	15/01/2024 Bendigo Bank	Bendigo Bank: De Fees	3.00
DE-4460	15/01/2024 Bendigo Bank	Bendigo Bank: (T) Bpnt Trans Fees	88.63
DE-4445	16/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 12.01.2024	3,490.05
DE-4380	17/01/2024 Synergy	376 853 180 - Synergy 17.11.2023 - 21.12.2023 Gingin Colocation Fire Fa	1,168.06
DE-4446	17/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 15.01.2024	4,991.30
DE-4432	17/01/2024 QPC Group	MPS Toner 16.01.2024	33.00
DE-4461	17/01/2024 Bendigo Bank	Bendigo Bank: De Fees	1.95
DE-4381	18/01/2024 Synergy	285 816 880 - Electricity - 17.11.2023 - 21.12.2023 Ledge Point Golf Club	1,950.40
DE-4409	18/01/2024 Precision Administration Services Pty Ltd	Payroll deduction for PE: 18/01/2024	31,972.46
PAY-103	18/01/2024 Shire of Gingin	Net Pays for PE 16/01/2024	178,158.62
DE-4447	18/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 16.01.2024	3,061.30
DE-4462	18/01/2024 Bendigo Bank	Bendigo Bank: De Fees	15.90
DE-4448	19/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 17.01.2024	158.10
DE-4384	22/01/2024 Vocus Communications	Gingin Administration Office & Gingin Colocation Fire Facility - Fibre Internet & IP Allocation 01.01.2024 - 31.01.2024	1,769.90
DE-4449	22/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 18.01.2024	6,307.90
DE-4463	22/01/2024 Bendigo Bank	Bendigo Bank: De Fees	3.90
DE-4382	23/01/2024 Synergy	301 688 750 - Electricity - 30.11.2023 0 02.01.2024 Granville Park Gingin	166.93
DE-4470	23/01/2024 Western Australian Treasury Corporation (WA	WATC Annuity Lending Guarantee Fee Audit Report For the period ending December 2023	6,532.44
DE-4450	23/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 19.01.2024	16,307.30
DE-4464	23/01/2024 Bendigo Bank	Bendigo Bank: De Fees	5.55
DE-4363	24/01/2024 Westnet Internet Services	Internet Services - CEO Residence - 27 Jan 2024 to 26 Feb 2024	74.99
DE-4379	24/01/2024 Water Corporation	90 17841 55 2 - Water Sewerage non-residential 1 Jan 2024 - 29 Feb 2024 Pioneer Park Lancelin	115.18
DE-4383	24/01/2024 Australia Post	Postage charges up to 30.11.2023	1,052.39
DE-4451	24/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 22.01.2024	4,569.80
DE-4465	24/01/2024 Bendigo Bank	Bendigo Bank: De Fees	0.30
DE-4417	24/01/2024 Credit Card - EMO	EMO - Credit Card purchases for December 2023	3,862.47
DE-4411	24/01/2024 Credit Card - CEO	CEO - Credit Card purchases for December 2023	394.33
DE-4429	24/01/2024 Credit Card - CESM	CESM/CBFCO - Credit Card Purchases December 2023	190.73
DE-4433	24/01/2024 Credit Card - EMCCS	CESM/CBFCO - Credit Card Purchases December 2023	3,163.00
DE-4452	25/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 23.01.2024	2,070.05
DE-4466	25/01/2024 Bendigo Bank	Bendigo Bank: De Fees	5.10
DE-4437	25/01/2024 Credit Card - EMRDS	EMRDS - Credit Card purchases for December 2023	4.00
DE-4467	26/01/2024 Helen Sampson	Management of the Gingin Waste Facility	2,538.46
DE-4471	27/01/2024 Western Australian Treasury Corporation (WA	LN-127-Seabird Seawall Extension Repayment: 15	12,159.77
DE-4473	29/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 24.01.2024	2,697.85
DE-4472	30/01/2024 Western Australian Treasury Corporation (WA	LN-100-Gingin Medical Centre Repayment: 40	18,930.71
DE-4477	30/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 25.01.2024	7,351.30
DE-4478	30/01/2024 QPC Group	1x Develop Ineo 958 Printer S/N: A796141000030 Black Click Charges 11,535x	120.54
DE-4385	31/01/2024 Synergy	613 883 230 - Electricity 06.12.2023 - 07.01.2024 - 13 King Dr, Woodridge	2,359.50
DE-4474	31/01/2024 Department of Transport	Department of Transport - Police Licensing DOT - 29.01.2024	11,251.20
DE-4475	31/01/2024 Bendigo Bank	Bendigo Bank: Bank Fee	0.15
DE-4476	31/01/2024 Bendigo Bank	Bendigo Bank: De Fees	5.10
DE-4413	31/01/2024 Dell Financial Services Pty Ltd	Allocation of lease payment for Jan 2024	1,651.29
DE-4479	31/01/2024 LJ Hughes	Allocation of lease payment for January 2024 - Lancelin Office Lease	669.50
DIRECT DEBIT TOTAL			578,964.02

TERM DEPOSIT INVESTMENTS

MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024

APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category
L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,
DETAILS

DATE PAID	NAME	TYPE	AMOUNT
		TERM DEPOSIT INVESTMENTS TOTAL	0.00
		TOTAL MUNICIPAL	2,485,465.31
		RESERVE - TERM DEPOSIT INVESTMENT	
		RESERVE - TERM DEPOSIT INVESTMENT TOTAL	0.00
		TOTAL EXPENDITURE	2,485,465.31
CREDIT CARD BREAK-UP			
December	CEO	Medcart Australia Mailchimp Landgate Moore River Café Guilderton	2 x Cludgene Covid-19 Antigen Rapid Tests 209.50 Monthly subscription - November 2023 108.33 Certificate of Title 30.50 Guilderton Caravan Park Meeting - Refreshments 42.00 Credit Card- Bendigo Bank Fee- December 2023 4.00 394.33
	EMCCS	CU@Park CU@Park ASIC Bendigo Bank	"Meet Your New Councillors" - Morning Tea 149.00 Christmas Party Refreshments 3,000.00 Business Name Search 10.00 Credit Card- Bendigo Bank Fee- November 2023 4.00 3,163.00
	EMRDS	Bendigo Bank	Credit Card- Bendigo Bank Fee- November 2023 4.00 4.00
	EMO	Logistics Interstate Dunnings Shire of Gingin Shire of Gingin Shire of Gingin Gserve Pest Supplies North Metro TAFE Caltex Bendigo Bank	Transport Custom Bin Lifter Trailer 2,646.27 Diesel 5GG 92.02 DOT transaction Permit for Bin Lifter Trailer 25.00 DOT Plate change - 9GG 18.90 DOT Vehicle Licence - GG13277 54.55 Pesticide - Tick eradication 506.00 TAFE fees 413.10 Diesel 5GG 102.63 Credit Card- Bendigo Bank Fee- November 2023 4.00 3,862.47
	CESM	Cellarbrations Gingin Gingin IGA Bendigo Bank	BFAC Meeting Refreshments 142.00 BFB Refreshments 44.00 Credit Card- Bendigo Bank Fee- November 2023 4.00 190.00
	Total		7,613.80
PUMA			
December		WEX Australia	GG05 - 90.50L 177.11 GG05 - ULP 9.69L 18.01 GG033 - 187.5L 386.26 GG034 - 23.85L 49.60 GG.69 - 115.53L 214.56 GG070 - 48.29L 100.44 GG08 - 45.87 87.99

**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 13.2.1

Payments made under Delegated Authority 2.1 Payment of Creditors for the period 01/01/2024 - 31/01/2024

Payment Category
L - Local, R - Reimbursement, F - Funded, S - Staff, PF - Partially Funded,

DATE PAID	NAME	DETAILS	AMOUNT
		GG08 - ULP	19.73
		GG084 - 57.31L	116.29
		GG09 - 87.20L	169.08
		GG090 - 68.87L	127.80
		Plant Item - Diesel - 48.08L	100.01
		Plant Item- ULP - 10.59L	21.03
		Freight	8.79
		Replacement Card Fee	8.00
		Card Fees	4.50
			<u>1,609.20</u>
	Total		

13.3 LANCELIN COMMUNITY SPORTING COMPLEX - AIR CONDITIONER UNIT REPLACEMENT

File	RSK/7
Author	Les Crichton - Executive Manager Corporate & Community Services
Reporting Officer	Les Crichton - Executive Manager Corporate and Community Services
Refer	Nil
Appendices	Nil

DISCLOSURES OF INTEREST

Nil

PURPOSE

For Council to consider options to replace/repair damaged air conditioning units at the Lancelin Community and Sporting Complex

BACKGROUND

During November 2023, Shire officers were informed about damage sustained to the air conditioning units at the Lancelin Community and Sporting Complex. The damage was reported to have been the result of a grid surge during a storm on 18 September 2023.

A quote for repair was sourced and submitted to our insurers as an insurance claim, citing a lack of availability of replacement parts and recommending a complete replacement of the system. A quote for replacement was submitted at \$22,500 (including supply, installation, and labour). Upon the assessment of the claim, LGIS noted the availability of the parts needed to repair the unit and approved an \$8,000 payout as an estimate of the repair costs.

A second quote was then sourced which reiterated the recommendation for a complete replacement of the air conditioning system, citing that repairing the unit could be problematic owing to the system's end-of-life status. The second quote for replacement was similar in price at \$25,000.

A substantial disparity between the costs associated with system replacement and the insurance payout to be received has left Council with several options to consider regarding the future course of action.

COMMENT

If the Shire chooses to adhere to the recommendations provided by the sources quoted, it will face a cost of \$22,000 to \$25,000, against an \$8000 insurance payout, leaving a deficit of \$12,000 to \$15,000 without sufficient budgetary allocation.

Consequently, the available options are as follows –

1. Replace only the components covered by insurance and accept the risk of potential additional failures.

Both suppliers of quotes to repair/replace the units have recommended a full replacement as other parts not identified or covered by the insurance are likely to fail at some point given the age of the units.

2. Defer replacement and incorporate it into the 2024/25 Budget.

While this will enable Council to make a provision for the replacement units, it will leave the facility without air-conditioning over the remainder of the summer season.

3. Proceed with replacement using funds from Reserves.

Implement immediate replacement and finance it through the Reserve.

4. Proceed with replacement using funding allocated to the Lancelin Bowling Greens.

Implement immediate replacement and finance it through contributions designated for the LCSC Bowling Club project as the current year's budget allocation for this project is unlikely to be used in its entirety during the financial year. The balance can then be included in the 2024/25 budget.

The recommendation from the officer is to progress full replacement immediately under Option 3 (funded from Recreation Reserve).

STATUTORY/LOCAL LAW IMPLICATIONS

Local Government Act 1995

- s6.8 Expenditure from municipal fund not included in annual budget.
- s6.11 Reserve Funds

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

There is no provision within the 2023/24 Budget to replace the air conditioner, and therefore Council approval is required for unbudgeted expenditure. Should Council approve the unbudgeted expense, it can be funded via either of the options detailed below.

Table 1 (Option 3) is the recommended option.

Table 1 (Option 3)

GL/Project	Description	Current Budget	Revised Budget	(Surplus/Deficit)
	Lancelin Sporting Complex	\$0	\$23,000	\$23,000
	Contribution – Insurance Claim	\$0	(\$8,000)	(\$8,000)
	Transfer from Reserves – Recreation Reserve		(\$15,000)	(\$15,000)
		Closing Surplus		\$0

Table 2 (Option 4)

GL/Project	Description	Current Budget	Revised Budget	(Surplus/Deficit)
	Lancelin Sporting Complex	\$0	\$23,000	\$23,000
	Contribution – Insurance Claim	\$0	(\$8,000)	(\$8,000)
	Contribution - Lancelin Sporting Complex Bowling Green upgrade	(\$90,000)	(\$75,000)	(\$15,000)
		Closing Surplus		\$0

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	2. Connections & Wellbeing - Grow and Nurture Community Connectedness and Wellbeing
Strategic Objective	2.8 Services & Facilities - Provide cost effective services and facilities which meet the needs of the community

VOTING REQUIREMENTS - ABSOLUTE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Peczka

That Council agree to:

1. Immediate replacement of the air conditioning units at the Lancelin Community and Sporting Complex: and
2. Amend the 2023/24 Budget as detailed below.

GL/Project	Description	Current Budget	Revised Budget	(Surplus/Deficit)
OC	Lancelin Sporting Complex	\$0	\$23,000	\$23,000
	Contribution - Insurance Claim	\$0	(\$8,000)	(\$8,000)
	Transfer from Reserves - Recreation Reserve		(\$15,000)	(\$15,000)
		Closing Surplus		\$0

**CARRIED BY ABSOLUTE MAJORITY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

13.4 UNBUDGETED EXPENDITURE - RELEASE OF RESERVE FUNDS FOR AMBULANCE PURCHASES

File	ESM/39
Author	Amy Gibbs - Coordinator Community Development & Services
Reporting Officer	Les Crichton - Executive Manager Corporate and Community Services
Refer	Nil
Appendices	<ol style="list-style-type: none"> 1. Request Letter - Lancelin Coastal Districts Subcentre [13.4.1 - 1 page] 2. Committee Minutes supporting request [13.4.2 - 6 pages]

DISCLOSURES OF INTEREST

Nil

PURPOSE

For Council to consider approving unbudgeted release of Reserve funds to St John WA Lancelin and Coastal Districts Sub-Centre to assist with the purchase of two new ambulances in the 2023/24 financial year.

BACKGROUND

Each year the Shire allocates \$3,000 per ambulance to both the St John WA Gingin Subcentre and Lancelin Coastal Districts Subcentre. These funds are held in Reserve, to be accessed by the Subcentre/s when replacement of an ambulance is required.

COMMENT

Ambulances must be replaced every 10 years. The St John WA Lancelin and Coastal Districts Subcentre currently has six ambulances, with two purchased this year and arriving at the Subcentre in the coming months.

The Subcentre has requested (Appendices) access to the allocated Reserve funds towards the costs incurred in obtaining the replacement ambulances. A copy of the LCDS minutes confirming the request was also provided.

Council maintains a 'Community Infrastructure Reserve – Lancelin Ambulance' reserve with a purpose to assist in the financing of community facilities. The replacement of ambulances meets the purpose of this reserve which currently has a balance of \$49,813.25.

STATUTORY/LOCAL LAW IMPLICATIONS

Local Government Act 1995

- s6.8 Expenditure from municipal fund not included in annual budget.
- s6.11 Reserve Funds

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

The Subcentre’s intent to access the Reserve funds was not known at the time the 2023/24 Budget was developed and approved, and therefore no provision was included. Should Council endorse the use of the funds, then the following Budget amendment will require approval.

GL/Project	Description	Current Budget	Revised Budget	(Surplus/Deficit)
	Contribution		\$49,813.25	\$49,813.25
	Transfer from Reserves - Res 36 Lancelin Ambulance	\$0	(\$49,813.25)	(\$49,813.25)
		Closing Surplus		\$0

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	2. Connections & Wellbeing - Grow and Nurture Community Connectedness and Wellbeing
Strategic Objective	2.1 Community Safety & Support - Provide support and advocacy to residents and visitors so that they feel safe and secure at home and in the environment

VOTING REQUIREMENTS - ABSOLUTE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Balcombe

That Council:

1. Endorse the release of \$49,813.25 amount of Reserve Funds to the St John WA Lancelin and Coastal District Subcentre to assist with purchase of two new ambulances; and
2. Approve amendment of the 2023/24 Budget as detailed below:

GL/Project	Description	Current Budget	Revised Budget	(Surplus/Deficit)
	Health – Other Expenditure		\$49,813.25	\$49,813.25
	Transfer from Reserves – Res 36 Lancelin Ambulance	\$0	(\$49,813.25)	(\$49,813.25)
Closing Surplus				\$0

**CARRIED BY ABSOLUTE MAJORITY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*



For the Service of Humanity

31st January 2024

Amy Gibbs
Coordinator Community Development and Services
The Shire of Gingin
P O Box 510
Gingin
WA 6503

Dear Amy

Letter of Request

Further to your email dated 15th December 2023. Lancelin and Coastal St John Ambulance Committee met on Tuesday 23rd January 2024 and a motion was carried to apply for the reserved funds of \$49,722.28 being held by the Shire of Gingin towards the purchase of a new ambulance at St John Lancelin and Coastal District.

Please find attached a copy of the committee minutes as requested.

Yours sincerely

Colin Gofton
Chairperson
Lancelin and Coastal District Subcentre



Committee Meeting Minutes

**Minutes of the Committee Meeting for the Lancelin Coastal Districts Sub-Centre
Held on Tuesday 23rd January 24 Time 1730h held at Woodridge depot . Mel Lockett advised meeting is
being audio recorded for minutes.**

Present

Colin Stock
Colin Gofton
Bob James
Tonya Illman
Phil Flavell
Mike Carr

Apologies

None

Visitors

Mel Lockett ` Admin assistant Lancelin & Coastal Districts
Donelle Kinnon ` CP Lancelin & Coastal Districts
Matthew Guille ` Regional Manager
Jeri Brown VAO On duty
Sue Stock VSR

Absences

Nil

Conflict of Interest

Nil declared.

Minutes of Previous Meeting:

Minutes for December 2023 meeting accepted:

Moved: Tonya Illman

Seconded: Phil Flavell - Carried

Business arising from minutes of the previous meeting:

- **Telecommunication review:** Mel has continued to do some work with the accounts. So far, 5 mobile numbers have been deleted as the numbers are no longer used, saving \$75 per month. Mel has identified which numbers belong to Lancelin and which belong to Woodridge which will help during the separation process. No further work to be carried out at this stage.
- **Rear van wraps:** Tonya has taken over this project. However, in view of the separation it was decided to put this on hold and then each subcentre can decide if they wish to proceed and choose their own pictures.
- **Lancelin depot fence repair:** Bob has spoken with the property owner again and confirmed that the work will be carried out end of Jan and early Feb. Bob confirmed that the agreement with the owner still stands which is that SJA will pay for the materials (cost price) and the front neighbour will install the fence. Approximate cost of materials will be 10 – 12K. Unable to claim through insurance due to the rust.



- **Woodridge build:** Colin provided an update. He has spoken with the Shire. They are sending the permit through to builder and the septic have been approved. Once the builder has received this they will set up a meeting to discuss the way forward and order the building materials. Once materials order it will 6 weeks to starting so should be completed mid year. Bob asked if Colin G could establish what is required for the septic so he can email the people involved. The shire advised they would forward a copy of the permit to us as well but nothing received as yet. Colin G will chase this up next week if required.
-
- **Lancelin office person:** No progression with this item. Matthew advised that he could not see on any previous minutes that a motion had been made to appoint someone. Matthew also advised that an initial 6 month contract should be offered which can then be renewed after the separation. A discussion was held around how many hours the contract should be for. Initially 10 hours was thought to be sufficient but due to the separation the committee felt that 12 hours would be more appropriate.

Motion:

To advertise for an Admin Assistant for Lancelin for 12 hours per week with an initial 6 month contract.

Moved: Tonya Illman

Seconded: Phil Flavell - Carried

- **Stryker stretcher 1052:** was not discussed at this meeting.
 - **Lancelin mural:** Now complete and invoices paid. Tonya advised it was a "learning curve" although they are happy with the end result they wouldn't recommend him or use him again as he was demanding what and how they should promote his work.
 - **CELFI:** Mike Carr has been speaking with DFES and established that the reception is still not so good when on the move. All agreed to revisit this idea after the separation.
- Cervantes Build funding request:** As agreed 10k payment has been made to Cervantes.

Correspondence

In

Letter : Bendigo Bank – Term Deposit

Email: Silverchain – Service Management Nursing Post

Letter : DFES Fuel Card – discussed in General Business

Email: Leanne Fullarton – Resignation from Committee – Discussed in General Business

Email: Shire of Gingin – Funds for purchase of new ambulances - Discussed in General Business

Email: Invitation from Kondinin to their official opening.

Out

Email: Leanne Fullarton – Resignation from the Committee

Letter : Letter of Appointment – Southern City Building Group

Correspondence Accepted



Treasurer's Report (as per Mel Lockett)

December month end reports previously circulated. No questions/ concerns raised.

General Business:

Woodridge build update: Already discussed.

Stryker stretcher 1052: Already discussed.

CELF van extenders: Already discussed.

Shocklink for Corpuls units: 2 units received. One for Depot.

Fuel cards: All PUMA cards cancelled as per committee decision. Two incidents this week. One where the AMPOL card is not accepted at Lancelin Fuel station. Tonya advised that it is only the 4WD that is refuelled in Lancelin and therefore not a big problem. If needed, officers can use their own cards and claim a reimbursement. After the separation, Lancelin will explore other cards options. 2nd problem was at AMPOL Healeys where the card would not work. It was later discovered that the PIN had not been set. Tonya to set PIN and advise if there are any further issues.

Volunteer recruitment: Lancelin have recruited 3 new volunteers since the last meeting and another one signing up in March. However, one has only very limited availability of half a day per fortnight. Woodridge has received 5 new applications this last week, two of them who are current EMA's wishing to volunteer at Woodridge. One applicant has volunteered with Woodridge back in 2010 and was an AAC.

Lancelin – Woodridge the future: The separation of the two depots of Lancelin and Woodridge is still on track to be completed by 1st July 2024. Both depots held general meetings to vote on whether the separation should go ahead. No objections received and written minutes/ confirmation of these meetings together with the proposal was given to Matthew Guile. Matthew explained that the next step is for the Regional Office to sign off the proposal and it then goes to the Country Operation Team to be signed off by them. After that, we are entering uncharted territory as previously the new formation of a Subcentre had to go to the board. It maybe that they will now delegate this task to the Group CEO Kevin Brown. This would be good as it would mean we wouldn't have to wait for the monthly board meetings to get it signed off. July 1st is still the date which we are aiming for. This date makes is a lot easier, mainly from a finance perspective.

The next step is to decide on how the assets/ money in the bank is divided. Matthew advised that there is no SJA formula for this, however 50/50 is the starting point and work from there. As a committee we need to identify all major expenses or allocated funds likely to be spent before 30th June and take them off the bank balance. What is left is divided 50/50. Matthew cannot see why it wouldn't be 50/50 unless one location had major works planned or was in a different space to the other.

A separate meeting will need to be called to identify all assets, work out major / upcoming expenses and decide on what the allocation for each subcentre will be. Once a decision is made, this will need to be documented in writing and then the committee will need to vote on it.

2024 Training dates: CP Donelle Kinnon has put a training calendar in each depot showing the training dates for all subcentres in her area. CEP content not yet available, however, VDO weekend dates have been released.

DFES Fuel Card : This has been received with a limit of \$1000. A discussion took place as to how much each volunteer should receive. Last year each volunteer received \$30. It was felt that this year, VAO's should receive \$30 and VSR's receive \$50 as VAO's also receive a fuel allowance as part of our payments policy. Volunteers to either use the DFES fuel card or submit a volunteer reimbursement claim form. Mel to send out a message to all volunteers.



Motion:

Each VAO to receive a \$30 fuel allowance. VSR's to receive a \$50 fuel allowance.

Moved: Colin Gofton

Seconded: Phil Flavell Carried

Committee Member Resignation : See correspondence in from Leanne Fullarton. Colin G wished to have it noted that he was very sorry that Leanne has resigned from her committee position as Secretary and wanted to thank her for helping him when he started as Chairperson. He wanted to acknowledge what a stalwart she has been and the amount of time and effort she put it to make it successful. Tonya has received an expression of interest in filling this committee position.

Matthew advised that as Leanne has resigned from this committee this creates a casual vacancy. This vacancy can be advertised for the period until the next Annual Review Meeting . All active members (on VIP) will need to be sent an email giving them 2 week's notice to submit any expressions of interest. If more than one person would like to be considered, then a General Meeting will be called to elect a member to the committee. Leanne is more than welcome to reapply for this position if she wishes.

Motion:

To advertise a Casual Committee Member Vacancy

Moved: Colin Gofton

Seconded: Tonya Illman Carried

Gingin Shire Funds for New Ambulances : Colin Gofton has received an email from Gingin Shire advising that they have funds allocated to us to assist with the purchase of new ambulances. However, in order to access the money, we will need to provide them with a copy of the minutes showing approval by the committee to access the funds and a formal letter requesting the funds. The committee agreed that they wish to now ask Gingin Shire to release these funds. Bob advised that he did not know how they got to the figure of \$ 49,723.28 as they usually allocate \$3k per year, per van, which equates to \$18k per year.

Motion:

To submit a formal letter to the Shire Of Gingin , requesting allocated funds for the new ambulance to be released.

Moved: Phil Flavell

Seconded: Bob James - Carried

Other Business:

First Aid Kit Sales – Mel advised that she has received confirmation from Finance Department regarding the amount of discount that can be deduced from first aid kit sales. The maximum amount of discount that can be applied is 25% of the RRP. Anything more than this has to have written approval by the chairperson. Mel advised she will send out a message to all volunteers explaining this.

Future committee dates – Claire Dadd has asked if we could provide future committee dates so she could pencil them in her diary. The following dates were agreed : Tuesday 5th March, 14th May and 4th June. Dates after this to be advised later. Members meetings to be held in both locations in June to establish new committees so these are in place for July 1st.



Ad Hoc claim from Volunteers : Mel was seeking clarification on a claim that has been submitted by two VAO's claiming reimbursement for taxi fares and \$60 each for taking an ambulance from Lancelin down to Perth for work to be carried out. As this is not covered under the current allowance policy it was brought to the committee to decide if this can be paid. Matthew clarified there are 3 terms that can be used when making payments to volunteers.

Reimbursement – Receipt provided / covers out of pocket expenses.

Allowance – Under the payments policy agreed by the committee.

Honorarium – Once a year payment as recognition of some achievement or something that they have done over and above what is expected.

In view of this the committee agreed that this payment should be made.

Motion:

To pay out of office expenses as per taxi receipt and to pay \$60 allowance to each volunteer that claimed

Moved : Colin Gofton

Seconded : Phil Flavell - carried

New Ambulance - Colin Gofton advised a new van is on order due to be received in the next few months with a second new van expected later in the year. Colin Gofton stated he thinks the first van should come to Woodridge as it is a straight replacement for 1160. Added to which, Woodridge are all stryker trained. Tonya stated they have not had a new van for 5 years. Colin Gofton advised that they would be getting a new van later this year. Bob stated that the vans were ordered so the first one goes to Lancelin and the second one goes to Woodridge. Tonya said that they have always moved all the vans around the subcentres to rotate the vans round to keep the fleet new. Colin Gofton called a vote on whether the new van should replace 1160 at Woodridge.

Motion:

For the new van to go to Woodridge to replace 1160

Moved: Colin Gofton

Seconded: Phil Flavell Vote : For 3, Against 2, Undecided 1 = Carried



Actions Arising from January 2024 meeting:

Action	Person responsible	Date Due
Telecommunication review	Mel	In progress
Lancelin depot fence repair	Bob	In progress
Woodridge build	Exec	In progress
Lancelin office person	Regional	In Progress
Stryker stretcher retrofit 1052	Colin G,	In progress
Lancelin / Woodridge Separation	Exec	In progress
Casual Committee member vacancy	Exec	In progress
DFES Fuel card / claims	Mel	In progress
Shire of Gingin Funds	Colin G	In progress
First Aid Kit Sales	Mel	In progress

Meeting closed at 1635 hrs

Date of the next committee meeting to be held on 5th March at Lancelin depot.

Minutes Accepted

- To be completed at the next meeting

This document represents a true and accurate account of the meeting **Moved:**

Name: _____

Sign and Date: _____

Seconded:

Name: _____

Sign and Date: _____

14 REPORTS - REGULATORY AND DEVELOPMENT SERVICES

14.1 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED RETAIL CENTRE ON LOT 9500 (FORMERLY 601) BROCKMAN STREET, GINGIN

This matter was brought forward for discussion. See page 11.

File	BLD/7563
Applicant	Dynamic Planning and Developments
Location	Lot 9500 Brockman Street, Gingin
Owner	Westerly Developments Pty Ltd
Zoning	Town Centre
WAPC No	NA
Author	James Bayliss – Manager Planning and Building
Reporting Officer	Bob Kelly - Executive Manager Regulatory and Development Services
Refer	Nil.
Appendices	<ol style="list-style-type: none"> 1. Location Map - Lot 601 Brockman Street, Gingin [14.1.1 - 1 page] 2. Aerial Map - Lot 601 Brockman Street, Gingin [14.1.2 - 1 page] 3. Applicants Report [14.1.3 - 17 pages] 4. Revised Development Plans [14.1.4 - 13 pages] 5. Civil Engineering Plans [14.1.5 - 10 pages] 6. Hydraulic Design Plans [14.1.6 - 1 page] 7. Site and Soil Evaluation Report 1 [14.1.7 - 136 pages] 8. Traffic Impact Assessment [14.1.8 - 49 pages] 9. Waste Management Plan [14.1.9 - 21 pages] 10. Gingin Shopping Centre Development (Our Ref_ 1821) [14.1.10 - 12 pages] 11. Schedule of Submissions and Recommended Responses [14.1.11 - 5 pages]

DISCLOSURES OF INTEREST

Nil

PURPOSE

To consider an Application for Development Approval for a Retail Centre on Lot 9500 Brockman Street, Gingin.

BACKGROUND

The subject land was formerly part of Lot 601 Brockman Street, Gingin. The Western Australian Planning Commission (WAPC) granted conditional approval for subdivision of the land on 21 April 2023 to create 99 residential lots, 3 Town Centre lots and a public open space reserve.

The proposed development will be located on the recently created Lot 9500 (DP 426314) which is zoned 'Town Centre'.

While the proposed development is to be considered on a standalone basis, it is relevant to note that the subdivision design includes an 18m wide road reserve on the northern portion of the development site which will eventually provide additional access points to the proposed development. In the interim, access to the site will be via Weld Street, and delivery vehicles via Lily King Place.

The proposed development is summarized below:

- The development will accommodate one pad site which will enable seven (7) different businesses to occupy the subject site. The pad site and proposed finished floor levels will be very similar in nature, with site works to occur around the pad site that negotiates the sloping topography.
- The proposed development will incorporate a total of 74 car parking spaces with three designated trailer/caravan parking bays taking the total parking provision to 77 bays.
- A breakdown of the total floor space and probable tenancies includes:
 - Supermarket – 1,200m²;
 - Café – 150m²;
 - Hairdresser – 80m²;
 - Pizza – 90m²;
 - Butcher – 100m²;
 - Liquor Store – 250m²; and
 - Post Office – 214m².
- The built form proposed at the development is single storey in nature with natural building colours and materials being used to ensure consistency with the landscape and a rural vernacular.
- Landscape planters will frame the development to provide a break between the pedestrian and vehicle areas and soften the built form.

- Servicing areas will be to the rear of the development with service access to come from Lily King Place and exit onto Weld Street. The proposed butcher and supermarket will have separate designated service access points, with the remainder of the development to share a service access between the post office and liquor store and/or a designated car bay at the front of the café/hairstylist.
- The proposed development will be serviced by an ATU system to manage waste with a designated area for leach drains and disposal to the east of the site.
- Stormwater drainage at the site will be a mix of soakwells at the front of the site and the rear of the site draining back to a designated low depth drainage basin with chain link fencing around.

A location plan and aerial photograph are provided (**see appendices**).

The applicant's proposal is provided (**see appendices**) and includes the following:

- Development Application Report;
- Civil Engineering Plans;
- Development Plans;
- Hydraulic Design Plans;
- Site and Soil Evaluation Report;
- Traffic Impact Assessment;
- Waste Management Plan;
- Concept Master Plan; and
- Justification correspondence for Revised Plans.

It should be noted that the details provided in the appendices represent the most up to date versions of the documents, which have addressed various queries raised by the officer during the assessment process. The superseded plans and documents have not been included.

COMMENT

Stakeholder Consultation

The application was advertised to surrounding landowners and published on the Shire's website, and a development sign was placed on the verge of the property for a period of 28 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*. Six comments were received, being two general comments, one in support and three objections.

The application was advertised to the following State agencies for a period of 42 days in accordance with clause 66 of the *Planning and Development (Local Planning Scheme) Regulations 2015*:

- Department of Water and Environmental Regulation (DWER); and
- Department of Health (DoH).

The DWER advised that it had no comment to make and the DoH did not respond.

A copy of the schedule of submissions and recommended responses is provided (**see appendices**).

A summary of the issues raised in submissions is as follows.

Issue Raised	Officer's comments
Economic competition	<p>Making Good Planning Decisions (Government of Western Australia, 2021) states:</p> <p><i>The threat of competition to existing businesses is not a relevant planning consideration. It only becomes a relevant planning consideration if there is a prospect that there will be a reduction in the facilities available to the community.</i></p> <p>The above position has been widely adopted by the Planning Industry as a result of case law from the High Court of Australia, when considering such a circumstance, stating the following:</p> <p><i>“economic competition feared or expected from a proposed use is not a planning consideration within the terms of the planning ordinance governing this matter”.</i></p> <p><i>“...the mere threat of competition to existing businesses, if not accompanied by a prospect of a resultant overall adverse effect upon the extent and adequacy of facilities available to the local community if the development be proceeded with, will not be a relevant town planning consideration.”</i></p> <p>In this instance, the proposal is unlikely to result in a reduction of facilities and services available to the community. Economic competition is therefore not a planning consideration.</p>
Premature	<p>This is not a land supply proposal such as a rezoning to facilitate subdivision. Consideration of development proposals is not based on lot uptake and vacant tenancies such as the above.</p> <p>Whether the development is premature in the context of population growth is a matter of judgement for the landowner, as it is the landowner investing millions of dollars. It is not for the Shire to probe into the probable success of a business venture, or what threshold the population must reach to deem a retail centre viable.</p>

Duplication of Services	<p>The Shire of Gingin does not determine who the landowner leases individual tenancies to, nor does the Shire determine if lessees along the existing retail strip will relocate or not. That is up to the businesses and landowners.</p> <p>The Shire of Gingin is considering the land uses 'shop', 'fast food outlet' and 'restaurant'. What specific business the tenancies ultimately become, as long as they fit within the above use classes, is not a matter for the Shire to deliberate on.</p> <p>Notwithstanding the above, the officer concurs with submitters, in that variations of goods and services will be beneficial for the community.</p>
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PLANNING FRAMEWORK

Local Planning Scheme No. 9 (LPS 9) Planning Assessment

The objectives of the 'Town Centre' zone are outlined below:

- a) *Promote, facilitate and strengthen the town centre zone as the principal focus of the district in terms of shopping, professional, administrative, cultural, entertainment and other business activities.*
- b) *Accommodate a diversity of commercial, cultural and residential facilities.*
- c) *Encourage the integration of existing and proposed facilities within the zone so as to promote ease of pedestrian movement and the sharing of infrastructure, as well as to retain the opportunity for any future expansion of the area.*
- d) *Provide for the efficient and safe movement and parking of vehicles; and*
- e) *Ensure that buildings, ancillary structures and advertising are of high quality and contribute to the uniqueness of the townscape.*

The proposed development is viewed as being consistent with the above objectives. The land has been set aside for development of this nature since the late 1990s. The orientation of the development addresses Weld Street, which is the logical frontage given the development standards and location of the land. The development has attempted to integrate with the existing retail strip along Brockman Street via a footpath, noting that the separation distance between inhibits the sharing of infrastructure to some extent (i.e. parking bays).

The proposed development includes three land use classes defined under LPS 9 as follows:

Shop – means premises used to sell goods by retail, hire goods, or provide services of a personal nature (including hairdresser or beauty therapist) but does not include a showroom or fast-food outlet.

Fast Food Outlet – means premises used for the preparation, sale and serving of food to customers in a form ready to be eaten without further preparation, primarily off the premises, but does not include a lunch bar.

Restaurant – means premises where the predominant use is the sale and consumption of food and drinks on the premises and where seating is provided for patrons, and includes a restaurant licensed under the Liquor Licensing Act 1988.

The use class ‘Shop’ is a ‘P’ - Permitted use in the zone.

The use class ‘Fast Food Outlet’ is a ‘D’ - Discretionary use in the zone.

The use class ‘Restaurant’ is a ‘P’ - Permitted use in the zone.

Table 2 - Site Requirements

Zone	Minimum Setback			Maximum Plot Ratio	Maximum Site Coverage	Minimum Landscaping
	Front	Side	Rear			
Town Centre	Nil	Nil	6m	1	75%	50% of all setback areas
Provided	27m	9m	>6m	0.1%	15%	Landscaping provided and to be conditioned
Complies Yes/No	Yes	Yes	Yes	Yes	Yes	Yes

4.8 - Zone Specific Development Standards

Section 4.8.2 – Town Centre zone sets out specific development standards as outlined in the table below:

Clause	Provision	Officer Comment
4.8.2.1	<i>Development within the Town Centre zone shall have regard for the particular character, townscape and sense of place of the local area.</i>	The development provides a contemporary design that incorporates materials and features that reflect the character of Gingin, such as stone cladding which is historically used throughout the townsite.

4.8.2.2	<i>Where development or re-development of properties in the Town Centre zone is envisaged, the incorporation of residential uses up to a density of R40 will be considered, to create greater diversity of use, increased security and to stimulate additional life and vitality within the centre of the town. Any such residential development shall comply with the design elements for multiple dwellings in the Residential Design Codes.</i>	Not applicable.
4.8.2.3	<i>Where a mixed-use development is proposed, the residential use shall be confined to an upper storey.</i>	Not applicable.
4.8.2.4	<i>Building Materials Each façade or wall of a building facing any street or public place shall be constructed of brick, stone, concrete or glass or combinations of two or more of these materials or similar material as approved by local government to the wall height of the building or to a minimum height of 3 metres.</i>	The building comprises a combination of stone cladding, glazing and concrete to a height that exceeds 3 metres, satisfying the referenced materials, and has been designed with an attempt to reflect a 'country' feel.
4.8.2.5	<i>Refuse Storage Areas All developments shall provide at least one refuse storage area readily accessible to service vehicles and screened from view from a public street by a close fence, wall or screen landscaping no less than 1.8 metres in height.</i>	Refuse storage areas have been located at the rear of the building, accessible to service vehicles that are able to access and egress the site in a forward gear. The bin store areas will inevitably be visible from the rear service area.
4.8.2.6	<i>Storage Yards A person shall not use land for open storage purposes unless it is screened from public view by a fence or wall to the satisfaction of the local government.</i>	Outdoor storage is not proposed and can be conditioned accordingly.

Car Parking

Clause 4.7.2.1 - Provisions for Parking, Access for Loading and Unloading Vehicles states:

In the Town Centre, Mixed Business, General Industry, Rural Industry and Tourist zones:

- (i) no land or buildings shall be developed unless provision is made for an area clear of the street for the purpose of loading or unloading goods or materials.*
- (ii) the local government will seek to ensure that the majority of servicing vehicles will be able to leave and enter the street in a forward direction.*
- (iii) parking, loading and unloading and access, complete with necessary drainage, signs and marking as required by the local government, shall be provided prior to any occupation of the development or at such time as may be agreed in writing between the local government and the developer.*
- (iv) external servicing areas shall be established and maintained to the satisfaction of the local government.*

Officer Comment

The proposed development has been designed in response to the above provisions. The development design utilises Weld Street as the primary frontage and as such service vehicles, loading bays (and refuse storage areas) have been located at the rear. Service vehicles propose to use a one-way access route from Lily King Place to ensure they can leave the site in a forward gear. Adequate signage, line marking, and drainage is proposed to be provided, and reinforced via conditions of approval.

The surrounding roads all form part of RAV Network 1 which permits 19m semi-trailers to travel on these roads under general access or “as of right” status.

Clause 4.7.2.3 of LPS 9 states:

Except with the approval of local government, a person shall not use or develop land for a purpose specified in Column 1 of Table 3 unless provision is made on the site for a number of car parking spaces not less than the number calculated in accordance with Column 2 of that Table shown opposite that purpose.

Table 3 – Parking Requirements is outlined below:

Column 1 – Use / Development	Column 2 – Minimum number of carparking spaces required.	Required / Provided
Shop	1 per 20m ² gross leasable area	<ul style="list-style-type: none"> • Supermarket – 774sqm • Hairdresser – 80sqm • Butcher – 100sqm • Liquor Store – 250sqm • Post Office – 214sqm. <p>Total – 1448m²</p> <p>Required: 72</p>
Restaurant	1 per 4 persons	<p>Based on 36 persons</p> <p>Required: 9</p>
Total		<p>Provided: 80 bays</p> <p>Required: 81 bays</p>

Access/Egress and Traffic Considerations

The main access/egress point for patrons is via two crossovers located on Weld Street, which is a 7m wide, 2 lane sealed road. No path for walking or cycling is presently provided adjacent to the development site along Weld Street.

Service, delivery and waste collection vehicles are proposed to access the rear of the building via Brockman Street and Lily King Place which will connect to a one way access driveway. Staff will also be permitted to enter from Lily King Place. This is a one way route, with signage and line marking proposed to prevent the access from being used as a 'short cut' from Brockman Street. If required, the landowner may install gating if the road signage is ignored.

It should be noted that Lily King Place will ultimately be connected to the broader Town Centre lot and subdivisional road. This road has essentially been used as a driveway for the Community Resource Centre (CRC) and Medical Centre for an extended period, however it is a public road that will likely link into future services on the subject land and will be utilised by road users into the future.

A path for walking is provided along the southern side of Lily King Place and is assigned a 10km/h speed zone.

Brockman Street near the subject site is approximately 16m wide, consisting of a 2 lane undivided road with on-street parking along both sides of the road.

Footpaths are provided on portions of Weld Street, Brockman Street and Lily King Place, however connectivity is somewhat disjointed. The pedestrian network would benefit from kerb ramps to promote improved access for wheelchairs, prams and bicycles. The applicant is proposing to install a 2m wide path connecting the development into the pedestrian network along Lily King Place.

The proposed development provides one large loading bay for supermarket deliveries at the rear of the building. A second smaller loading bay is provided for the shared use by other tenancies. A bin storage and waste collection yard is provided behind the supermarket and is designed to accommodate 11m front loader waste trucks.

It should be noted that the concept master plan indicates that the loading and bin storage areas at the rear of the development may be removed to cater for future developments. If that eventuates then the proposal at that time will need to adequately resolve any implications it may have for this development.

The applicant commissioned a Transport Impact Assessment (TIA) prepared by Urbii that outlined the above details. The TIA concluded the following:

- The site promotes good connectivity with the existing and planned road, cycling and pedestrian network.
- The traffic analysis undertaken in this report shows that the traffic generation of the proposed development can be accommodated by the surrounding roads and intersections.
- The proposed car parking supply is expected to meet the needs of the proposed development.
- It is recommended that the Shire of Gingin liaise with MRWA Speed Zoning Branch to extend the existing 50km/h speed zone on Weld Street further west past the subject site.
- It is recommended that the Shire of Gingin liaise with MRWA to obtain approval for Give Way signage and line marking at the existing 4-way intersection between Lily King Place, Brockman Street and Constable Street.

Pending the outcome of this proposal, it is suggested that the Applicant (or Urbii) separately write to the Shire formally requesting speed reductions, signage and line-marking and provide the Shire with assistance with the application process to the MRWA.

Public Art

It is common that local governments have a local planning policy relating to the provision of public art. It is accepted that the Shire of Gingin does not, however discussions with the landowner indicate that the southern façade of the Retail Centre is an ideal location for a mural that symbolises Gingin. This would assist with dampening building bulk and enhance the visual appearance of the prominent southern elevation as viewed from the public realm.

Landscaping

The development plans include a proposed Landscaping Plan, which in its current form is quite basic. It is suggested that the landscaping extend for the length of the pedestrian footpath extending to Lily King Place and the drainage swale. Detailed landscaping is to form part of a revised Landscaping Plan secured by a condition of approval.

Waste Management

The proposal includes a Waste Management Plan (WMP) prepared by Urbii to provide a framework for managing waste generated by the developments. This includes 5 x 4500L General Waste and 1 x 4500L Recycling bins. These are front lift bins stored in rear service yards at the site and will be collected twice weekly.

Employed cleaners or staff associated with each tenancy will be responsible for transferring waste generated by individual tenancies to the bin yard at the rear of the site.

Effluent Disposal

The developer is required to install a secondary treatment system (STS) (such as an aerobic treatment unit) with nutrient removal capabilities given the land is located within a Sewerage Sensitive Area. The Site and Soil Evaluation (SSE) prepared by Pentium Water demonstrates that compliance with the Department of Health's Government Sewerage Policy (GSP) is achievable.

It should be noted that local governments do not approve effluent disposal systems related to commercial development, as this is the role and responsibility of the Department of Health.

Local Planning Policy 5.2 – Gingin Town Centre (LPP 5.2)

The objective of LPP 5.2 is:

To provide guidelines for the development and redevelopment of the Town Centre to protect and enhance its character and amenity.

LPP 5.2 policy statements are outlined below:

- 3.1 *Further development, except for maintenance and minor extensions, will not be approved unless in accordance with a Town Centre plan approved by the Council.*
- 3.2 *Any Town Centre Plan shall make adequate provision for the coordinated car parking, vehicle and pedestrian circulation, and landscaping.*

Officer Comment:

Although the objective of LPP 5.2 is to provide guidelines for the development and/or redevelopment of the Town Centre, no such guidelines have been outlined in the policy. The policy statements indicate that the intent is to ensure a coordinated approach to pedestrian and vehicle connectivity linking the various services throughout the broader town centre zone.

The applicant has outlined the concept master plan, which could be viewed as satisfying Policy Statement 3.1, however flexibility is also needed to ensure that prospective developments have the ability to be designed specific to their needs.

Local Planning Policy 1.12 – Advertising Signs (LPP 1.12)

The purpose of this Local Planning Policy is to provide guidance as to the identification of advertising sign types and the requirements for exemptions and requirements for development approval.

Clause 4.1.2 states:

Advertising signs that do not meet the standard requirements of this Policy are deemed not exempt from development approval and will require the lodgement of an application to the Shire for consideration of approval.

4.1. - General Requirements

The relevant development requirements are outlined below with the officer's comment.

4.1.3. *A signage strategy is required by the Shire for new developments proposing multiple tenancies. The strategy shall outline the type, size, and location of all proposed advertising signs.*

4.1.6. *The advertising sign shall achieve the following design and location criteria:*

- *Be of a minor nature and subservient to the scale of a building and/or place in which they are installed.*
- *Limited to one sign type per lot frontage.*

- *Not cause visual clutter of the streetscape, building or place.*
- *Not display offensive wording or images.*
- *Only display services offered for sale and/or produced on the land.*
- *Not obscure architectural attributes of a building.*
- *Not cause a nuisance, by way of light spillage, to adjoining or nearby properties.*
- *Not flash, pulsate or chase when illuminated.*
- *Not contain colours that interfere with, or are likely to be confused with, traffic control signals whether illuminated or not.*
- *Not obstruct visual sightlines or movement for motorists and pedestrians.*
- *Not obstruct views of significance.*
- *Not be placed on any natural feature, including a rock or tree, on a thoroughfare, or on any bridge or the structural approaches to a bridge.*

Officer Comment:

The development provides a consistent signage design and location that complements the building architecture, is generally of an appropriate scale, is limited to one sign per tenancy, are uniform in size and location and design across the development.

The applicant suggests that the elevation plans adequately represent the proposed signage and that a signage strategy as required under cl 4.1.3 is not required. While the officer generally agrees, it is noted that no dimensions of the signs have been provided and a Pylon Sign is proposed at the front entrance with no details being outlined. On that basis, it is suggested that a condition of approval require a 'signage strategy' be submitted for approval, noting that the strategy will essentially provide greater detail for what is delineated on the plans.

Siteworks

The development area will require extensive siteworks to cut the northern portion of the land and fill the southern portion of the area in order to provide a level retail site. The development indicates battering in lieu of retaining.

Shire Implications

The land has been earmarked for this purpose since the late 1990s. While it is accepted that development proposals should be entirely self-sufficient and not rely on public expenditure to resolve deficiencies on a landowner's behalf, it is likely that longstanding drainage deficiencies and footpath disconnectivity detached from the subject site will need to be rectified by the Shire over coming years.

Summary

In view of the above, the officer supports the development subject to conditions.

STATUTORY/LOCAL LAW IMPLICATIONS

Planning and Development (Local Planning Scheme) Regulations 2015

Shire of Gingin Local Planning Scheme No. 9.

POLICY IMPLICATIONS

Local Planning Policy 5.2 – Gingin Town Centre (LPP 5.2)

Local Planning Policy 1.12 – Advertising Signs (LPP 1.12)

BUDGET IMPLICATIONS

Broader budget implications in relation to infrastructure works associated with Weld Street and Brockman Street will be considered on their merits at the relevant time. It is, however, likely that deficiencies within the Shire’s existing infrastructure, unrelated to the proposed development, will require remedial works (i.e. drainage).

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	3. Planning & Sustainability - Plan for Future Generations
Strategic Objective	3.3 Planning & Land Use - Plan the use of the land to meet future requirements incorporating economic development objectives and community amenity

VOTING REQUIREMENTS - SIMPLE MAJORITY

SUBSTANTIVE MOTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Peczka

That Council grant Development Approval for a Retail Centre on Lot 9500 (Deposited Plan 426314) Brockman Street, Gingin subject to the following conditions:

1. The land use and development shall be undertaken generally in accordance with the approved plans and specifications, including any directions written in red ink or modifications required as a consequence of any condition(s) of this approval.
2. This approval comprises of the following land uses as depicted on the plans:
 - Shop;
 - Fast Food Outlet; and
 - Restaurant.

3. Prior to the commencement of siteworks, the landowner/applicant shall prepare and implement a Construction Management Plan (CMP) for the construction phase of the development to the satisfaction of the Shire of Gingin, that at a minimum:
 - a. Ensures site works, machinery and materials on the site do not generate unreasonable levels of noise, vibration, dust, wastewater, or waste products; and
 - b. Outlines the location of construction amenities.
4. Prior to the commencement of siteworks, the landowner/applicant shall demonstrate to the Shire of Gingin that an effluent disposal system servicing the development has been approved by the Department of Health.
5. Prior to the commencement of siteworks, the landowner/applicant is required to submit a Retail Centre Management Plan to the Shire of Gingin for approval on advice from relevant State agencies, that at a minimum includes the following:
 - a. Landscaping Plan;
 - b. Signage Strategy;
 - c. Lighting Plan;
 - d. Noise Management Plan;
 - e. Waste Management Plan; and
 - f. Mosquito management (drainage basin).
6. The approved Retail Centre Management Plan shall be implemented and thereafter complied with to the satisfaction of the Shire of Gingin.
7. Any redundant crossovers or access points shall be decommissioned and removed to the satisfaction of the Shire of Gingin.
8. Prior to the occupation of the development, the landowner/operator is to enter into an agreement with the Shire of Gingin in relation to the installation of a mural on the southern façade of the approved building.
9. Signage associated with the development shall not flash, pulsate or chase at any time.
10. All stormwater produced onsite, including subsoil drainage, is to be collected and disposed into the onsite drainage basin, and is not to be directed or connected into the Shire's drainage infrastructure.

11. Prior to occupation of the development, vehicle parking, access and circulation areas must be sealed, kerbed, line marked, signposted and drained in accordance with the approved plans and maintained in a good condition thereafter to the satisfaction of the Shire of Gingin.
12. Goods, materials, equipment or the like must not be stored or displayed within the verge or areas dedicated to parking, landscaping or vehicle maneuvering areas.
13. Prior to commencement of the approved use, two new sealed crossovers from Weld Street and internal access are to be installed, at the applicant/landowner's cost to cater for dual access/egress to the satisfaction of the Shire of Gingin . A 'Vehicle Crossover Application' is required to be submitted to and approved by the Shire of Gingin prior to the installation of the crossover.
14. Prior to occupation of the development, bicycle parking facilities capable of accommodating a minimum of 6 bicycles shall be provided on site.
15. External lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the Shire of Gingin. Any lighting should be consistent with the International Dark Sky Association's LED Practical Guide.
16. Provision must be made for facilities and access for use by people with disabilities in accordance with provisions of the Building Code of Australia and AS 1428.1 Design for Access and Mobility.
17. Verge vegetation is to be protected and retained, unless written approval has been obtained from the Shire of Gingin.
18. Earthworks, footings and/or structures are not to extend over any lot boundaries.
19. Prior to the occupation or use of the development, the footpath linking the development with Lily King Place is to be installed to a width of 2m.
20. Prior to the occupation of the development, the applicant/owner is to enter into satisfactory arrangements with the Shire of Gingin for a contribution to an upgrade of the seal (to an asphalt standard) at the intersection between Lily King Place and Brockman Street.
21. Any roof mounted or freestanding plant or equipment such as air conditioning units, satellite dishes or radio masts are to be located and screened so as not to be visible from Weld Street to the satisfaction of the Shire of Gingin.
22. The applicant/landowner is to provide all reasonable assistance to the Shire of Gingin in lodgment of an application to Main Roads WA for speed reduction along Weld Street, Give Way signage and relevant intersection line marking on Brockman Street.

23. Prior to the issuing of a Building Permit, the landowner/applicant shall demonstrate to the Shire of Gingin that an effluent disposal system has been approved by the Department of Health.

Advice Notes

- Note 1: If you are aggrieved by the conditions of this approval, you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: If the development subject to this approval is not substantially commenced within a period of two years, the approval shall lapse and have no further effect.
- Note 3: Where an approval has so lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.
- Note 4: The wastewater disposal system may require a separate approval by the Department of Health (DoH) and/or the Department of Water and Environmental Regulation (DWER).
- Note 5: All noise from the operation and associated equipment is required to comply with the *Environmental Protection (Noise) Regulations 1997*.
- Note 6: The development is to have access to a sufficient supply of potable water that is of the quality specified under the Australian Drinking Water Quality Guidelines 2004.
- Note 7: Please be advised that the kitchen fit-out is to comply with the requirements of the *Food Act 2008* and the Food Standards Code.
- Note 8: Further to this approval, the applicant is required to comply with the *Health Act 2016* and the Shire's *Health Local Law 2017*.
- Note 9: In relation to the installation of a mural, it is suggested that further dialogue be held to ascertain timing and design, with a preference for this to occur within a 3 year period.

AMENDMENT MOTION

MOVED: Councillor Johnson SECONDED: Councillor Weeks

That Condition 10 be amended by replacing the words "and is not to be directed or connected into the Shire's drainage infrastructure" with "to the satisfaction of the Shire of Gingin, generally in accordance with the approved Urban Water Management Plan for the subject land".

CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The amendment was incorporated into the Substantive Motion, which was then put to the vote.

COUNCIL RESOLUTION

MOVED: Councillor Johnson SECONDED: Councillor Peczka

That Council grant Development Approval for a Retail Centre on Lot 9500 (Deposited Plan 426314) Brockman Street, Gingin subject to the following conditions:

1. The land use and development shall be undertaken generally in accordance with the approved plans and specifications, including any directions written in red ink or modifications required as a consequence of any condition(s) of this approval.
2. This approval comprises of the following land uses as depicted on the plans:
 - Shop;
 - Fast Food Outlet; and
 - Restaurant.
3. Prior to the commencement of siteworks, the landowner/applicant shall prepare and implement a Construction Management Plan (CMP) for the construction phase of the development to the satisfaction of the Shire of Gingin, that at a minimum:
 - a. Ensures site works, machinery and materials on the site do not generate unreasonable levels of noise, vibration, dust, wastewater, or waste products; and
 - b. Outlines the location of construction amenities.

4. Prior to the commencement of siteworks, the landowner/applicant shall demonstrate to the Shire of Gingin that an effluent disposal system servicing the development has been approved by the Department of Health.
5. Prior to the commencement of siteworks, the landowner/applicant is required to submit a Retail Centre Management Plan to the Shire of Gingin for approval on advice from relevant State agencies, that at a minimum includes the following:
 - a. Landscaping Plan;
 - b. Signage Strategy;
 - c. Lighting Plan;
 - d. Noise Management Plan;
 - e. Waste Management Plan; and
 - f. Mosquito management (drainage basin).
6. The approved Retail Centre Management Plan shall be implemented and thereafter complied with to the satisfaction of the Shire of Gingin.
7. Any redundant crossovers or access points shall be decommissioned and removed to the satisfaction of the Shire of Gingin.
8. Prior to the occupation of the development, the landowner/operator is to enter into an agreement with the Shire of Gingin in relation to the installation of a mural on the southern façade of the approved building.
9. Signage associated with the development shall not flash, pulsate or chase at any time.
10. All stormwater produced onsite, including subsoil drainage, is to be collected and disposed into the onsite drainage basin, to the satisfaction of the Shire of Gingin, generally in accordance with the approved Urban Water Management Plan for the subject land.
11. Prior to occupation of the development, vehicle parking, access and circulation areas must be sealed, kerbed, line marked, signposted and drained in accordance with the approved plans and maintained in a good condition thereafter to the satisfaction of the Shire of Gingin.
12. Goods, materials, equipment or the like must not be stored or displayed within the verge or areas dedicated to parking, landscaping or vehicle maneuvering areas.
13. Prior to commencement of the approved use, two new sealed crossovers from Weld Street and internal access are to be installed, at the applicant/landowner's cost to cater for dual access/egress to the satisfaction of the Shire of Gingin . A 'Vehicle Crossover Application' is required to be submitted to and approved by the Shire of Gingin prior to the installation of the crossover.

14. Prior to occupation of the development, bicycle parking facilities capable accommodating a minimum of 6 bicycles shall be provided on site.
15. External lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the Shire of Gingin. Any lighting should be consistent with the International Dark Sky Association's LED Practical Guide.
16. Provision must be made for facilities and access for use by people with disabilities in accordance with provisions of the Building Code of Australia and AS 1428.1 Design for Access and Mobility.
17. Verge vegetation is to protected and retained, unless written approval has been obtained from the Shire of Gingin.
18. Earthworks, footings and/or structures are not to extend over any lot boundaries.
19. Prior to the occupation or use of the development, the footpath linking the development with Lily King place is to be installed to a width of 2m.
20. Prior to the occupation of the development, the applicant/owner is to enter into satisfactory arrangements with the Shire of Gingin for a contribution to an upgrade of the seal (to an asphalt standard) at the intersection between Lily King Place and Brockman Street.
21. Any roof mounted or freestanding plant or equipment such as air conditioning units, satellite dishes or radio masts are to be located and screened so as not to be visible from Weld Street to the satisfaction of the Shire of Gingin.
22. The applicant/landowner is to provide all reasonable assistance to the Shire of Gingin in lodgment of an application to Main Roads WA for speed reduction along Weld Street, Give Way signage and relevant intersection line marking on Brockman Street.
23. Prior to the issuing of a Building Permit, the landowner/applicant shall demonstrate to the Shire of Gingin that an effluent disposal system has been approved by the Department of Health.

Advice Notes

- Note 1: If you are aggrieved by the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.

- Note 2: If the development subject to this approval is not substantially commenced within a period of two years, the approval shall lapse and have no further effect.
- Note 3: Where an approval has so lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.
- Note 4: The wastewater disposal system may require a separate approval by the Department of Health (DoH) and/or the Department of Water and Environmental Regulation (DWER).
- Note 5: All noise from the operation and associated equipment is required to comply with the *Environmental Protection (Noise) Regulations 1997*.
- Note 6: The development is to have access to a sufficient supply of potable water that is of the quality specified under the Australian Drinking Water Quality Guidelines 2004.
- Note 7: Please be advised that the kitchen fit-out is to comply with the requirements of the *Food Act 2008* and the Food Standards Code.
- Note 8: Further to this approval, the applicant is required to comply with the *Health Act 2016* and the Shire's *Health Local Law 2017*.
- Note 9: In relation to the installation of a mural, it is suggested that further dialogue be held to ascertain timing and design, with a preference for this to occur within a 3 year period.

CARRIED UNANIMOUSLY
9 / 0


FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*



Reason for Amendment

Council was of the view that the amendment was required to reflect the understanding that water on site is to be dealt with in accordance with the existing Water Management Plan.



 <p>SHIRE OF GINGIN RUSTIC BEAUTY • PROSPERITY</p>	<p>7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au</p>	<p>Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.</p>	<p>Location Map - Lot 601 Brockman Street, Gingin</p>	<p>Scale: 1: 10919</p>	<p>Date: 9/09/2022</p> 
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 <p>SHIRE OF GINGIN INSPIRING IDEAS • PROGRESSIVE</p>	<p>7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au</p>	<p>Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.</p>	<p>Aerial Map - Lot 601 Brockman Street, Gingin</p>	<p>Scale: 1:5591</p> <p>Date: 9/09/2022</p>	
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GINGIN TOWN CENTRE DEVELOPMENT

LOT 601 BROCKMAN STREET, GINGIN



PROJECT REF: 1821



Prepared for
Westerly Developments Pty Ltd
PO BOX 55
TWO ROCKS WA 6037

History and Status of this Document

Revision	Date issued	Prepared by	Reviewed by	Revision type
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1.0 Introduction

Dynamic Planning and Developments acts on behalf of Westerly Developments Pty Ltd, the prospective purchaser of a portion of Lot 601 Brockman Street, Gingin (herein referred to as the 'subject site').

This planning report has been prepared in support of an Application for Planning Approval for a multi-tenanted commercial development at the subject site. The planning report contains the following pertinent details of the proposal deemed to be relevant as part of considering the merits of the application:

- Details of the proposal;
- Detailed assessment of the proposal against the relevant planning provisions applicable under the Shire of Gingin Local Planning Scheme No. 9 (LPS No. 9) and any relevant State or Local Planning Policies; and
- Detailed justification of any variations sought.

In addition to this planning report, the following documentation has been provided in order to assist the Shire of Gingin in determining the proposed application:

- Certificate of Title pertaining to the site (**Appendix 1**);
- Relevant development plans (**Appendix 2**);
- Traffic Impact Assessment (**Appendix 3**);
- Waste Management Plan (**Appendix 4**);
- Site and Soil Evaluation (**Appendix 5**); and
- Civil and Hydraulic Design Plans (**Appendix 6**).

It will be demonstrated in subsequent sections of this submission that the proposed development is appropriate for approval.

LOT 601 BROCKMAN STREET, GINGIN / PAGE 4

2.0 Site Details

2.1 Legal Description

The subject site is legally described as:

Lot	Plan	Volume	Folio	Street Address
601	P38679	2565	945	Brockman Street

The area of the subject lot is 17.69 Ha with the proposed development located on the 'Town Centre' zoned portion of the subject site.

A copy of the Certificates of Title pertinent to the subject site is contained in **Appendix 1**.

2.2 Locational and Land Use Context

2.2.1 Regional and Local Context

The subject site is located within the Shire of Gingin municipal area and adjacent to the Shire's office.

The subject site is bound by Brockman Street and Weld Street, with the proposed development to be bordered by an adjoining residential subdivision to the north which is presently being implemented. Proposed access whilst the subdivision is being implemented will be from Weld Street with service access and connection back to Brockman Street via Lily King Place.

Figures 1 and 2 depicts the subject site in its regional and local context, respectively.

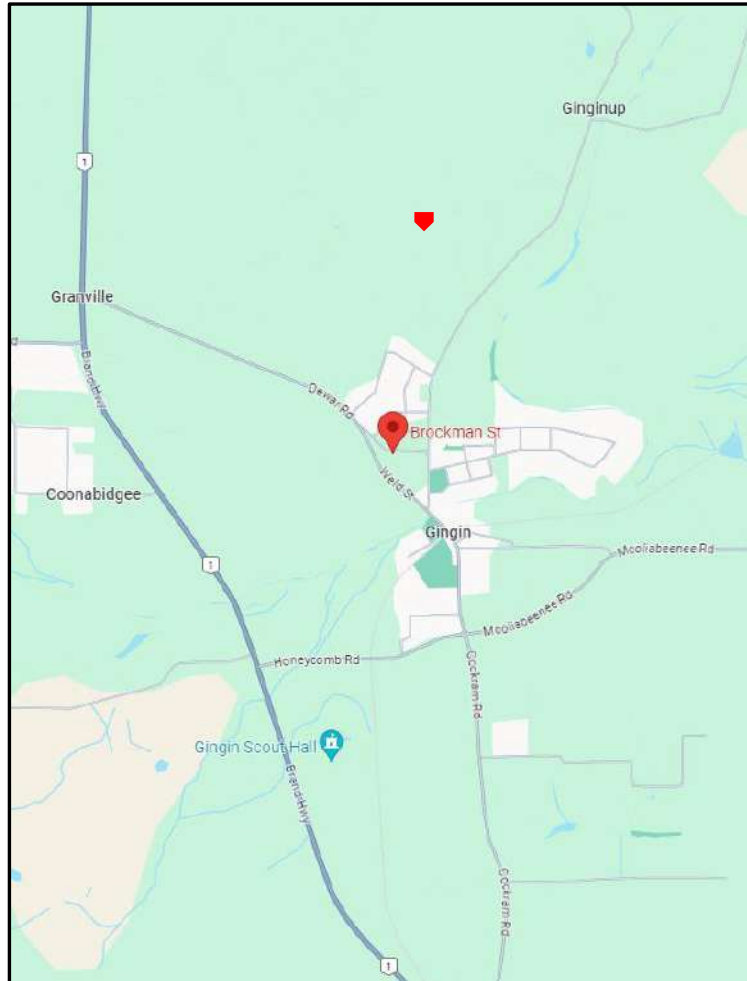


Figure 1 - Regional Context



Figure 2 - Local Context

3.0 Background

The subject site has recently received subdivision approval from the WAPC to create 99 residential lots as well as a lot proposed for a town centre commercial development, consistent with the existing zoning for the site. The proposed development will be located on the 'Town Centre' zoned lot and intends to deliver a commercial development consistent with the zone objectives.

A considerable amount of work went into delivering the proposed subdivision which included a detailed site and soil analysis and a stormwater management strategy to demonstrate the site's capability to accommodate residential development. The proposed development, being for commercial uses, builds on this earlier work and available information to ensure it is able to fit within the broader servicing strategy for the site.

The proposed subdivision will include the construction of a permeable road network that includes an 18m wide road that frames the proposed 'Town Centre' zoned lot which will eventually provide access to the Town Centre. In the interim, access to the proposed development will be proposed from Weld Street.

A copy of the approved subdivision is noted in Figure 3 with the approved 'Town Centre' zoned lot the subject of this application highlighted.



Figure 3 – Approved subdivision layout

4.0 Planning Framework

4.1 Shire of Gingin Local Planning Scheme No. 9 (LPS No. 9)

The subject site is zoned 'Town Centre' under the provisions of LPS No. 9. A detailed assessment of the proposal against the provisions LPS No. 9, and any relevant Local Planning Policies, is further covered under section 6.0 of this planning report.

Figure 4 illustrates the subject site in the context of the land use zoning applicable under the provisions of LPS No. 9.

4.2 Land Uses Permissibility

The permissibility of land uses in the 'Town Centre' zone under LPS No. 9 scheme area is determined by cross-reference between the lists of classes on the left-hand side of the zoning table (Table 1) and the list of zones at the top of the zoning table.

As the proposed development is a multi-tenanted commercial development, the following land uses are being sought as part of the proposed application:

- Shop;
- Fast Food Outlet; and
- Restaurant.

The appropriateness and permissibility of land uses has been assessed in detail in section 6.0 of the report as part of the detailed assessment against the provisions of the LPS No. 9.

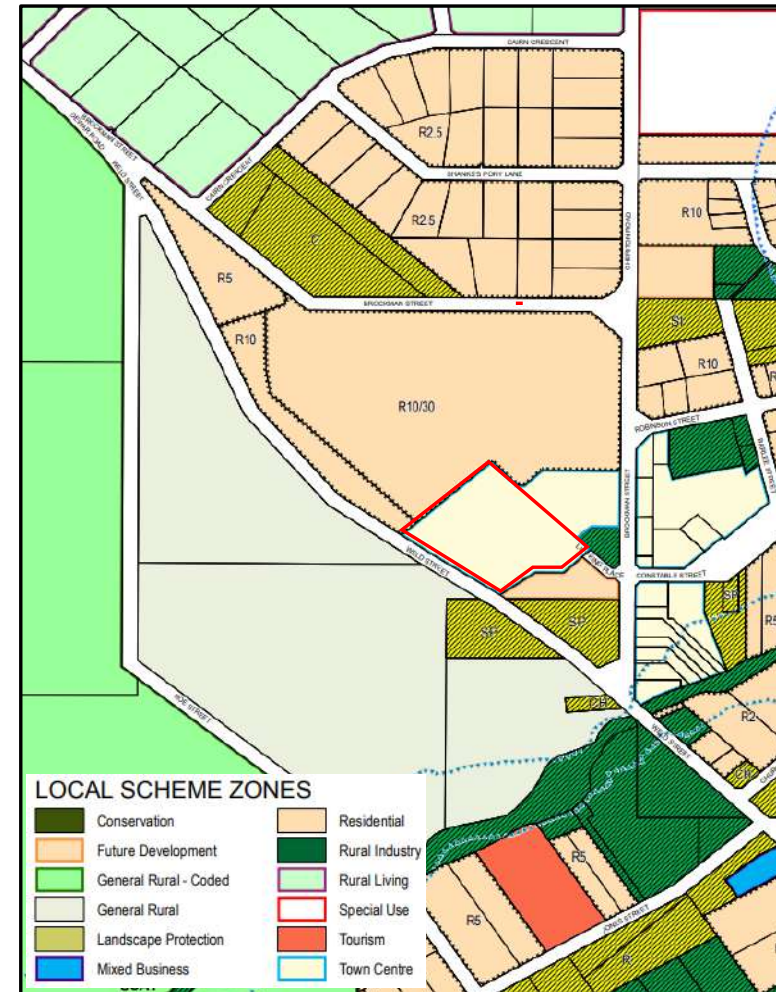


Figure 4 – LPS No. 9 Zoning Map

5.0 Proposal Details

The proposed development is a multi-tenanted commercial development that includes three (3) separate land uses. These land uses include:

- 'Shop' – to accommodate a supermarket, hairdresser, butcher, liquor store and post office.
- 'Fast Food Outlet' – to accommodate a takeaway pizza business.
- 'Restaurant' – to accommodate a proposed Café.

Ultimately, the proposed development will only occupy a portion of the proposed 'Town Centre' zoned lot with the balance of the site to be developed at a later date as the success of the first stage is realised. In this regard, the proposed development includes an accessway that frames the development in order to ensure subsequent stages are able to access an existing constructed accessway.

5.1 Development Details

Specific details pertaining to the proposed development include:

- The development will accommodate one pad site which will enable seven (7) different businesses to occupy the subject site. The pad site and proposed finished floor levels will be very similar in nature with site works to occur around the pad site that negotiates the sloping topography.
- The proposed development will incorporate a total of 74 car parking spaces with three designated trailer / caravan parking bays taking the total parking provision to 77 bays.

- A breakdown of the total floor space and tenancies includes:
 - Supermarket – 1,200sqm
 - Café – 150sqm
 - Hairdresser – 80sqm
 - Pizza – 90sqm
 - Butcher – 100sqm
 - Liquor Store – 250sqm
 - Post Office – 214sqm.
- The built form proposed at the development is single storey in nature with natural building colours and materials being used to ensure consistency with the landscape and a rural vernacular.
- Landscape planters will frame the development to provide a break between the pedestrian and vehicle areas and soften the built form.
- Servicing areas will be to the rear of the development with service access to come from Lily King Place and exit onto Weld Street. The proposed butcher and supermarket will have separate designated service access points with the remainder of the development to share a service access between the Post Office and Liquor Store and/or a designated car bay at the front of the café/hairdresser.
- The proposed development will be serviced by an ATU system to manage waste with a designated area for leach drains and disposal to the east of the site.
- Stormwater drainage at the site will be a mix of soak wells at the front of the site and the rear of the site draining back to a designated low depth drainage basin with chain link fencing around.



Figure 5 – Proposed Site Plan

6.0 Assessment

The statutory provisions applicable to the subject site require assessment of the proposal to be undertaken against:

- Shire of Gingin Local Planning Scheme No. 9 (LPS No. 9).
- Local Planning Policy – Advertising Signs.

The below sections will address the relevant land use permissibility and development requirements outlined in the abovementioned statutory planning documents.

6.1 Land Use Permissibility

The proposed development includes three (3) separate land uses being 'Shop', 'Fast Food Outlet' and 'Restaurant'. The relevant land use definitions for these uses have been summarised below:

Shop – means premises used to sell goods by retail, hire goods, or provide services of a personal nature (including hairdresser or beauty therapist) but does not include a showroom or fast-food outlet.

Fast Food Outlet – means premises used for the preparation, sale and serving of food to customers in a form ready to be eaten without further preparation, primarily off the premises, but does not include a lunch bar.

Restaurant – means premises where the predominant use is the sale and consumption of food and drinks on the premises and where seating is provided for patrons, and includes a restaurant licensed under the Liquor Licensing Act 1988.

The relevant land use permissibility for these uses are detailed within Table 1 of LPS No. 9. In accordance with these provisions, the proposed land uses attract the following permissibility:

- Shop – P
- Fast Food Outlet – D
- Restaurant – P

As noted above, all of the proposed uses are capable of approval pending compliance with the applicable development requirements which has been addressed in Section 6.2 below.

6.2 Development Requirements

The relevant development requirements pertaining to the proposed development are outlined in:

- Shire of Gingin Local Planning Scheme No. 9 (LPS No. 9).
- Local Planning Policy – Advertising Signs.

An assessment of the proposed developments compliance with the abovementioned documents has been provided in the below tables.

Shire of Gingin Local Planning Scheme No. 9

Table 1 below provides an assessment of the proposal against the relevant requirements outlined in LPS No. 9. Where there are variations to the applicable requirements, these have been noted in red.

Local Planning Scheme No. 9	Proposed
Town Centre Zone Objectives	
Promote, facilitate and strengthen the town centre zone as the principal focus of the district in terms of shopping, professional, administrative, cultural, entertainment and other business activities	The proposed development is central to the town centre and will develop a focal point for residents to meet their local convenience needs.
Accommodate a diversity of commercial, cultural and residential facilities	The proposed development will provide a mix of commercial uses to meet the needs of local residents whilst the surrounding residential subdivision will contribute to the local population/residential facilities that are required.
Encourage the integration of existing and proposed facilities within the zone so as to promote ease of pedestrian movement and the sharing of infrastructure, as well as to retain the opportunity for any future expansion of the area	The proposed development will provide a pedestrian connection back to Lily King Place where existing pedestrian infrastructure is located. Further, the design is such that it can be easily connected to subsequent stages of development with the broader 'Town Centre' zoned lot.
Provide for the efficient and safe movement and parking of vehicles	The proposed access and parking arrangement has been examined in detail by a traffic engineer who has determined that the arrangements are safe and will function efficiently.
Ensure that buildings, ancillary structures and advertising are of high quality and contribute to the uniqueness of the townscape	The proposed design of the building is high quality and will rely on durable materials that will stand the test of time. The proposed materials will ensure the development fits within the landscape and has a 'country' feel.
General Development Standards	
Site Requirements <ul style="list-style-type: none"> • Front Setback – nil • Side Setback – nil • Rear Setback – 6m • Maximum Plot Ratio – 1 • Maximum Site Coverage – 75% • Minimum Landscaping – 50% of all setback areas 	<ul style="list-style-type: none"> • Front setback 27m • Side setback greater than 8.99m. • Rear setback greater than 6m. • Plot ratio is less is 0.1 based on the site area of 22,700sqm. • Site cover is approximately 15%

Car Parking	
No land or buildings shall be developed unless provision is made for an area clear of the street for the purpose of loading or unloading goods or materials	Dedicated loading and unloading of vehicles is proposed to the rear of the proposed development.
The local government will seek to ensure that the majority of servicing vehicles will be able to leave and enter the street in a forward direction	All service vehicles will be able to enter and exit the street in a forward gear.
Parking, loading and unloading and access, complete with necessary drainage, signs and marking as required by the local government, shall be provided prior to any occupation of the development or at such time as may be agreed in writing between the local government and the developer	This can become a condition of approval with a line marking strategy already proposed by the traffic engineer.
External servicing areas shall be established and maintained to the satisfaction of the local government	This can become a condition of approval.
Car Parking Requirements <ul style="list-style-type: none"> • Shop – 1 bay per 20sqm of GLA • Restaurant – 1 bay per 4 persons 	<ul style="list-style-type: none"> • Shop (supermarket, hairdresser, butcher, liquor store and post office) – total GLA – 1,418sqm (excludes the supermarket back of house as this will not generate parking demand consistent with the 'Shop' parking requirement). • Restaurant (café and pizza) – approximate occupation at any one time of 36 patrons. • Total parking bays required – 80 • Total parking bays provided - 77
Justification	
<p>Whilst it is acknowledged that the proposed development results in a parking shortfall of three (3) bays, the provision of parking is considered to meet the demands of the development as:</p> <ol style="list-style-type: none"> 1. The scheme parking requirements do not consider the potential of cross trade i.e. customers frequenting more than one tenancy at the development. For example, we would consider that there would be a number of customers that may do their weekly shop at the supermarket and visit the post office, butcher and liquor store in one trip which indicates a high degree of parking reciprocity which the scheme requirements do not contemplate. In this regard, the scheme requirements are an overestimation of the required parking at the development. 2. Being located in a town centre and having provision for bicycle parking, it is considered that a number of patrons may walk or cycle to the site which would in turn reduce the car parking demand at the site. 	
Zone Specific Development Standards – Town Centre	
Development within the Town Centre zone shall have regard for the particular character, townscape and sense of place of the local area	As previously noted the design is broadly consistent with the landscape character of the area and rural location.

Where development or re-development of properties in the Town Centre zone is envisaged, the incorporation of residential uses up to a density of R40 will be considered, to create greater diversity of use, increased security and to stimulate additional life and vitality within the centre of the town. Any such residential development shall comply with the design elements for multiple dwellings in the Residential Design Codes	No residential development is proposed as part of the development.
Where a mixed-use development is proposed, the residential use shall be confined to an upper storey	No mixed use development is proposed as part fo the development.
Each façade or wall of a building facing any street or public place shall be constructed of brick, stone, concrete or glass or combinations of two or more of these materials or similar material as approved by local government to the wall height of the building or to a minimum height of 3 metres.	The proposed development incorporates stone cladding, glazing and concrete to a height that exceeds 3m.
All developments shall provide at least one refuse storage area readily accessible to service vehicles and screened from view from a public street by a close fence, wall or screen landscaping no less than 1.8 metres in height.	A designated bin store has been provided to the rear of the development and as such is screened from the view of the public.
A person shall not use land for open storage purposes unless it is screened from public view by a fence or wall to the satisfaction of the local government.	No open storage is proposed.

Table 1 – LPS No. 9 Assessment

Local Planning Policy – Advertising Signs

Table 2 below provides an assessment of the proposal against the relevant requirements outlined in Local Planning Policy – Advertising Signs Where there are variations to the applicable requirements, these have been noted in **red**.

LPP – Advertising Signs Requirements	Proposed
4.1 General Requirements	
Sign types that are not listed or defined under the definitions, or not otherwise mentioned in this policy, shall be deemed 'Not Permitted', unless otherwise accepted by the Shire for consideration.	All signs proposed are permitted.
Advertising signs that do not meet the standard requirements of this Policy are deemed no exempt from development approval and will require the lodgement of an application to the shire for consideration of approval.	The proposed signage is not exempt as it exceeds 8sqm in area.
A signage strategy is required by the Shire for new developments proposing multiple tenancies. The strategy shall outline the type, size, and location of all proposed advertising signs.	The proposed elevation plans are considered to be a signage strategy for the development as it will provide a consistent signage design and location that fits within the proposed architecture.
An approval is required for a sign on a designated heritage site, other than an election, real estate or temporary sign.	The subject site is not a designated heritage site.
An approval is required from Main Roads WA for a sign that is installed within the State Road Reserve or is beyond the State Road Reserve but is intended to be viewed by passing traffic on a State Road. Signage should be compliant with the current Main Roads Policy and Application Guidelines for Advertising Signs Within and Beyond State Road Reserves.	Main Roads will be consulted through the advertising process of the proposed DA.
The advertising signs shall achieve the following design and location criteria: <ul style="list-style-type: none"> • Be of a minor nature and subservient to the scale of a building and/or place in which they are installed. • Limited to one sign type per frontage. • Not cause visual clutter of the streetscape, building or place. • Not display offensive wording or images. • Only display services offered for sale and/or produced on the land. • Not obscure architectural attributes of a building. 	<ul style="list-style-type: none"> • The proposed signage fits within the proposed architecture and is of an appropriate scale. • Multiple signs are proposed on the Weld Street frontage but there is only one sign per tenancy proposed along this frontage. • The proposed signage is uniform in size and consistent in location and design across the development which does not result in visual clutter. • No offensive wording or images are proposed. • The signage is only advertising products of services available at the site. • The signage fits within the architectural attributes of the building.

<ul style="list-style-type: none"> • Not cause a nuisance, by way of light spillage, to adjoining or nearby properties. • Not flash, pulsate or chase when illuminated. • Not contain colours that interfere with or are likely to be confused with, traffic control signals whether illuminated or not. • Not obstruct visual sightlines or movement for motorists and pedestrians. • Not obstruct views of significance. • Not be placed on any natural feature, including a rock or tree, on a throughfare, or on any bridge or the structural approaches to a bridge. 	<ul style="list-style-type: none"> • The signage is not illuminated and as such will not cause light spillage. • The signage is not illuminated. • The signage is consistent in colour with the proposed development and as such will not conflict with traffic signals. • The signage is setback from the street and as such will not obstructive vehicle or pedestrian sightlines. • No views of significance will be obstructed. • Signage is placed on the building only.
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Table 2 – LPP Advertising Signs Assessment

7.0 Conclusion

Based on the contents of this planning report, it is clear that the project proposal is appropriate for approval as it delivers a development opportunity for the Shire of Gingin, its residents and working population that will improve the local population's access to service and amenities.

As considered in detail within the contents of the planning report, the proposal will deliver a functional built form outcome that aligns with the objectives of the 'Town Centre' zone.

As detailed in the assessment, the proposal has demonstrated that it is generally compliant with the relevant development requirements with any variations appropriately justified. On this basis, this proposed development warrants support from the Shire of Gingin

Appendices



GINGIN COMMERCIAL - TOWN CENTRE DEVELOPMENT GINGIN, WA

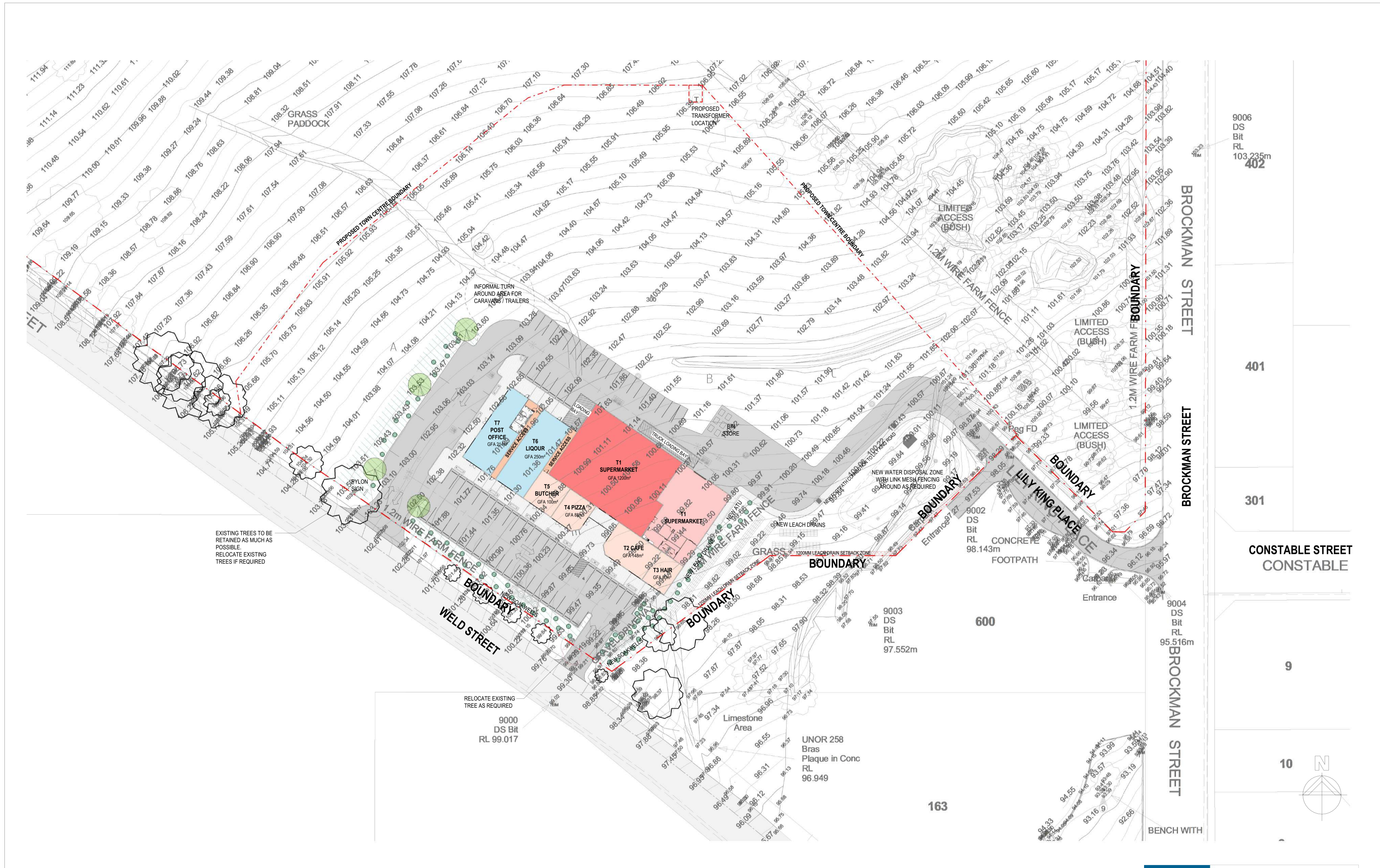
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DRAWING NUMBER	SHEET NAME	REVISION
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DA01	EXISTING SITE AERIAL PLAN	C
DA02	EXISTING SITE PLAN	C
DA03	PROPOSED SITE PLAN	C
DA04	PROPOSED FLOOR PLAN	C
DA05	PROPOSED ELEVATIONS 1 OF 2	C
DA06	PROPOSED ELEVATIONS 2 OF 2	C
DA07	MATERIALITY INTENT ELEVATION	C
DA08	DESIGN INSPIRATION PRECEDENTS	C
DA09	SECTIONS	C
DA10	VEHICLE CIRCULATION PLAN	C
DA11	PROPOSED LANDSCAPING PLAN	C
DA12	3D CONCEPT RENDERERS 1 OF 2	C
DA13	3D CONCEPT RENDERERS 2 OF 2	C
DA14	OVERALL TOWN CENTRE SCHEME	B

COVER SHEET

DA00

PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
REVISION C PROJECT NO. 64.22 DATE 07.02.2024

Hodge Collard Preston
ARCHITECTS

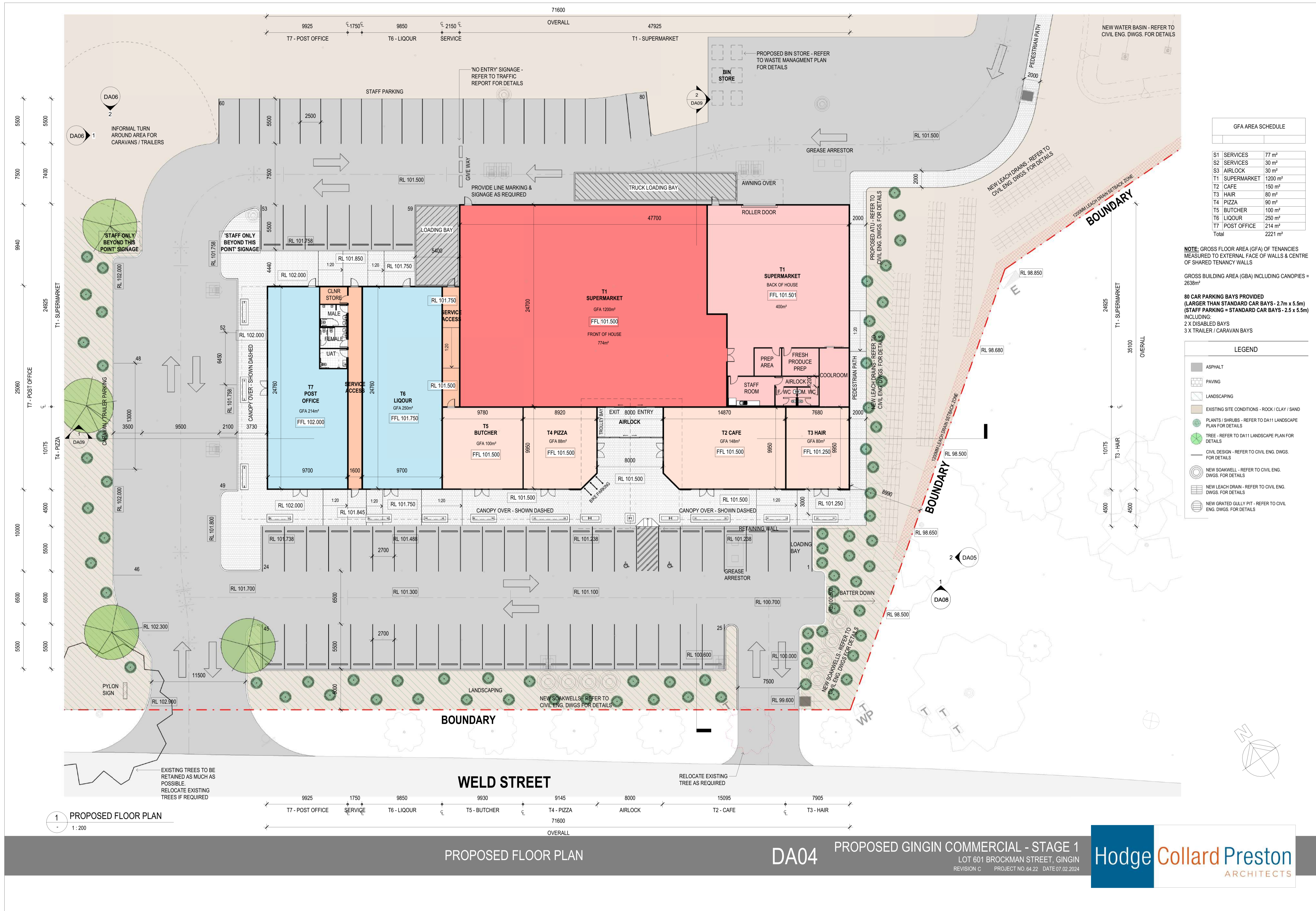


PROPOSED SITE PLAN

DA03

PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
REVISION C PROJECT NO. 64.22 DATE 07.02.2024

Hodge Collard Preston
ARCHITECTS



PROPOSED FLOOR PLAN

DA04

PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
REVISION C PROJECT NO. 64.22 DATE 07.02.2024

Hodge Collard Preston
ARCHITECTS



1 ELEVATION 1 (FRONT)
1:100

MATERIALITY LEGEND	
	LINEAR WEATHERBOARD 'GREY PEBBLE'
	PRECAST CONCRETE PAINTED 'TERRACE WHITE'
	STONE CLAD WALL
	PAINT FINISH 'MONUMENT'

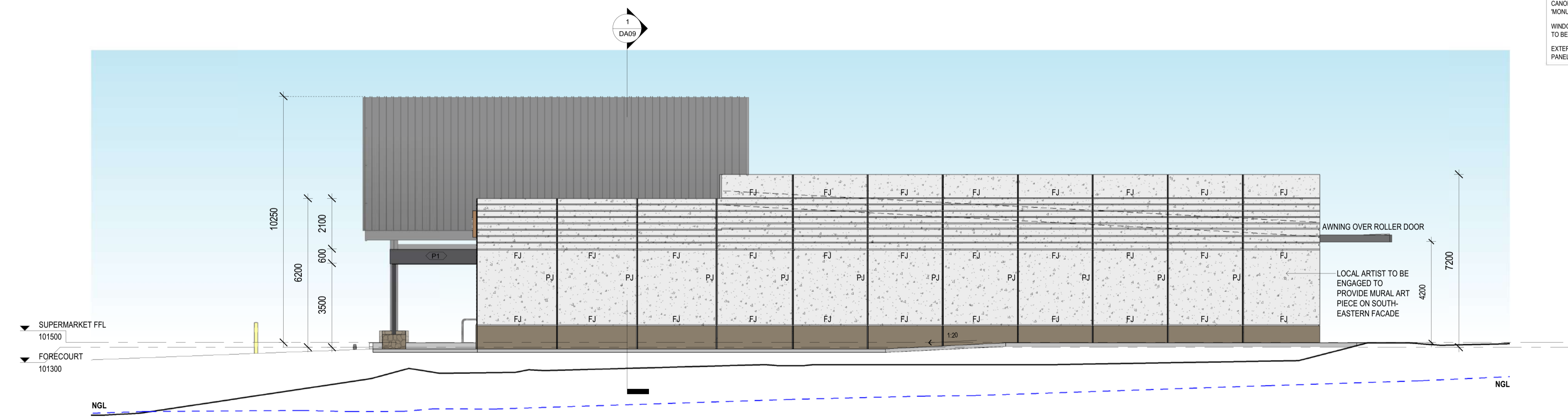
ROLLER DOOR TO BE POWDERCOATED
DULUX LUNAR GREY

CANOPY'S TO BE CLAD WITH GFC AND PAINTED DULUX 'MONUMENT' (POWDERCOAT FOR EXPOSED STEEL)

WINDOWS TO BE GREY TINTED GLASS. FRAMES TO BE ALUMINIUM POWDERCOATED 'MONUMENT'

EXTERNAL CONSTRUCTION TO BE PRECAST CONCRETE PANELS

LEGEND	
	NATURAL GROUND LEVEL (NGL)
	PJ PANEL JOINT
	FJ FEATURE JOINT



2 ELEVATION 2
1:100

PROPOSED ELEVATIONS 1 OF 2

DA05

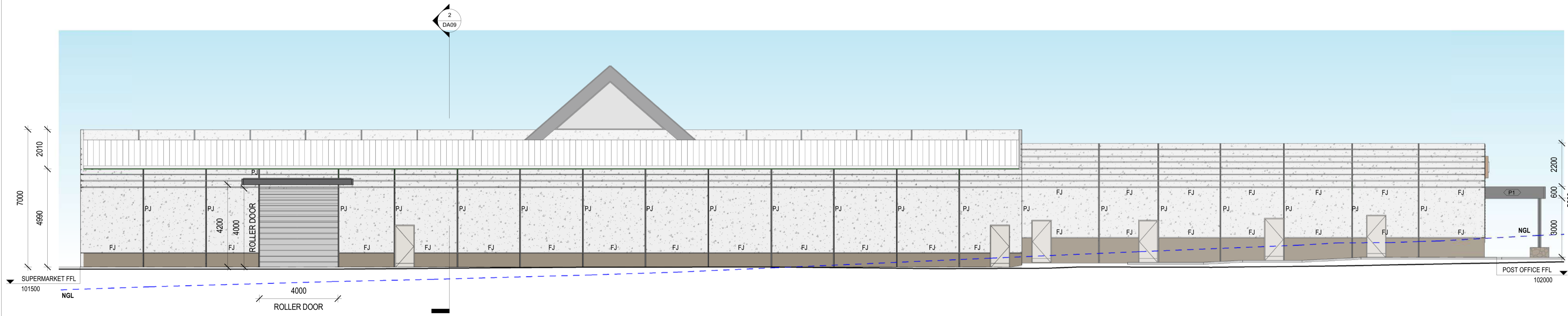
PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
REVISION C PROJECT NO. 64.22 DATE 07.02.2024

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ARCHITECTS



1 ELEVATION 3
1:100

MATERIALITY LEGEND	
	LINEAR WEATHERBOARD 'GREY PEBBLE'
	PRECAST CONCRETE PAINTED 'TERRACE WHITE'
	STONE CLAD WALL
	PAINT FINISH 'MONUMENT'
<small>ROLLER DOOR TO BE POWDERCOATED DULUX LUNAR GREY CANOPY'S TO BE CLAD WITH GFC AND PAINTED DULUX 'MONUMENT' (POWDERCOAT FOR EXPOSED STEEL) WINDOWS TO BE GREY TINTED GLASS. FRAMES TO BE ALUMINIUM POWDERCOATED 'MONUMENT' EXTERNAL CONSTRUCTION TO BE PRECAST CONCRETE PANELS</small>	
LEGEND	
	NATURAL GROUND LEVEL (NGL)
	PJ PANEL JOINT
	FJ FEATURE JOINT

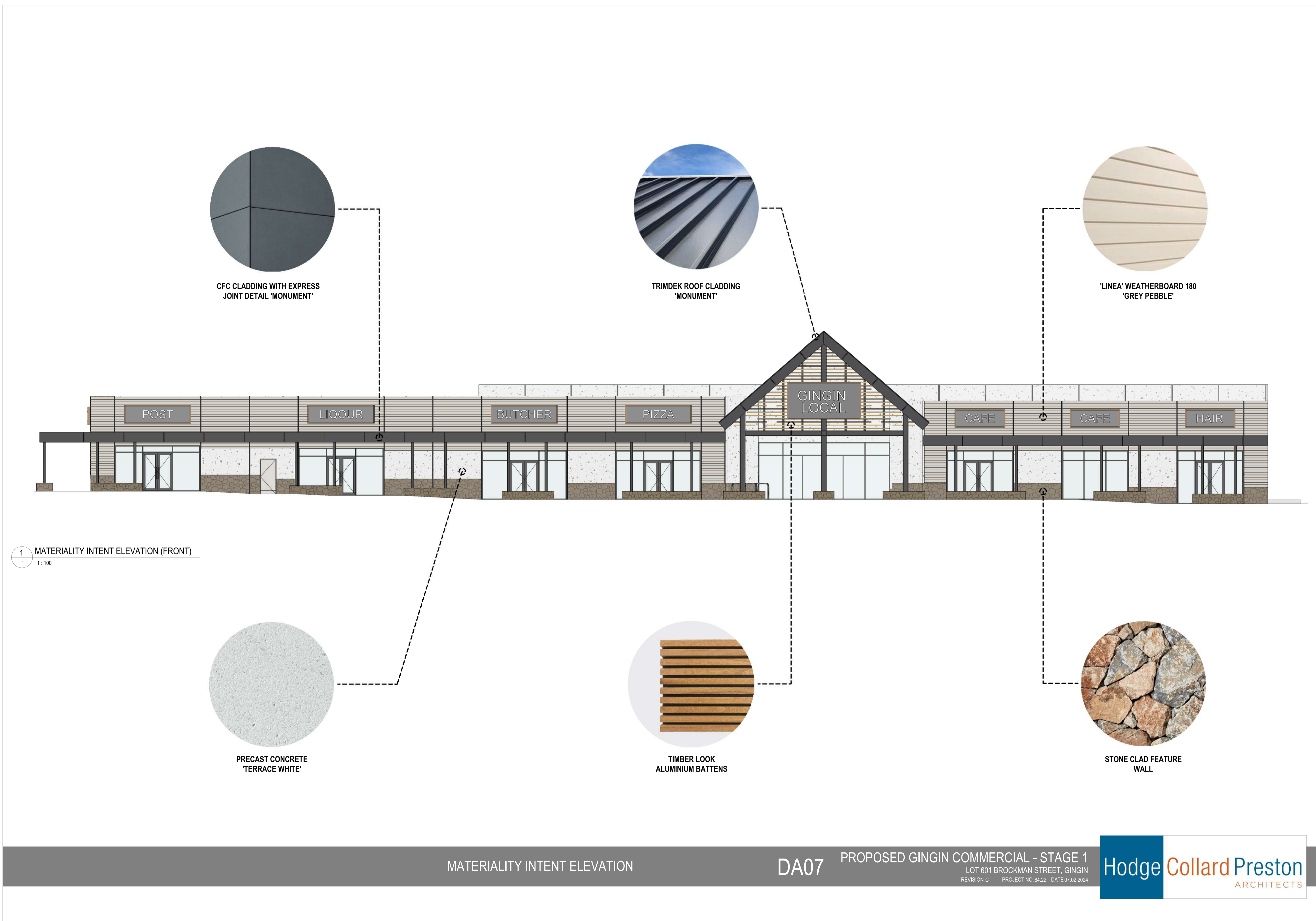


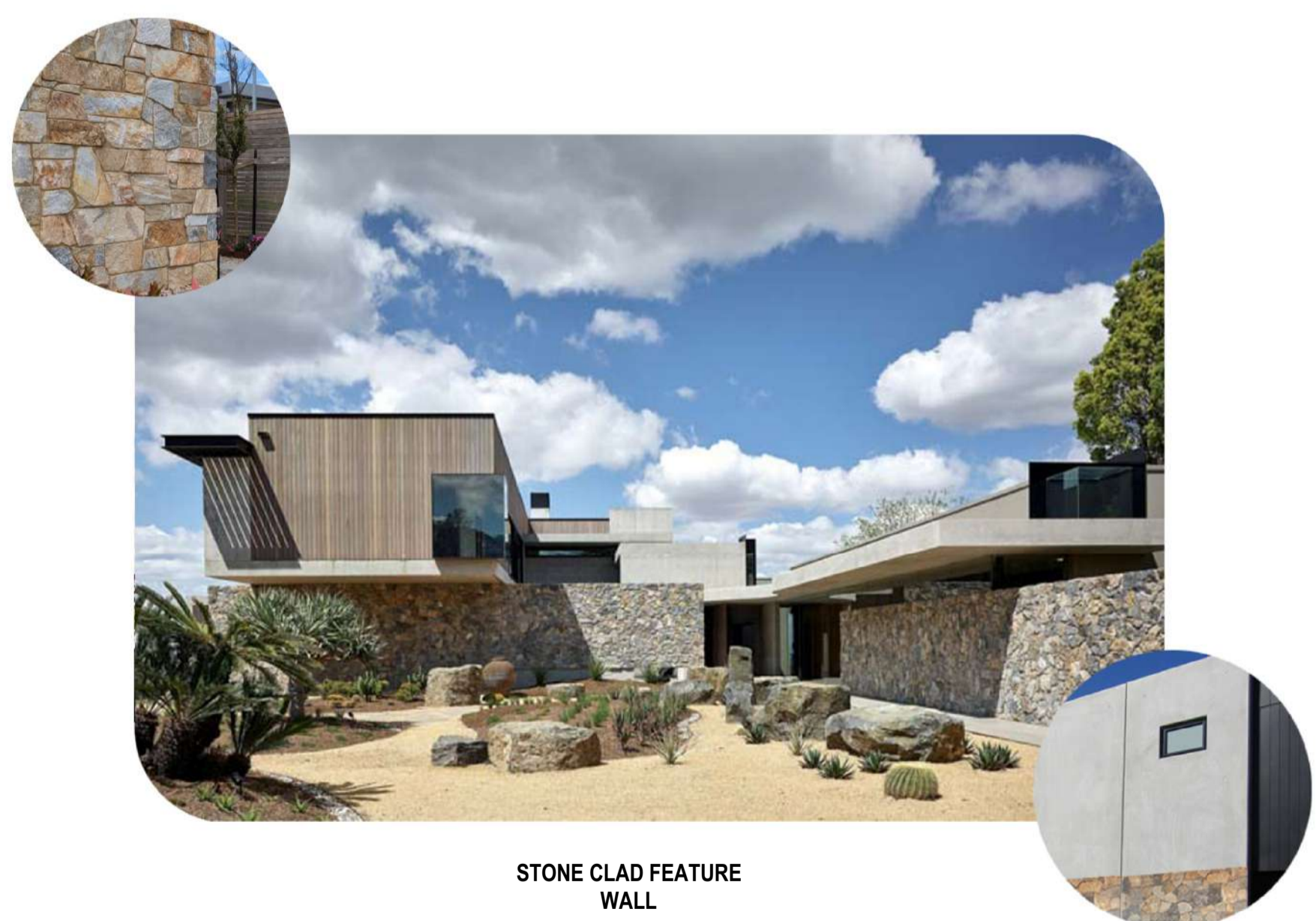
PROPOSED ELEVATIONS 2 OF 2

DA06

PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
REVISION C PROJECT NO. 64.22 DATE 07.02.2024

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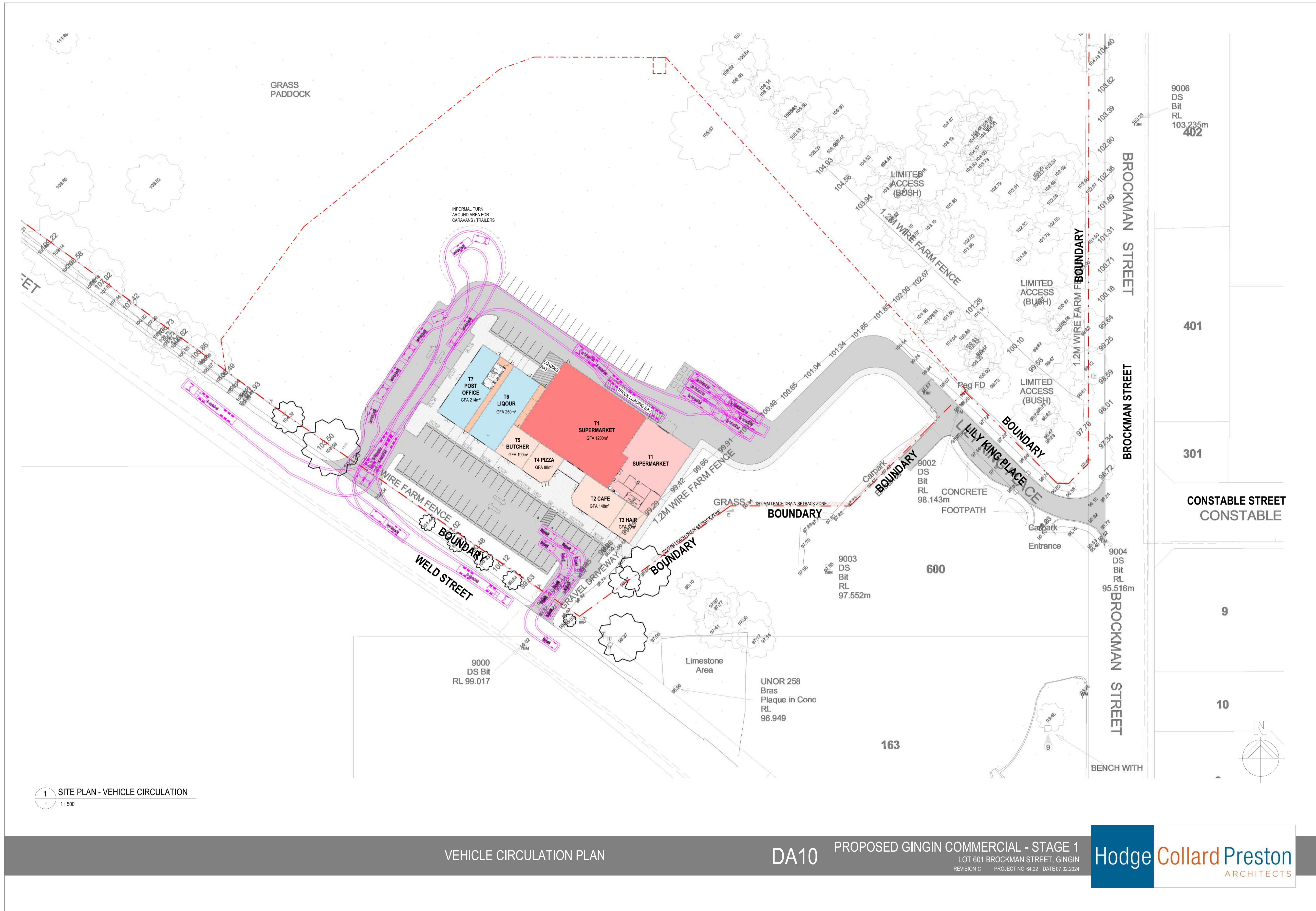


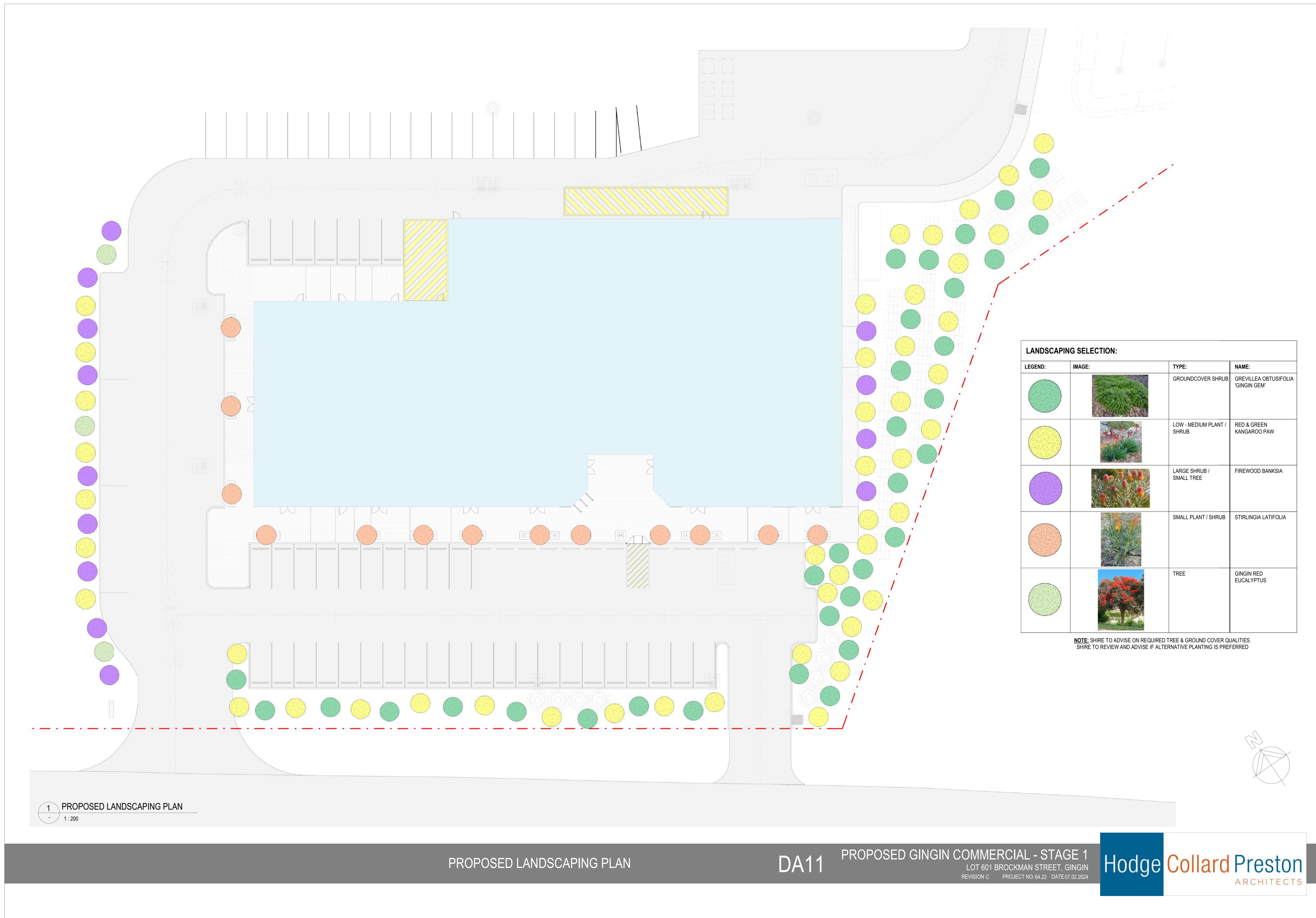
DESIGN INSPIRATION PRECEDENTS

DA08

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LOT 601 BROCKMAN STREET, GINGIN
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PROPOSED LANDSCAPING PLAN

DA11

PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
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3D CONCEPT RENDERS 1 OF 2

DA12

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REVISION C PROJECT NO. 64.22 DATE 07.02.2024

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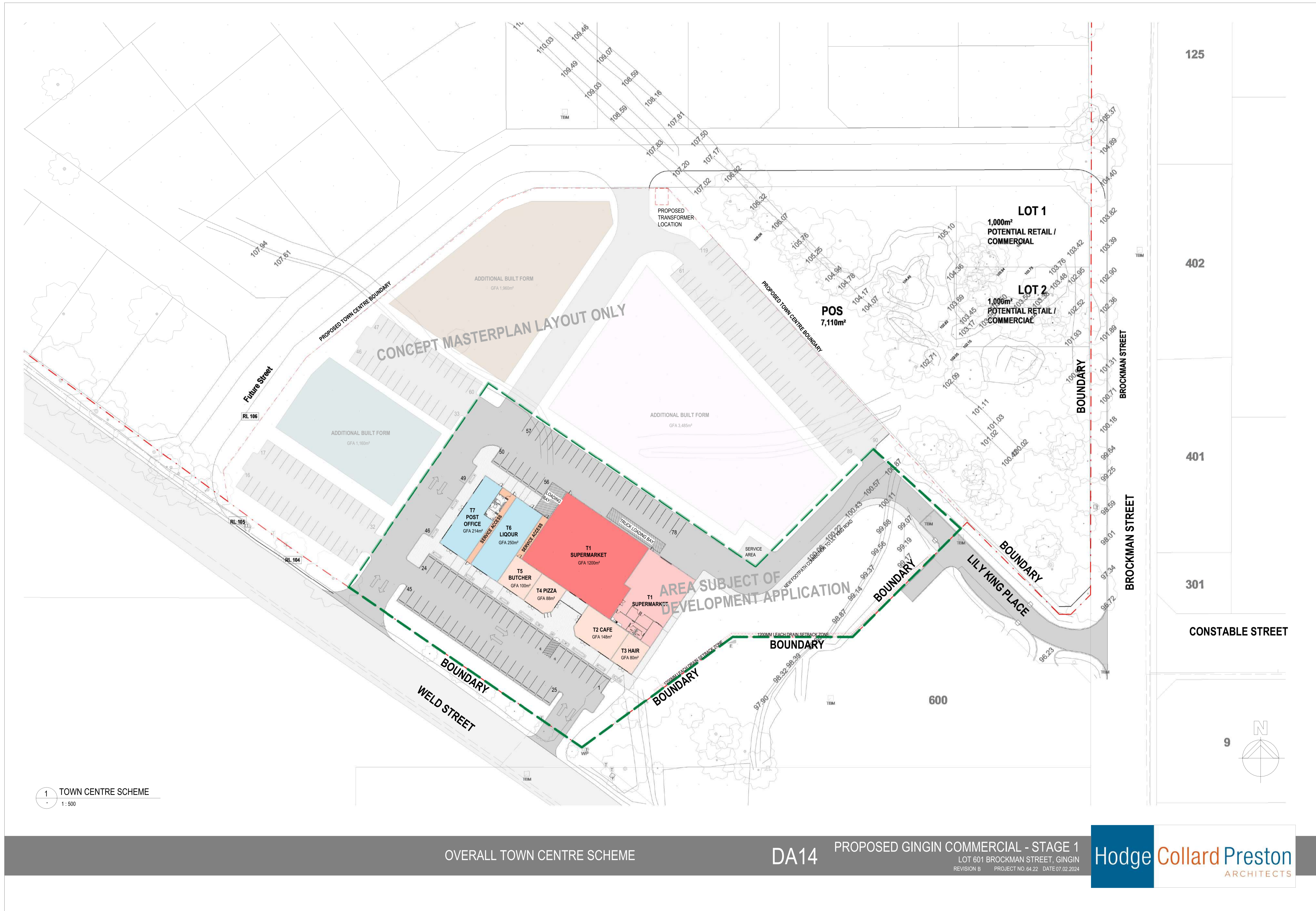


3D CONCEPT RENDERS 2 OF 2

DA13

PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
REVISION C PROJECT NO. 64.22 DATE 07.02.2024

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1 TOWN CENTRE SCHEME
1:500

OVERALL TOWN CENTRE SCHEME

DA14

PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 601 BROCKMAN STREET, GINGIN
REVISION B PROJECT NO. 64.22 DATE 07.02.2024

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John Young

**Gingin
Local Centre**

Proposed Development of
Lot 601 Brockman Street, Gingin

Shire of Gingin

Project No. 2537-01

October 2023

DRAWING LIST

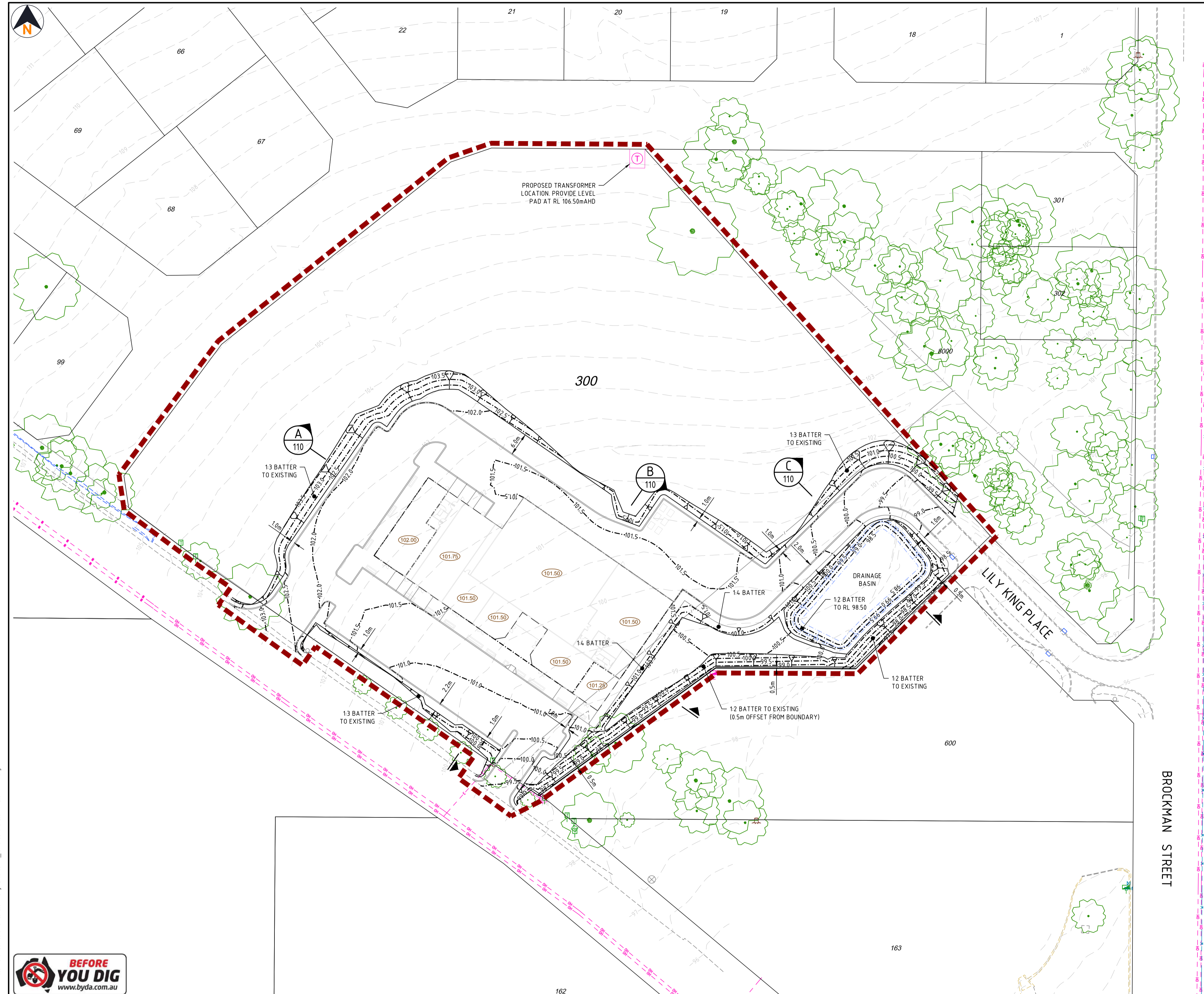
CIVIL DESIGN DRAWINGS

DRAWING NO.	TITLE
2537-01-000	COVER SHEET
2537-01-100	EARTHWORKS PLAN
2537-01-110	EARTHWORKS SECTIONS
2537-01-300	ROADS AND DRAINAGE PLAN
2537-01-310	ROAD LONGITUDINAL SECTIONS
2537-01-320	CIVIL GRADING PLAN
2537-01-330	SIGNAGE AND LINEMARKING PLAN

STANDARD DRAWINGS

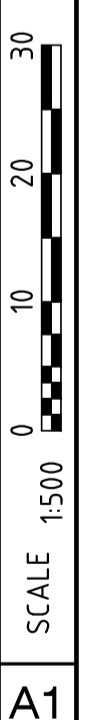
DRAWING NO.	TITLE
2537-STD-R1	ROADWORKS DETAILS SHEET 1
2537-STD-D1	DRAINAGE DETAILS SHEET 1
2537-STD-D2	DRAINAGE DETAILS SHEET 2





- NOTES**
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE CONTRACT DRAWINGS AND SPECIFICATION.
 - ORIGINAL SURVEY CONTOURS PROVIDED BY MNG.
 - ALL FINISHED LEVELS ARE IN METRES TO AHD.
 - HORIZONTAL DATUM IS PCG2020.
 - ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS ON SITE.
 - PRIOR TO CUTTING OR FILLING, THE SITE AREAS SHALL BE CLEARED AND TOPSOIL MANAGED IN ACCORDANCE WITH THE FOLLOWING:
 - EXTENT OF CLEARING TO BE LIMITED TO THE BOUNDARY UNLESS AGREED WITH THE SUPERINTENDENT.
 - VEGETATION WHERE NOTED FOR PROTECTION SHALL BE PROTECTED PRIOR TO CLEARING SURROUNDING AREA. THE CONTRACTOR TO PROTECT THE "VEGETATION PROTECTION AREAS" FROM ANY DAMAGE.
 - PROPOSED CLEARING AREAS TO BE FLAGGED TO ENABLE FAUNA SURVEY TO BE UNDERTAKEN AHEAD OF CLEARING WORKS COMMENCING.
 - ALL UNSUITABLE MATERIAL TO BE REMOVED BY THE CONTRACTOR TO APPROVED TIPPING SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL FEES TO BE PAID BY THE CONTRACTOR.
 - ALL CLEARED MATERIAL TO BE MULCHED AND STOCKPILED ON SITE AS DIRECTED BY THE SUPERINTENDENT.
 - TOPSOIL TO BE DIRECT BLENDED WITH CLEAN SAND FILL AS DIRECTED BY THE SUPERINTENDENT.
 - CLEARING OF VEGETATION SHALL NOT COMMENCE UNTIL THE SUPERINTENDENT HAS INSPECTED THE FLAGGED WORKS BOUNDARY AND FAUNA SURVEY HAS BEEN COMPLETED.
 - PLACING OF FILL SHALL NOT COMMENCE UNTIL THE SUPERINTENDENT HAS INSPECTED THE WORKS.
 - IN-SITU ROCK TO BE OVER EXCAVATED 600mm BELOW THE FINISHED SURFACE LEVEL. EXCAVATED ROCK CAN BE PLACED IN AREAS OF DEEP FILL TO WITHIN 600mm OF THE FINISHED SURFACE LEVEL. EXCESS ROCK TO BE STOCKPILED ON SITE AS DIRECTED BY THE SUPERINTENDENT.
 - ALL LEVELS SHOWN ARE FINISHED LEVELS AFTER FINAL WORKS. ALL ROADS SHALL BE BOXED AS SHOWN ON THE TYPICAL BOXOUT SECTION.
 - EARTHWORKS SHALL INTERFACE TO SURROUNDING EXISTING GROUND LEVELS WITH 1:3 BATTERS UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO FACILITATE INDEPENDENT CERTIFICATION BY PRINCIPALS GEOTECHNICAL ENGINEER THAT EARTHWORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATION.
 - ALL EARTHWORKED AREAS ARE TO BE STABILISED USING HYDROMULCH.
 - THE CONTRACTOR SHALL PROVIDE THE SUPERINTENDENT AN AS-CONSTRUCTED SURVEY OF FINISHED DEVELOPMENT LEVELS WITHIN THE EXTENT OF WORKS BOUNDARY. THE LEVELS SHOULD ACCURATELY DEFINE BATTERS, CHANGES IN GRADE AND RETAINING WALLS. THE AS-CONSTRUCTED SURVEY SHALL BE SUPPLIED IN DIGITAL FORMAT (CAD AND PDF).

- LEGEND**
- EXTENT OF EARTHWORKS
 - EXISTING SURFACE CONTOUR
 - PROPOSED SURFACE CONTOUR (0.5m)
 - PROPOSED FINISHED FLOOR LEVEL
 - PROPOSED RETAINING WALLS
 - FUTURE RETAINING WALLS (NOT INCLUDED IN THESE WORKS)
 - EXISTING RETAINING WALLS
 - EXISTING DRAINAGE
 - EXISTING WATER MAIN
 - EXISTING COMMUNICATIONS
 - EXISTING UNDERGROUND POWER HIGH VOLTAGE POWER
 - EXISTING OVERHEAD POWER
 - EXISTING TREE TO REMAIN



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 Plotted By: jyoung
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A	13.10.23	DWP	CCB	ISSUED FOR DA SUBMISSION					

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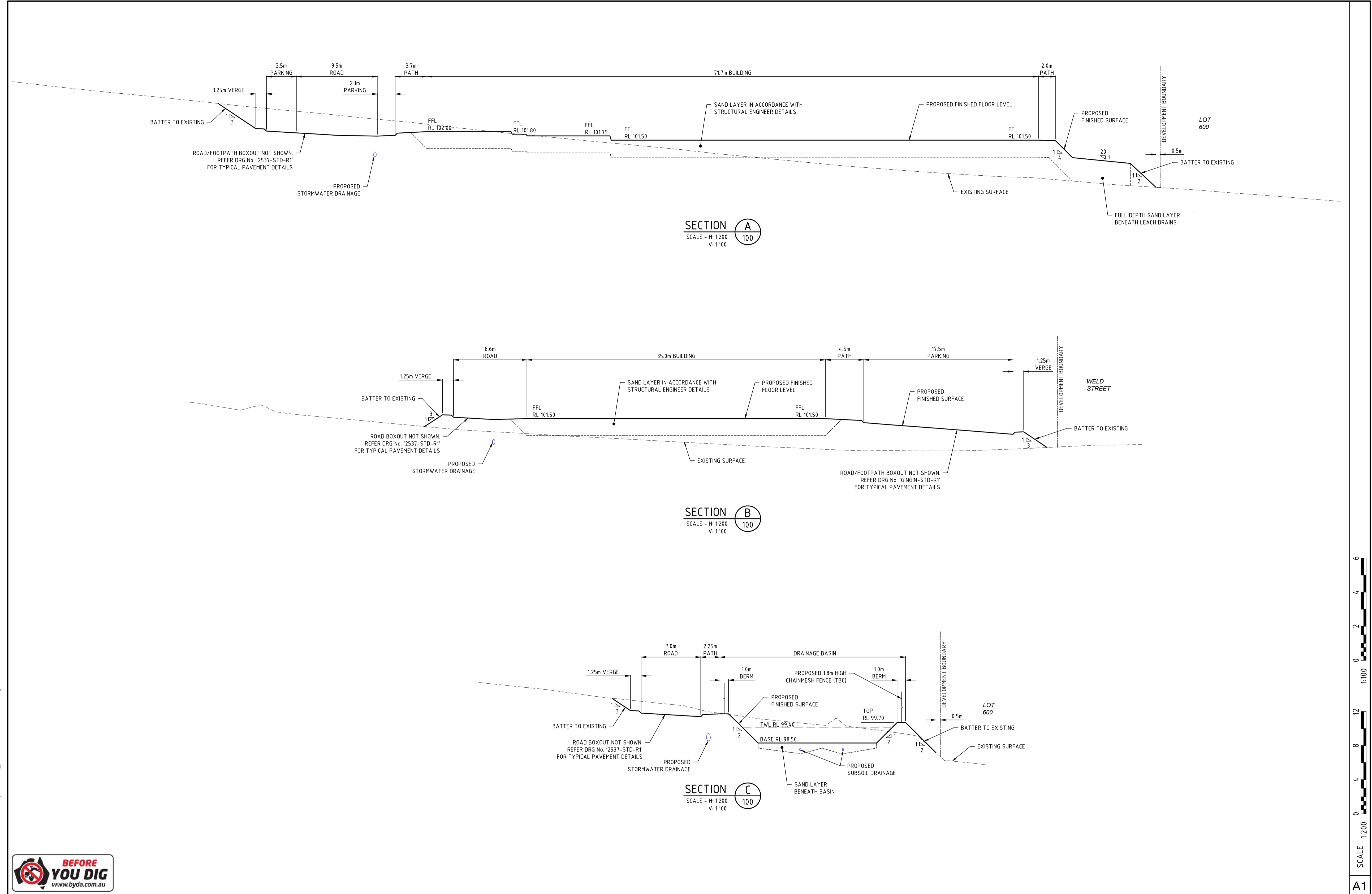
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DESIGNED	DWP	CHECKED	CCB
DRAWN	DWP	CHECKED	CCB
APPROVED	C.C. BITMEAD		
DATE	13.10.2023		

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PROJECT	GINGIN LOCAL CENTRE - STAGE 1		
TITLE	EARTHWORKS PLAN		
DRAWING NUMBER	2537-01-100		ISSUE
			A



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 Plotted By: dgrh

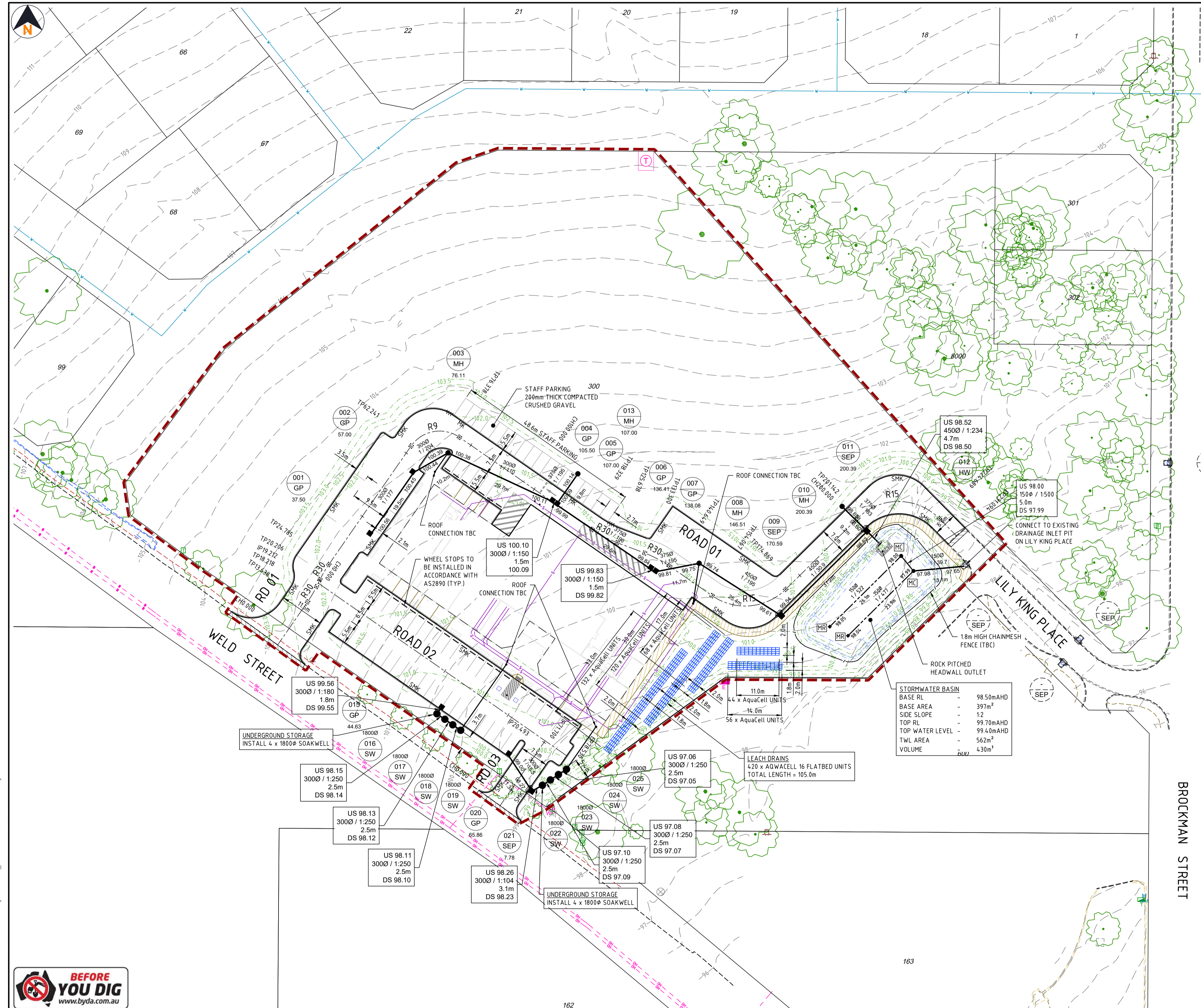


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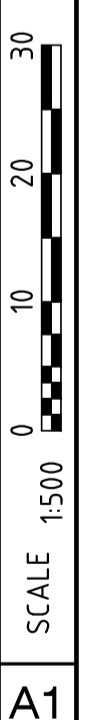
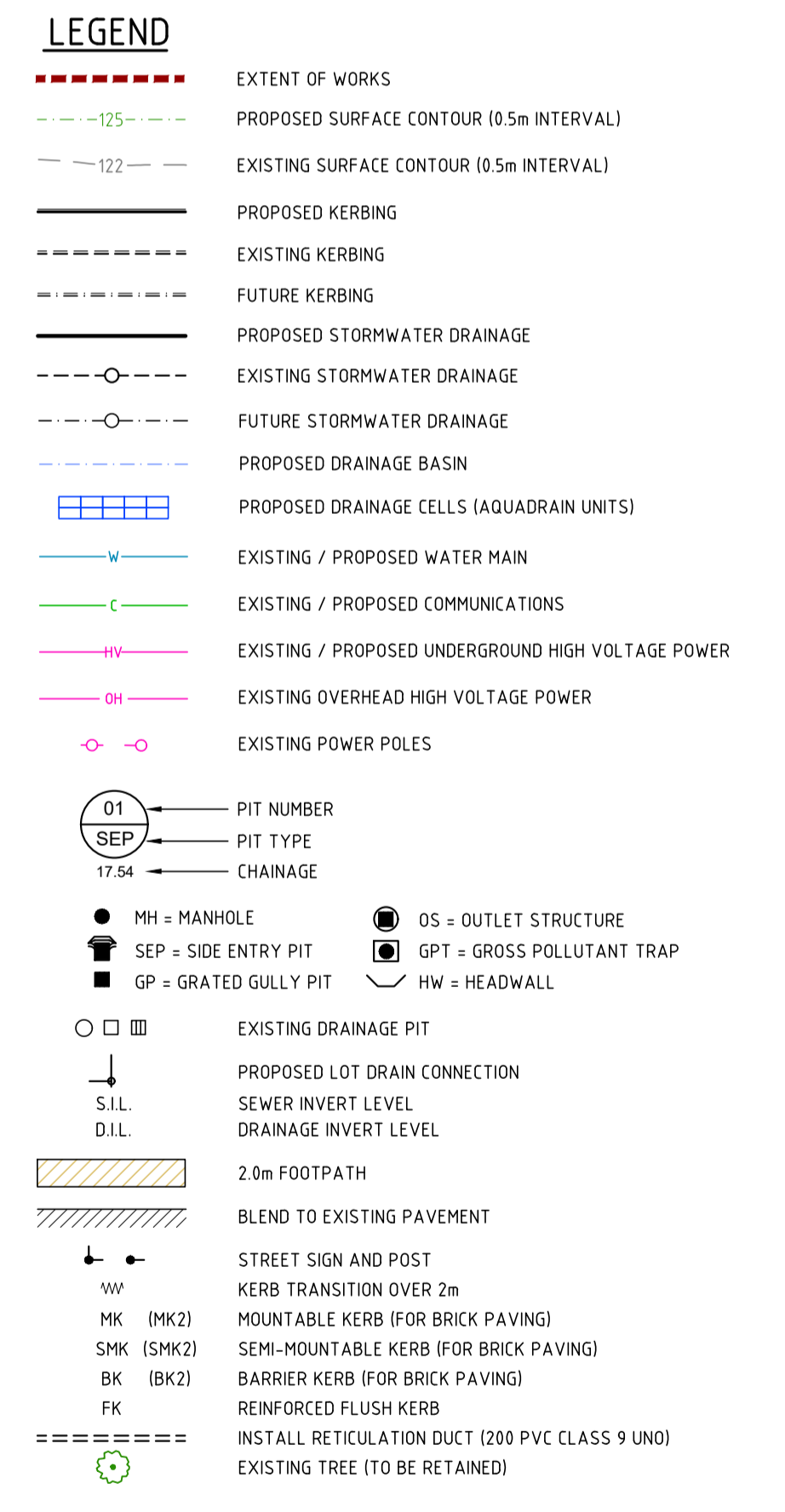
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				DATE 13.10.2023

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PROJECT GINGIN LOCAL CENTRE - STAGE 1	TITLE EARTHWORKS SECTIONS
DRAWING NUMBER 2537-01-110	ISSUE A



- ### NOTES
- GENERAL**
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE CONTRACT DRAWINGS AND SPECIFICATION.
 - THE CONSTRUCTION OF THE WORKS SHALL BE TO THE APPROVAL OF THE SHIRE OF GINGIN.
 - ALL PIPE SIZES ARE IN MILLIMETRES, DISTANCES AND LEVELS IN METRES (U.N.O.).
 - ALL LEVELS SHALL BE DETERMINED FROM BENCHMARKS ESTABLISHED BY THE PROJECT SURVEYOR.
 - ALL TRANSITIONS TO EXISTING WORK SHALL BE SMOOTH AND OF NEAT APPEARANCE.
 - THE CONTRACTOR SHALL REPORT ANY DISCREPANCY OR CLASH WITH OTHER SERVICES TO THE SUPERINTENDENT.
 - UNLESS INSTRUCTED OTHERWISE THE CONTRACTOR SHALL NOT DISTURB ANY EXISTING TREES OR VEGETATION.
 - IRRIGATION DUCTS TO BE CLASS 9 PVC PRESSURE PIPE (U.N.O.). DUCTS ARE TO EXTEND A MINIMUM 400mm FROM BACK OF KERB, PATHS AND WALLS. DUCTS TO HAVE A MINIMUM 600mm COVER. CONTRACTOR TO PROVIDE AN AS-CONSTRUCTED SURVEY OF ALL DUCTS.
 - MEDIANS ARE TO BE LEFT 100mm BELOW DESIGN FINISHED LEVEL TO ALLOW FOR FUTURE LANDSCAPING.
- ROADWORKS**
- ALL KERBING TO BE SEMI-MOUNTABLE TYPE UNLESS NOTED OTHERWISE.
 - TRANSITION BETWEEN DIFFERENT KERB TYPES SHALL BE MADE OVER A LENGTH OF 2m.
 - ROAD SURFACES TO BE 30mm THK AC10 BLACK ASPHALT (U.N.O.).
 - ASPHALT ON ALL ROUNDABOUTS AND OTHER HIGH TRAFFICABLE INTERSECTIONS AS INDICATED ON THE PLANS TO BE 'INTERSECTION MIX' ASPHALT.
- DRAINAGE**
- FOR DRAINAGE TYPICAL DETAILS REFER TO STANDARD DRAWING 'GINGIN-STD-D1'.
 - ALL TRENCHING, PIPE BEDDING AND BACKFILLING SHALL BE IN ACCORDANCE WITH AS3725.
 - ALL MANHOLES AND ENTRY PITS SHALL BE LOCATED AS SHOWN IRRESPECTIVE OF PIPE LENGTHS SHOWN ON THE DRAWINGS.
 - AT LOW POINTS THE ENTRY PITS SHALL BE LOCATED AT THE LOW POINT OF THE ROAD PAVEMENT.
 - THE MANHOLES AND ENTRY PIT LIDS SHALL BE SET TO SUIT THE VERGE SLOPE, NOMINALLY 2% UPWARDS FROM THE TOP OF BACK OF KERB.
 - ALL DRAINAGE PIT LIDS SHALL BE TRAFFICABLE.



A1

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DATE	13.10.2023		

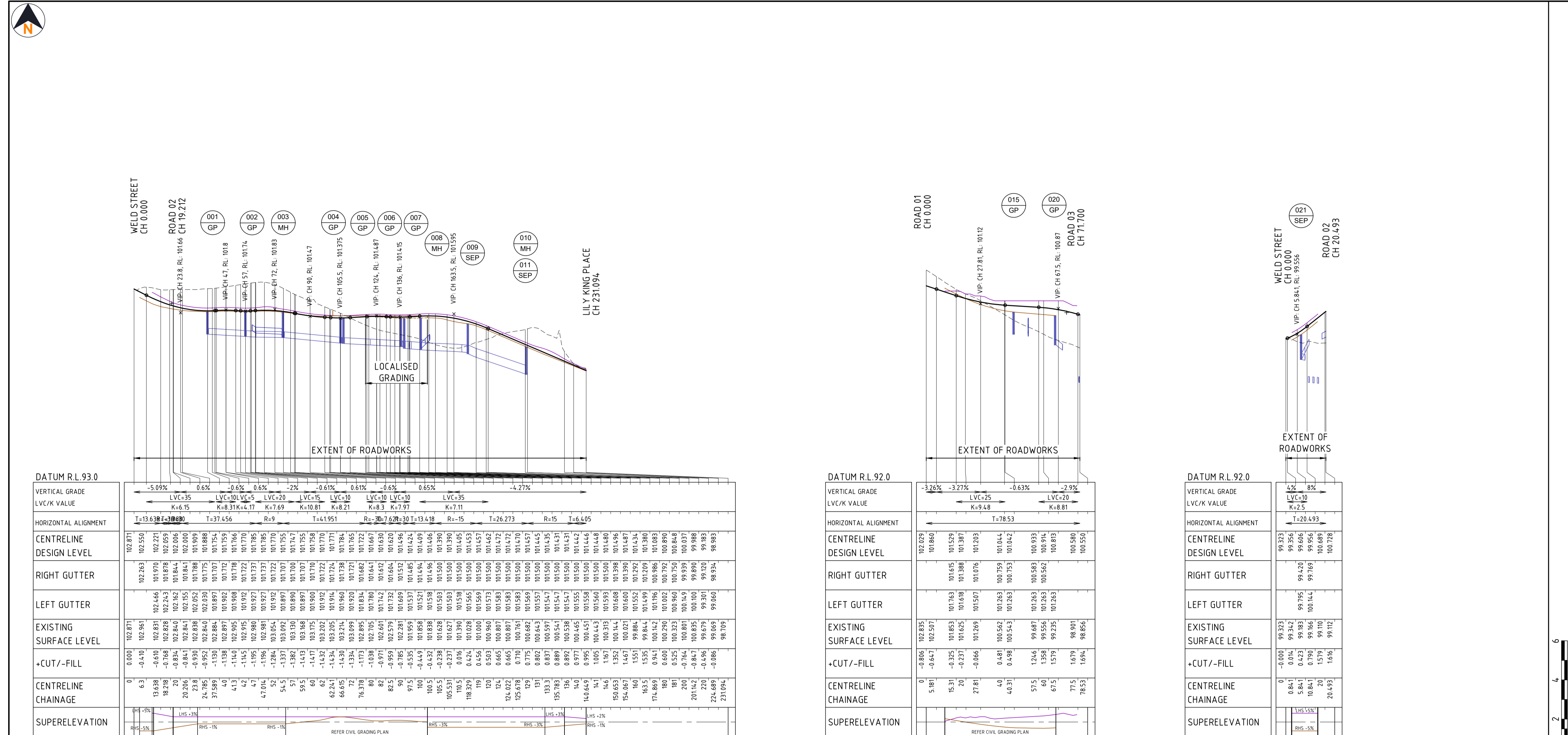
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PROJECT	GINGIN LOCAL CENTRE - STAGE 1		
TITLE	ROADS AND DRAINAGE PLAN		
DRAWING NUMBER	2537-01-300		
ISSUE	A		

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 Plotted By: dgrah1





ROAD 01 (Rd01)				ROAD 02 (Rd02)				ROAD 03 (Rd03)			
SCALE - H: 1:1000 V: 1:100				SCALE - H: 1:1000 V: 1:100				SCALE - H: 1:1000 V: 1:100			
VERTICAL GRADE				VERTICAL GRADE				VERTICAL GRADE			
LVC/K VALUE				LVC/K VALUE				LVC/K VALUE			
HORIZONTAL ALIGNMENT				HORIZONTAL ALIGNMENT				HORIZONTAL ALIGNMENT			
CENTRELINE DESIGN LEVEL				CENTRELINE DESIGN LEVEL				CENTRELINE DESIGN LEVEL			
RIGHT GUTTER				RIGHT GUTTER				RIGHT GUTTER			
LEFT GUTTER				LEFT GUTTER				LEFT GUTTER			
EXISTING SURFACE LEVEL				EXISTING SURFACE LEVEL				EXISTING SURFACE LEVEL			
+CUT/-FILL				+CUT/-FILL				+CUT/-FILL			
CENTRELINE CHAINAGE				CENTRELINE CHAINAGE				CENTRELINE CHAINAGE			
SUPERELEVATION				SUPERELEVATION				SUPERELEVATION			

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CLIENT: JOHN YOUNG

DESIGNED: DWP | CHECKED: CCB | APPROVED: C.C. BITMEAD

DRAWN: DWP | CHECKED: CCB | DATE: 13.10.2023

PROJECT: GINGIN LOCAL CENTRE - STAGE 1

TITLE: ROADS LONGITUDINAL SECTIONS

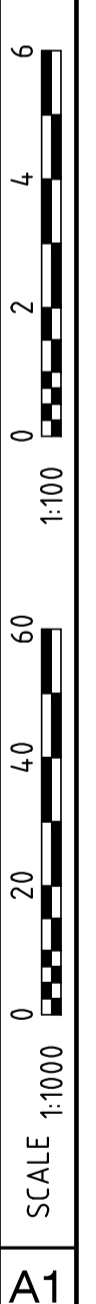
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ISSUE: A

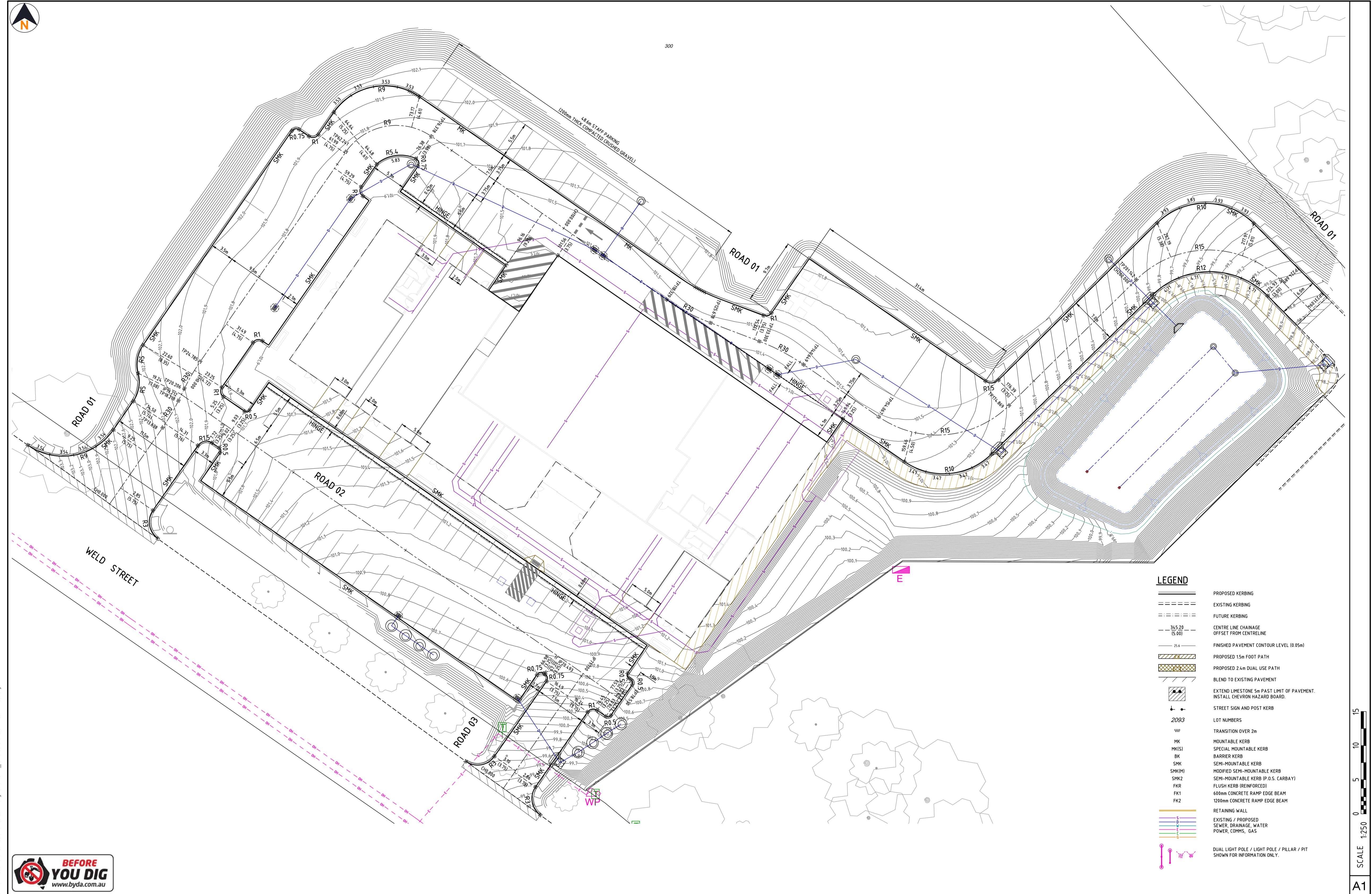
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A1



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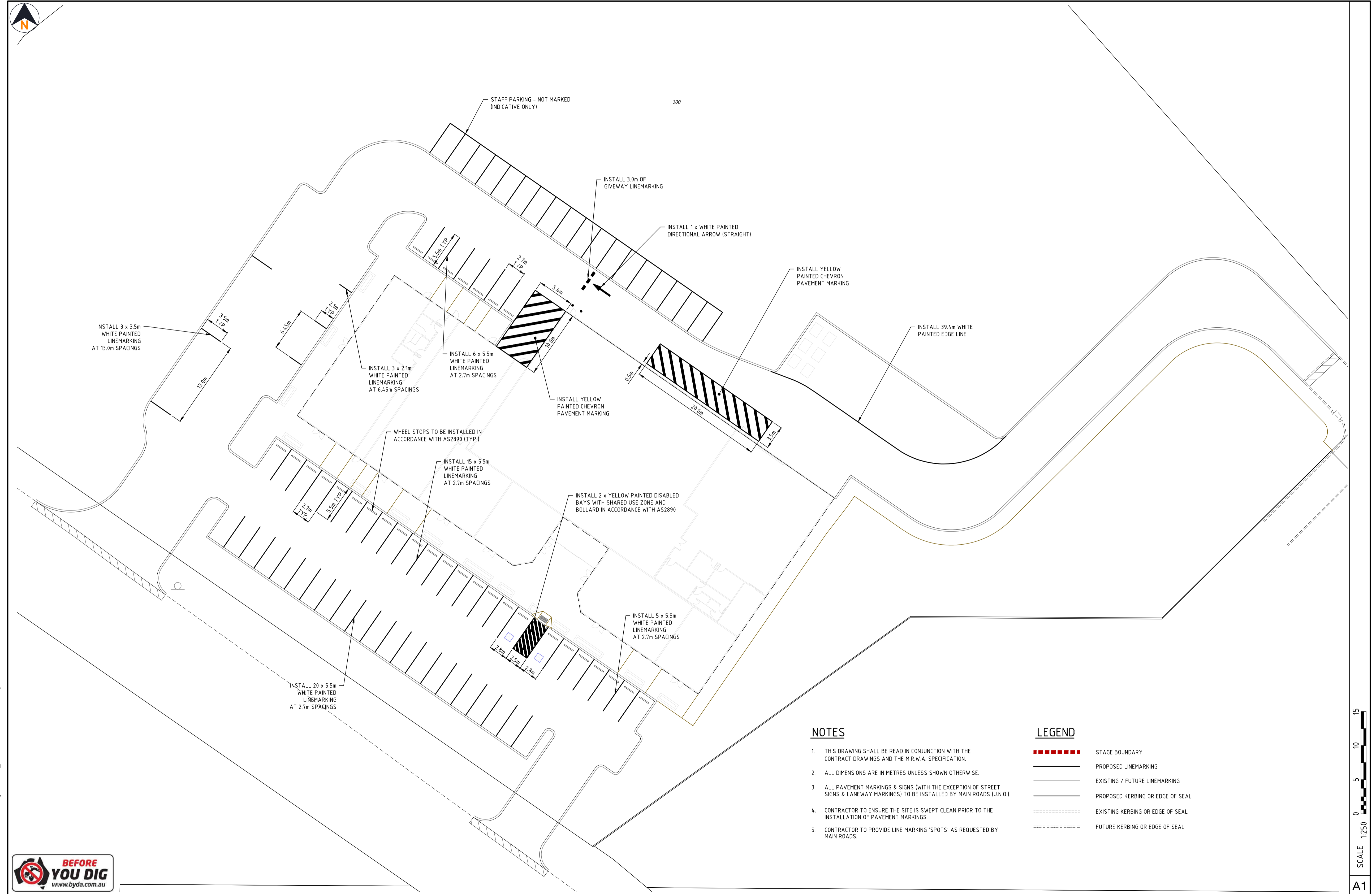
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PROJECT	GINGIN LOCAL CENTRE - STAGE 1	
TITLE	CIVIL GRADING PLAN	
DRAWING NUMBER	2537-01-320	ISSUE
		A

SCALE 1:250



NOTES

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE CONTRACT DRAWINGS AND THE M.R.W.A. SPECIFICATION.
2. ALL DIMENSIONS ARE IN METRES UNLESS SHOWN OTHERWISE.
3. ALL PAVEMENT MARKINGS & SIGNS (WITH THE EXCEPTION OF STREET SIGNS & LANEWAY MARKINGS) TO BE INSTALLED BY MAIN ROADS (U.N.O.).
4. CONTRACTOR TO ENSURE THE SITE IS SWEEP CLEAN PRIOR TO THE INSTALLATION OF PAVEMENT MARKINGS.
5. CONTRACTOR TO PROVIDE LINE MARKING 'SPOTS' AS REQUESTED BY MAIN ROADS.

LEGEND

- ■ ■ ■ ■ STAGE BOUNDARY
- — — — — PROPOSED LINEMARKING
- — — — — EXISTING / FUTURE LINEMARKING
- = = = = = PROPOSED KERBING OR EDGE OF SEAL
- = = = = = EXISTING KERBING OR EDGE OF SEAL
- = = = = = FUTURE KERBING OR EDGE OF SEAL

Printed By: dgrah | Plot Date: 13/10/23 - 11:23 | Cef File C:\3265\data\118-120\2537 - Gingin Local Centre...101\A200\A200\2537-01\2537-01-330.dwg



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PROJECT GINGIN LOCAL CENTRE - STAGE 1	TITLE SIGNAGE AND LINEMARKING PLAN
DRAWING NUMBER 2537-01-330	ISSUE A

SCALE 1:250

WHEN MANHOLE DOES NOT REQUIRE STEP IRONS POSITION LID OVER MOST ACCESSIBLE PIPE INVERT OTHERWISE POSITION OVER STEP IRONS.

80mm MIN. MORTAR BOTH INSIDE AND OUTSIDE OF BROKEN AREAS OF THE CONCRETE LINER.

STEP IRONS LOCATED ON SIDE OF MAIN FLOW THROUGH MANHOLE (TYP.)

PLAN
SCALE 1:20

STANDARD TRAFFICABLE REINFORCED CONCRETE MANHOLE COVER AND SURROUND.

FINISHED SURFACE

FIRST STEP IRON 500 MAX.

STEP IRONS @ 300 CRS.

TYPICAL STEP IRON LOCATION REFER NOTE 5.

STANDARD PRECAST CONC. LINER. REFER TO TABLE 'A'.

80mm MIN. MORTAR BOTH INSIDE AND OUTSIDE OF LINER.

1:100

150 - 400 MAX.

CONCRETE INFILL

150 THICK PRECAST REINFORCED CONCRETE BASE.

SECTION A
SCALE 1:20

MANHOLE DETAILS

VERTICAL SPACING

500 MAX.

270 FOR BRICKWORK

300 TYP.

360

LINER LID

LINER DEPTH VARIES

LINER BASE

EXPANSION JOINTS (TYPICAL) TO KERB DEFLECTION AND ALSO AT CONNECTION TO DRAINAGE STRUCTURE.

PAVEMENT IN THIS AREA TO BE DEPRESSED FROM NORMAL PAVEMENT LEVEL TO MATCH DEFLECTOR SLAB LEVEL.

CEMENT MORTAR CORNERS

TYPICAL STEP IRON LOCATION REFER TO NOTE 5.

HAND FORMED CONC. APRON THICKNESS TO MATCH DEPTH OF DEFLECTION SLAB (TYP.)

KERB WIDTH TO BE MAINTAINED AROUND SWEEP AND GRADE DOWN TO TOP OF FRAME

800 (TYP.)

600

PLAN
SCALE 1:20

PRECAST CLASS 'D' HEAVY DUTY UNIVERSAL FRAME AND COVER OF AN APPROVED MANUFACTURER.

SIDE FACE OF PRECAST UNITS TO BE FLUSH

FRAME TO BE BEDDED ON 12mm MORTAR

100 THICK MIN. CEMENT STABILISED ROADBASE OR CONCRETE AS APPROVED BY SUPERINTENDENT

COMPACTED SUBGRADE MADE DAMP PRIOR TO PLACING SLAB BASE

12 MAX. /130 MIN. SLOPE FOR BENCHING

50

50mm MORTAR FILLET ALL AROUND INSIDE AND OUTSIDE TYPICAL.

80 MIN. MORTAR

150 THICK PRECAST REINFORCED CONC. BASE WITH A MIN. 600 DIA. WEEPHOLE

INSTALL #600 WEEPHOLE CENTRAL IN BASE AND FILLED WITH 20mm AGGREGATE

SECTION B
SCALE 1:20

TYPICAL SIDE ENTRY PIT DETAIL (SEP)

STD. 750x550 GRATE HINGED AT KERB LINE.

2 No. EQUI SPACED 20x3 FLAT BARS WELDED TO GRATE AT EA END PLUS 3 OTHER LOCATIONS. WELD BOTH SIDES OF STRAP. TOTAL 10 WELDS PER STRAP. (TO BE USED IN PAVED AREAS ONLY)

ASPHALT TO EXTEND TO STEEL FRAME SURROUNDING THE GRATE.

50mm DRY PACK MORTAR TO SUIT FINAL LEVEL AND GRADE OF COVER

TYPICAL STEP IRON LOCATION REFER NOTE 5.

80 MIN. DRY PACK MORTAR INSIDE AND OUT. (TYP.)

BENCHING TO BE SITE CONCRETE MIX OF 3 PARTS FINE CRUSHED ROCK AT 1 PART CEMENT.

1:100

150mm THICK PRECAST REINFORCED CONCRETE BASE.

SECTION C
SCALE 1:20

GRATED GULLY PIT

TYPICAL ROCK PITCHING DETAIL

40 NOM.

ROCK AS PER SPECIFICATION

6:1 SAND/CEMENT MORTAR

NTS

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETERS UNO.
- ALL PRECAST COMPONENTS (PIPES, LIDS, LINERS & BASES) ARE TO BE SUPPLIED BY AN APPROVED MANUFACTURER AND ARE TO BE ASSEMBLED AS PER THE MANUFACTURERS GUIDELINES.
- CONCRETE TO BE 20mm NOM. AGGREGATE AND HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF:
 - 25MPa FOR INSITU BASE
 - 40MPa FOR PRECAST UNITS
- ALL REINFORCEMENT AND STEEL TO BE CLEAN AND FREE FROM OIL, RUST AND OTHER DELETERIOUS SURFACE COATINGS.
- STEP IRONS TO BE INSTALLED IN PITS AND MANHOLES WHERE DEPTH FROM COVER TO BASE EXCEEDS 1000mm. STEP IRONS TO BE GALVANISED DEFORMED BARS OR APPROVED PLASTIC COATED TYPE TO THE MANUFACTURERS SPECIFICATION.
- IF PITS DO NOT REQUIRE STEP IRONS THEN LIDS ARE TO BE POSITIONED OVER THE MOST ACCESSIBLE PIPE INVERT.
- ALL PITS SHALL BE INTERLOCKING JOINT, REINFORCED CONCRETE AND EQUIVALENT TO CLASS 2 PIPE.
- PIPE JOINTS WITHIN 10m OF PIT TO BE SEALED.
- SUBGRADE TO ALL PIT BASES TO BE COMPACTED TO 95% M.M.D. PRIOR TO PLACING OF BASE.
- BACKFILL SURROUNDING PIT TO BE TO 95% M.M.D.
- ALL COMPONENTS TO BE DESIGNED TO ACCEPT A14 LOADING AUSTRROADS STANDARD.
- BENCHING BETWEEN PIPES TO BE A CONCRETE MIX OF 3:1 FINE CRUSHED ROCK TO CEMENT.
- HOLES TO BE PUNCHED OUT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- MORTAR FILLETS & BEDDING TO LINERS SHALL BE IN ACCORDANCE WITH MANUFACTURERS GUIDELINES. AS A GUIDE (UNO.):
 - MORTAR SHALL BE 3:1 SAND/CEMENT RATIO
 - 100mm MORTAR FILLET ALL AROUND TO PIPES AT CONNECTION TO LINER
 - 100mm MORTAR FILLET BOTH INSIDE AND OUTSIDE OF LINER AT CONNECTION TO BASE SLAB.
 - 50mm DRY PACK MORTAR BEDDING TO LINERS AT CONNECTION TO LIDS.
- MAKE UP TO BASE OF CONCRETE SURROUNDS FROM TOP OF PIT LINER WITH 150mm WIDE CONCRETE PAD OR NEAT BRICKWORK AS NECESSARY.
- ALL DRAINAGE LIDS ARE TO BE TRAFFICABLE CLASS 'D' TO AS3996:2006.
- ALL DRAINAGE PIPES TO BE REINFORCED CONCRETE WITH RUBBER-RING JOINTS.

TABLE 'A'

LINER SIZE	MAX. PIPE SIZE	MAX. LATERAL PIPE SIZE		'A'	'B'
		THROUGH PIPE	LATERAL PIPE		
Ø1050	Ø450	Ø450	Ø450	830	70
		Ø600	Ø600	900	0
		Ø675	Ø525	900	0
Ø1200	Ø750	Ø750	Ø450	830	220
		Ø750	Ø750	830	220
		Ø900	Ø675	830	370
Ø1500	Ø900	Ø1050	Ø900	830	370
		Ø1050	Ø900	830	370
		Ø1200	Ø750	830	520

A. THE ABOVE TABLE IS APPLICABLE WHERE PIPES INTERSECT AT CENTRE TO CENTRE AND AT 90°. OTHER ANGLES OF INTERSECTION MUST BE DISCUSSED WITH THE SUPERINTENDENT.
 B. TYPICALLY THERE SHOULD BE A MINIMUM SPACE OF 200mm BETWEEN HOLES & A MINIMUM OF 40% OF THE LINER SHALL REMAIN IN ANY HORIZONTAL PLANE.
 C. HOLES TO BE PUNCHED/CUT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.

SECTION THROUGH WALL

GALVANISED NUTS & WASHERS

WASHER WELDED TO STEP IRON

LONGITUDINAL SEAM OF DEFORMED BAR TO BE ON THE SIDE

STEP IRON DETAILS
N.T.S.

DETAIL - STEP IRON

150

375

115

115

DIA 24 HOT DIPPED GALV. DEFORMED BAR

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	DRAWN DWP	CHECKED CCB	DATE 13.10.2023

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PROJECT
GINGIN LOCAL CENTRE - STAGE 1

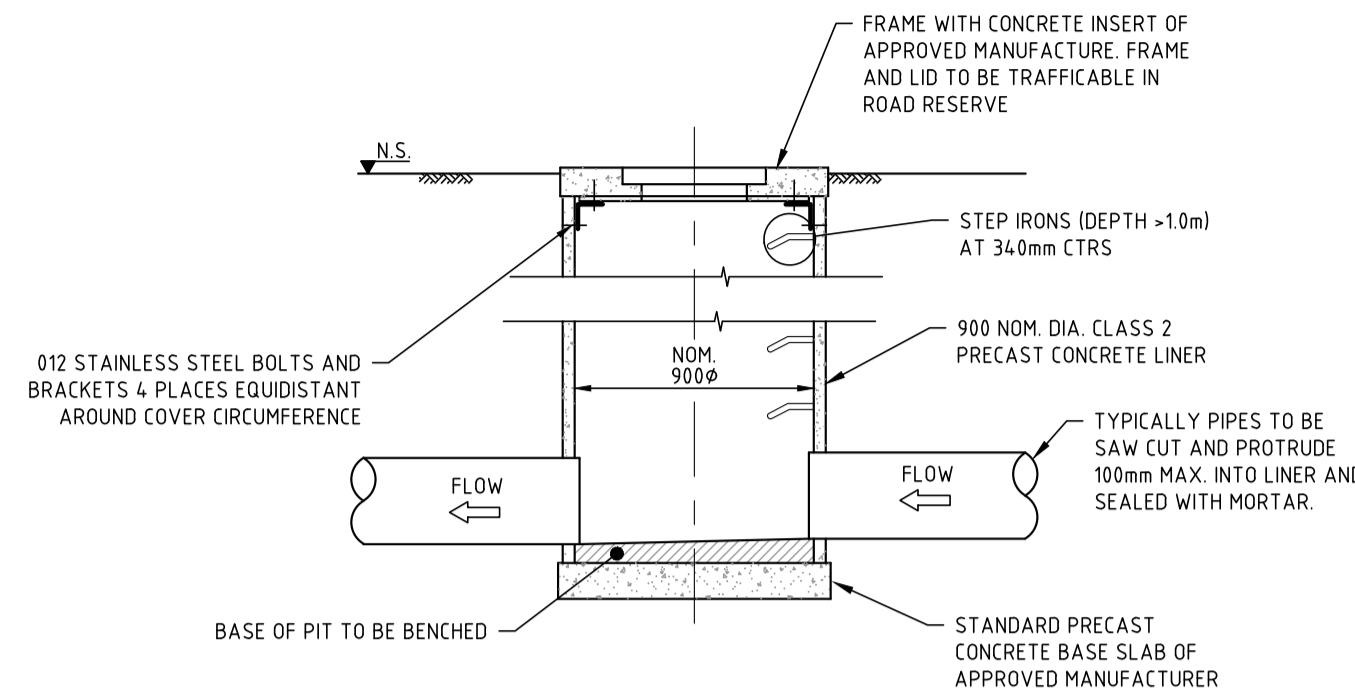
TITLE
STANDARD DETAILS
DRAINAGE - SHEET 1

DRAWING NUMBER
2537-STD-D1

ISSUE
A

SCALE 1:20

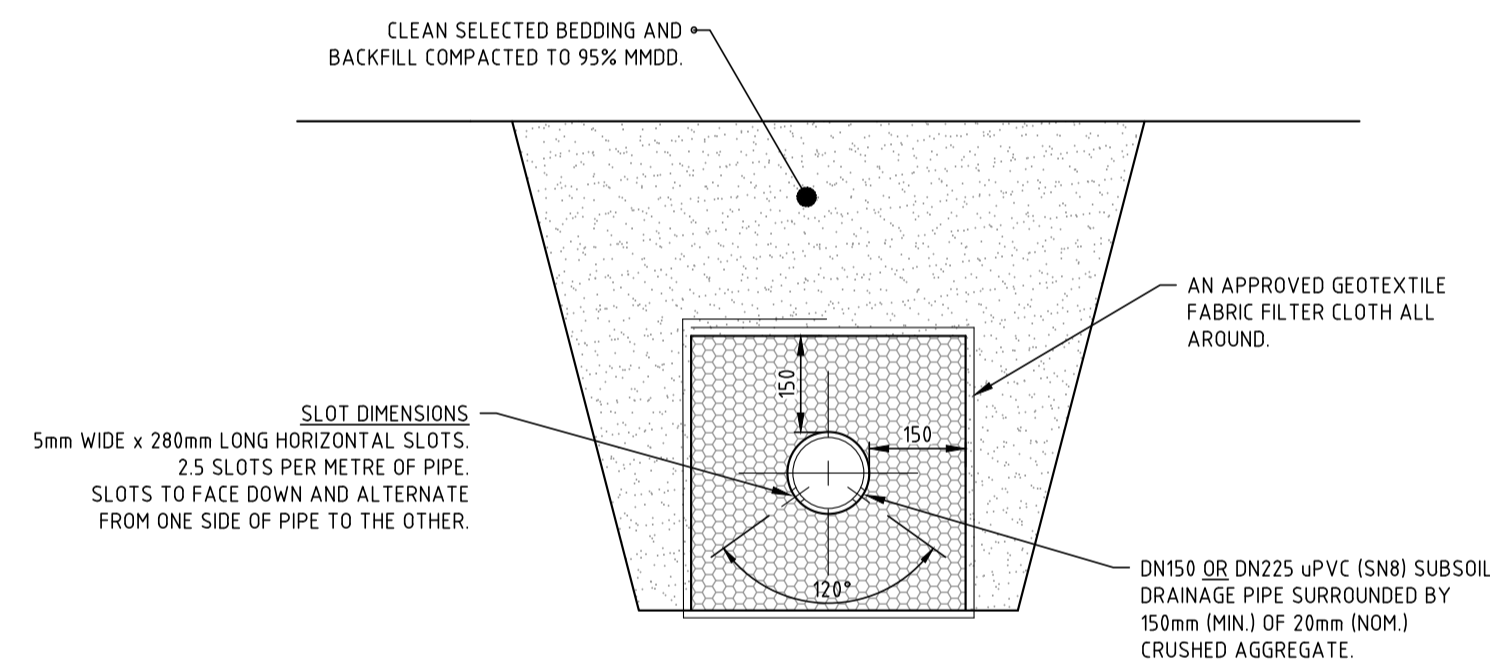
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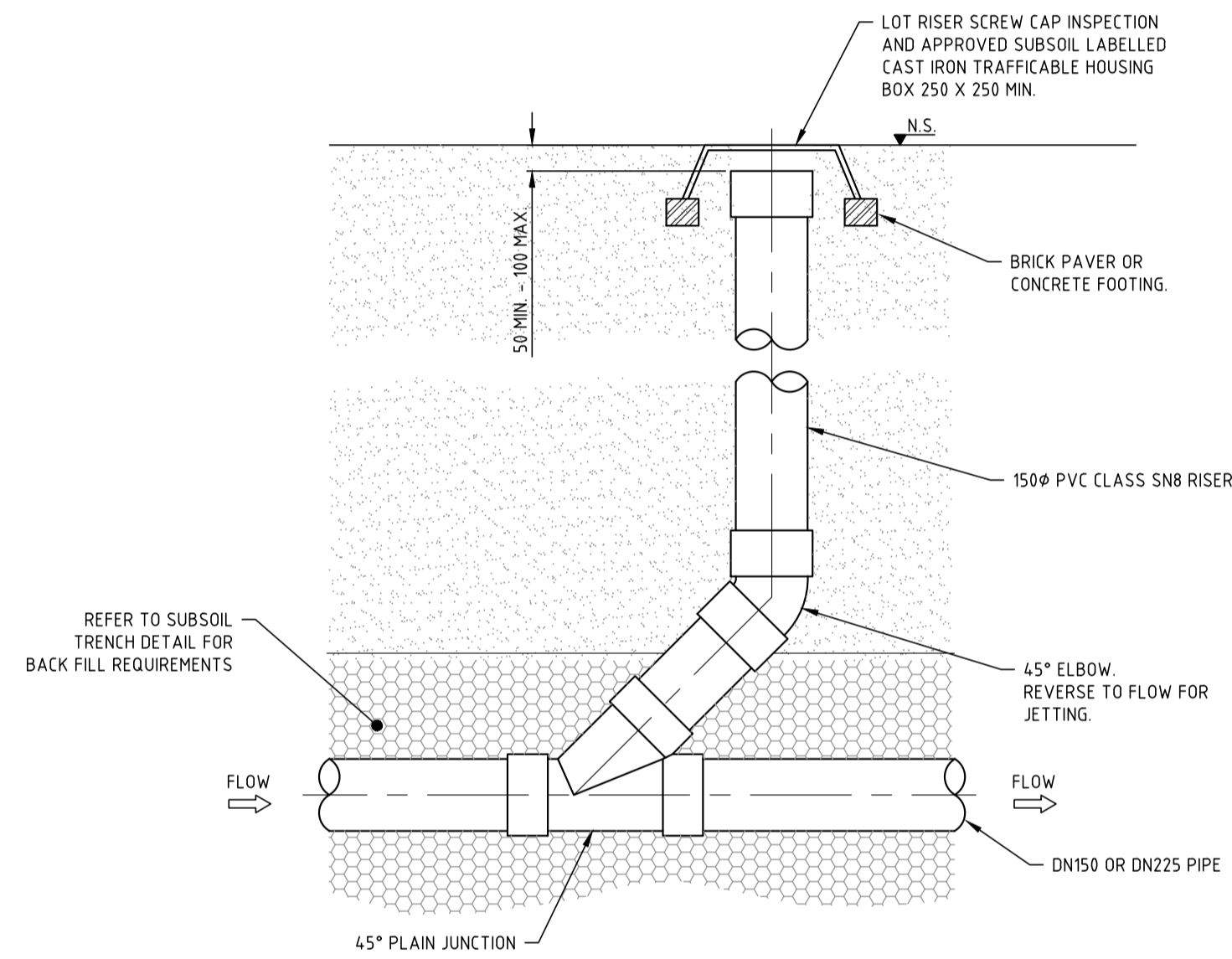
SUBSOIL MAINTENANCE CHAMBER DETAIL
NTS

SUBSOIL NOTES

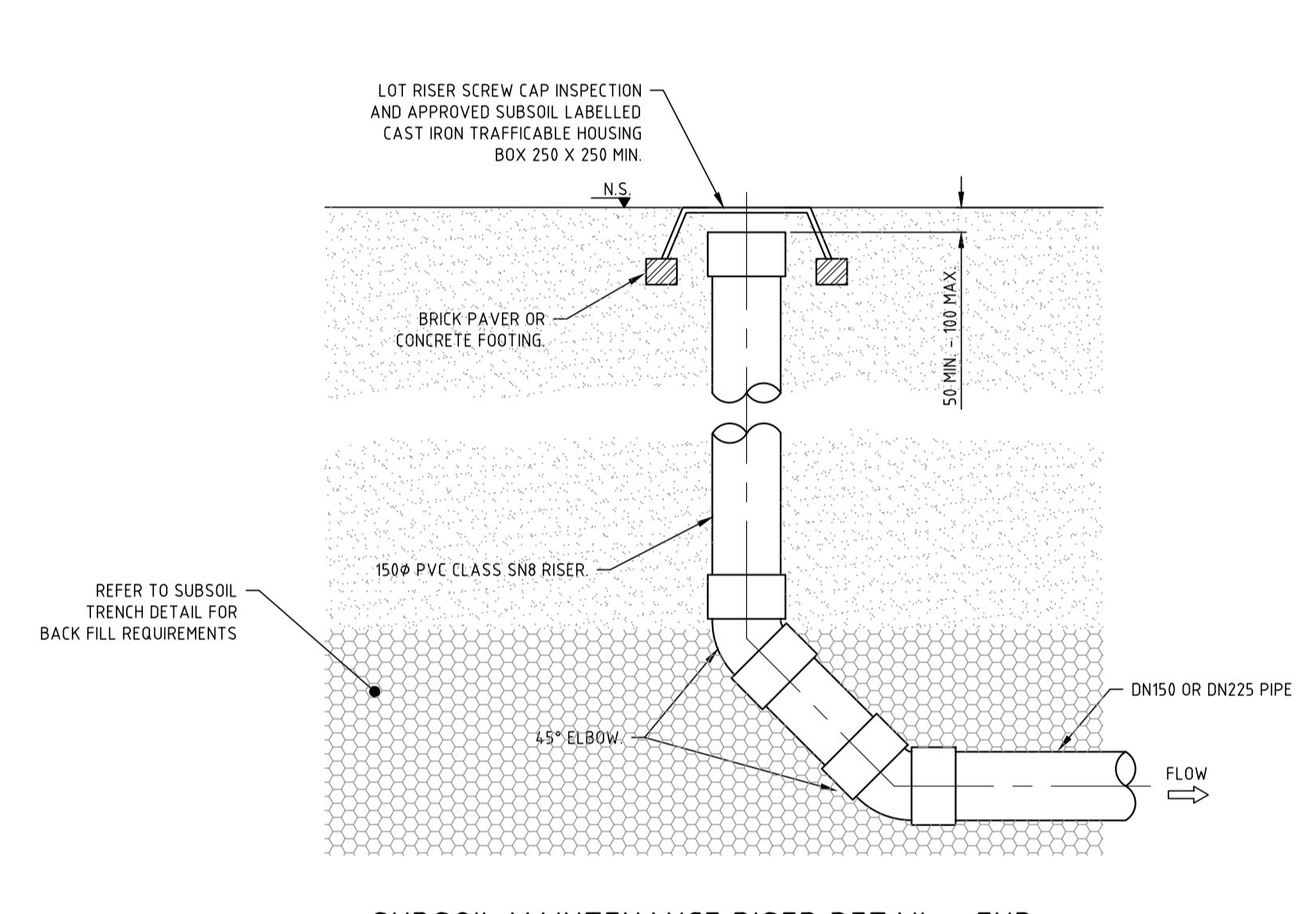
1. MAINTENANCE RISER TO BE LOCATED AT 60m MAX. SPACING AND UPSTREAM EXTREMITIES.
2. MAINTENANCE CHAMBERS ARE TO BE USED EVERY 120m AND AT THE JUNCTION OF TWO OR MORE INLET PIPES AND THE CHANGE OF PIPE SIZE.
3. SUBSOIL PIPE TO BE SLOTTED OR NON-SLOTTED uPVC (CLASS SN8) (REFER TO PLANS).
4. DN300 NON-SLOTTED R.C.P. (CLASS 2) PIPE TO BE USED DIRECTLY UNDER ROAD PAVEMENT AREAS (REFER TO PLANS).



SUBSOIL TRENCH DETAIL
NTS



SUBSOIL MAINTENANCE RISER DETAIL - INLINE
NTS



SUBSOIL MAINTENANCE RISER DETAIL - END
NTS

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DATE	13.10.2023		

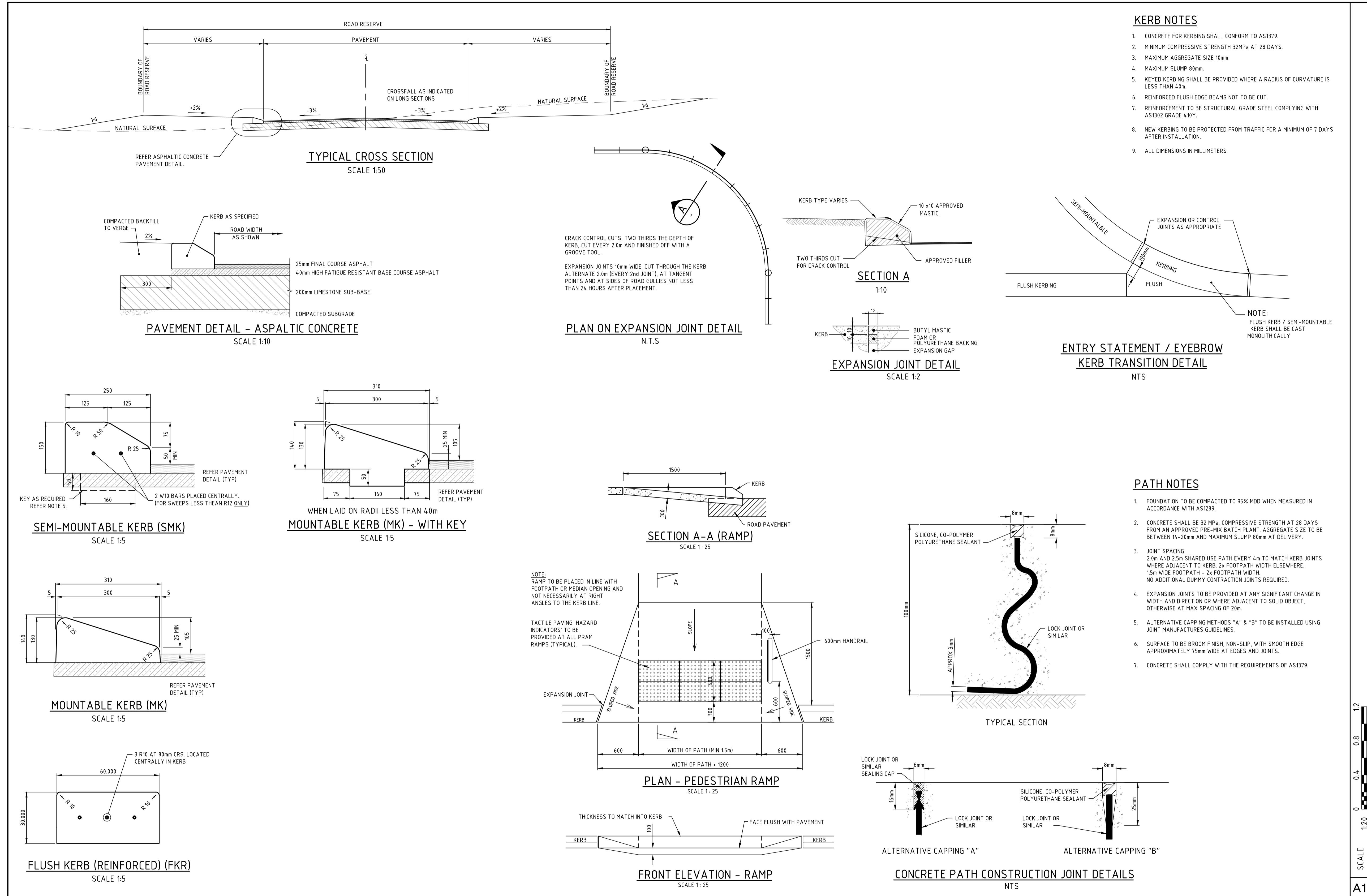
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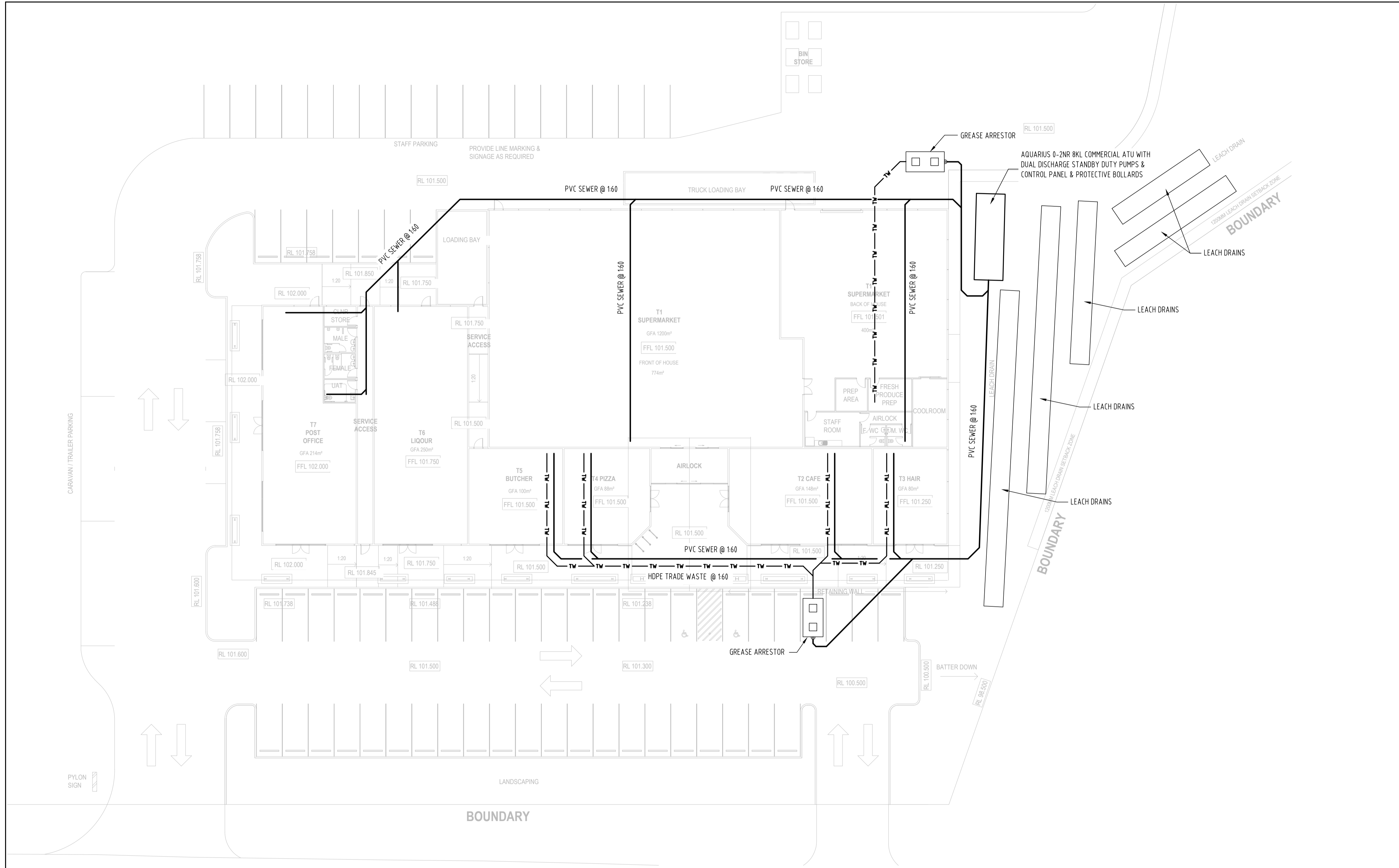
PROJECT	GINGIN LOCAL CENTRE - STAGE 1		
TITLE	STANDARD DETAILS DRAINAGE - SHEET 2		
DRAWING NUMBER	2537-STD-D2		ISSUE
			A

SCALE
A1



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<p>APPROVED C.C. BITMEAD</p>				<p>CHECKED CCB</p>				<p>DRAWING NUMBER 2537-STD-R1</p>						
<p>DATE 13.10.2023</p>				<p>DRAWN DWP</p>				<p>ISSUE A</p>						
No.	DATE	DRAWN	APPROVED	AMENDMENT	No.	DATE	DRAWN	APPROVED	AMENDMENT	No.	DATE	DRAWN	APPROVED	AMENDMENT

SCALE 1:20
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B	12.10.23	PRELIMINARY	RGS	RGS
A	02.10.23	PRELIMINARY	RGS	RGS
REV	DATE	DESCRIPTION	BY	CHKD

PRELIMINARY ISSUE



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HYDRAULIC SERVICES

GINGIN COMMERCIAL CENTRE
STAGE 1

SITE PLAN - SEWER

DRAWN	DESIGNED	REVIEWED	APPROVED	DATE	SCALE
RGS	RGS	RGS	RGS	OCT 2023	1:200 @ A1
BCA PROJECT No.	230373	DRAWING No.	HSK01	REV	B

PROPOSED FLOOR PLAN

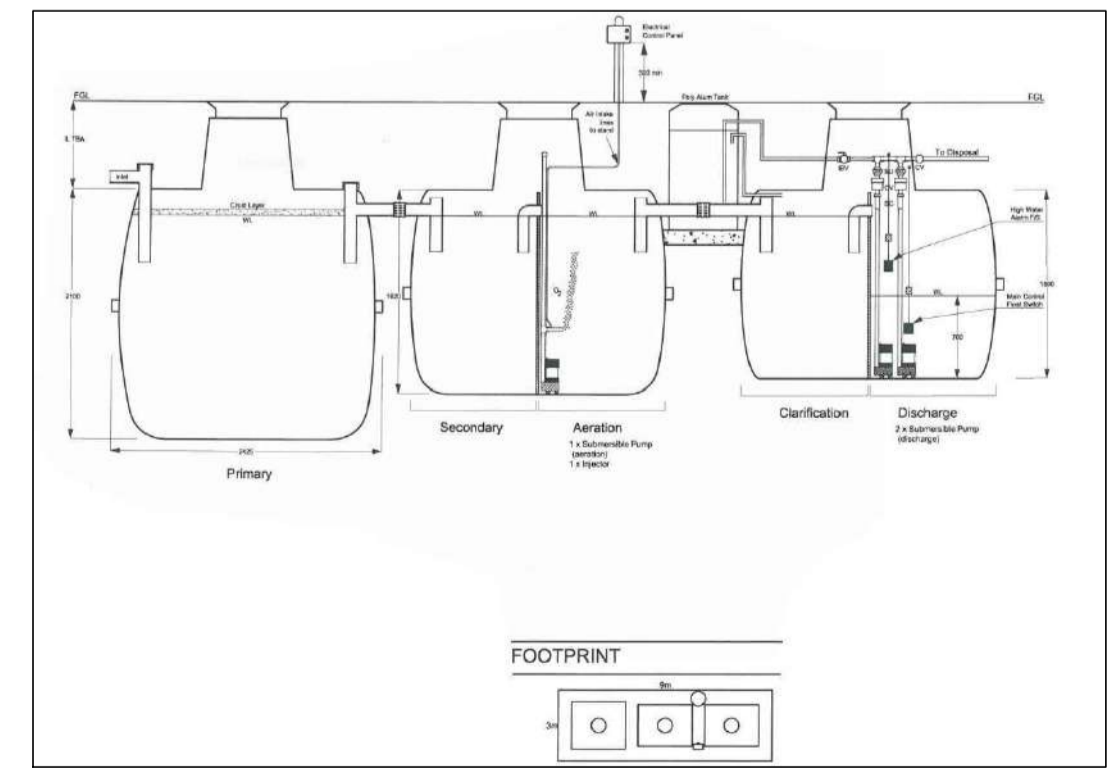
SEWER & TRADE WASTE

ATU SIZING

AS PER WESTERN AUSTRALIA HEALTH REGULATIONS 1974:

Type of Function	Shop	Uses/Type	Number of Persons	Combined Flow Litres/Day	Total L/D/m
T1 Supermarket	Shop	23m ² x 2 shops	30	300	300
	Van Showroom	100	100	1000	1000
	Customer (using the car park toilet facility)	4	50	200	200
T2 Cafe	20 or 40 persons	50	50	1500	1500
	Allowance for food preparation and cleaning of equipment and floor washdown etc.	-	-	400	400
T3 Hair	20 persons	40	20	400	400
	Allowance for hair wash/shampoo	-	-	30	300
T4 Pizzeria	Shop	4	30	200	200
	Allowance for food preparation and cleaning of equipment and floor washdown etc.	-	-	400	400
T5 Butcher	Shop	23m ² x 2 shops	30	300	300
	Van Showroom	100	100	1000	1000
T6 Liquor	Shop	3	30	300	300
	Van Showroom	100	100	1000	1000
T7 Post Office	Shop	3	30	300	300
	Van Showroom	100	100	1000	1000

TOTAL LOAD ON HYDRAULIC SYSTEM = 6,790 LITRES OF DISCHARGE PER DAY
ATU TO BE SPECIFIED = AQUARIUS 0-2NR 8KL P COMMERCIAL ATU CAPABLE OF TREATING UP TO 8,000L OF DISCHARGE PER DAY



LEACH DRAIN SIZING

GEOTECHNICAL REPORT NOT RECEIVED AT AS YET - WE WILL THEREFORE ASSUME LOAMY SOIL WITH A DESIGN LOADING RATE OF 30MP/DAY TO SIZE THE SYSTEM

LEACH DRAIN SELECTED FOR USE - ADMCKELN FLATBED LEACH DRAINS WITH INFILTRATIVE AREA OF 2M²/M
LENGTH OF LEACH DRAINS = DISCHARGE RATE PER DAY / INFILTRATIVE RATE PER DAY / INFILTRATIVE RATE OF PROPOSED LEACH DRAIN
LENGTH OF LEACH DRAINS = 4299 / 30 / 2 = 150M

ATU SPECIFICATION

AQUARIUS 0-2NR 8KL (OR EQUAL APPROVED) FULLY AUTOMATIC COMMERCIAL AERATION TREATMENT UNIT CAPABLE OF TREATING UP TO 8000 LITRES OF RAW SEWAGE DISCHARGE PER DAY WITH THE DISCHARGE FROM THE ATU SYSTEM TO BE OF AN ACCEPTABLE QUALITY TO BE DISCHARGED VIA LEACH DRAINS MEETING THE REQUIREMENTS OF THE DEPARTMENT OF HEALTH AND LOCAL AUTHORITY.

PROVIDE DUAL DUTY STANDBY EFFLUENT DISCHARGE PUMPS SIZED TO SUIT DISPOSAL OF EFFLUENT TO THE DESIGNATED LEACH DRAIN SYSTEM AND ASSOCIATED CONTROL PANEL FOR FULLY AUTOMATIC OPERATION.

ATU CONTROL PANEL SHALL BE MOUNTED IN LOCATION AS SHOWN ON THE DRAWINGS AND AS CONFIRMED ON SITE BY THE SUPERINTENDENT. CONTRACTOR SHALL PROVIDE CONDUITS FOR CONTROL WIRING AND POWER FROM CONTROL PANEL TO TREATMENT UNIT.

ON COMPLETION OF PROJECT MANUFACTURER OR AUTHORISED AGENT SHALL FULLY COMMISSION UNIT AND CERTIFICATION TO BE PROVIDED CONFIRMING THAT THE UNIT IS OPERATING AND IN FIRST CLASS WORKING ORDER.
PRIOR TO ORDERING UNIT, PROVIDE & FULLY DETAILED WORKSHOP DRAWINGS TO SUPERINTENDENT IDENTIFYING ALL ASSOCIATED EQUIPMENT FOR SYSTEM INCLUDING EXTENT OF SUBSURFACE DRIPPER SYSTEM AND ALSO CONTROL DIAGRAMS FOR THE PLANT.

PENTIUM
WATER



SITE AND SOIL EVALUATION

**Stage 1, Town Centre,
Lot 601 Brockman Street, Gingin**

PW_HCPBROK_01_R001_Rev0
13/10/2023



Document Status

Version	Purpose of document	Authored by	Reviewed by	Review Date
Draft A	Draft for Review	G van Blomestein	S. Hewitt	13/10/23
Rev 0	Final for submission	G van Blomestein	S. Hewitt	13/10/23

Approval for Issue

Name	Signature	Date
Simon Hewitt		13/10/23

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Executive Summary

Westerly Developments Pty Ltd (herein referred to as “Westerly Developments”) proposes to develop and use the southern portion of Lot 601 Brockman Street, Gingin (herein referred to as “the site”), the extension of the Town Centre and associated Public Open Space (POS) with a total development area of approximately 22,700 m².

It has been requested that more details be provided for the section of the development relating to the Town Centre and POS. This is area now referred to as the Town Centre – Stage 1 which comprises the southern portion of Lot 601. This report is focused on this section of the development, with the wastewater management of domestic wastewater being handled at an individual lot scale for the balance of Lot 601. The Town Centre expansion area and associated POS comprises an area of approximately 22,700 m².

This SSE report is an expansion on the work completed by Structerre (2022a and b) that more thoroughly addresses the human health and environmental risks raised in accordance with the Government Sewerage Policy 2019 (GSP) and AS/NZS 1547:2012 *On-site domestic wastewater management* (AS 1547) (Standards Australia and New Zealand, 2012) to support an updated Western Australian Planning Commission (WAPC) submission for the development. The infiltration test results presented within this report supersede the previously submitted results in the Geotechnical report (Structerre 2022a) and the Site and Soil Evaluation report (Structerre 2022b).

Stage 1 is zoned as a combination of “Town Centre” and “Parks and Recreation” under the Shire of Gingin’ Local Planning Scheme (LSP) No. 9.

The site is bounded by Brockman Street to north and east and Weld Street to the west. The southern boundary of the site adjoins the Shire of Gingin offices and town centre. Existing residential areas of the townsite are present adjacent to the north and the east of the site with the Gingin Brook located approximately 250 m to the south. The site is located approximately 66 km north-northeast of Perth central business district (CBD) within the Shire of Gingin (SoG)

The site is in a Sewerage Sensitive Area (SSA) as it is located within 1 km of a significant wetland.

The lots within SSAs have a minimum lot size of 1 hectare, and this stage of the development complies with this limit. However, it is confirmed that the Land Application Area (LAA) can be achieved, and environmental impacts are considered acceptable.

As the site is not anticipated to impact on any wetlands in proximity to the site (due to the nature of surface and groundwater flow), and the LAA can be achieved, the development design is not considered to pose an environmental or human health risk.

Post-development earthwork and stormwater management of the site has been designed to prevent the accumulation and infiltration of surface water run-off that was observed during pre-development investigations in August 2022.

Results of the site and soil assessment indicate the soils have high infiltration capacity to accommodate the infiltration of stormwater and Treated Wastewater (TWW). Compliance with the required clearance to groundwater of 1.5m will be achieved through earthwork design of the Stage 1 area.

This SSE demonstrates the site can accommodate a suitable wastewater management system through having sufficient area to accommodate the LAA and through being able to achieve the required groundwater clearance through importation of fill during the construction of individual LAA’s.

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1. Introduction

1.1. Background

Westerly Development Pty Ltd (herein referred to as “Westerly Development”) proposes to develop and use the southern portion Lot 601 Brockman Street, Gingin (herein referred to as “the site”). This Town Centre expansion will be staged (likely two stages), with the initial stage 1 development being the extension of the Town Centre being adjacent to Weld St. The entire town centre expansion area is approximately 22,880 m²

Stage 1 is bounded by Brockman Street to north and east and Weld Street to the west. The southern boundary of the site adjoins the Shire of Gingin offices and town centre. Existing residential areas of the townsite are present to the north and the east of the site with the Gingin Brook located approximately 250 m to the south. The site is located approximately 66 km north-northeast of Perth central business district (CBD) within the Shire of Gingin (SoG). The location of the stage 1 development of the site is shown in Figure 1.



Figure 1: Site location

1.2. Planning context

Stage 1 is zoned a combination of “Town Centre” and “Parks and Recreation” under the Shire of Gingin’ Local Planning Scheme (LSP) No. 9.

1.3. Proposed development

The development consists of an extension of the town centre in the southern portion of Lot 601 with an area of approximately 2.28 ha. The detailed site layout is presented in Figure 15.



1.4. Purpose of this report

This SSE report has been prepared to expand on the work previously completed SSE report for Lot 601 by Pentium Water (2023) which addressed the urban development areas of Lot 601. Structerre that more thoroughly addresses the human health and environmental risks raised in accordance with the Government Sewerage Policy 2019 (GSP) and AS/NZS 1547:2012 *On-site domestic wastewater management* (AS 1547) (Standards Australia and New Zealand, 2012) to support an updated Western Australian Planning Commission (WAPC) submission for the development. The previous SSE report (Pentium Water, 2023) has been provided in Appendix A, and details the methodology and results of the previously conducted site investigations.

1.5. Previous site reports and investigations

Several geotechnical field programs and associated reporting have been previously undertaken to support the development of the Urban Water Management Plan (UWMP) (Hyd2o hydrology, 2023) and have been utilised to inform this SSE, these supporting reports are:

- Urban Water Management Plan – Lot 601 Brockman Street, Gingin (Hyd2o, 2022): An Urban Water Management Plan (UWMP) was prepared by Hyd2o hydrology in 2022 as required for subdivision submission and approval. The document covers the entire development and details the drainage management plan for the subdivision of the subject site.
- Structerre (2022a) – Geotechnical Investigation: Proposed Residential Subdivision – Lot 601 Brockman St, Gingin WA, May 2022.
 - This report included site specific geotechnical investigations to support the development design including earthworks, road networks and the stormwater drainage design.
- Structerre (2022b). Site and Soil Evaluation for Onsite Sewage Management – Lot 601 Brockman Street, Gingin WA, September 2022.
 - This report was prepared to demonstrate the site's suitability to accommodate the disposal of treated wastewater (TWW) in accordance with the Government Sewerage Policy (GSP) (2019).
- Pentium Water (2023). Site and Soil Evaluation: Lot 601 Brockman Street, Gingin.
 - This report presented the results of the Structerre site investigations and detailed the wastewater management measures for the site to ensure compliance with the Government Sewerage Policy 2019 (GSP) and AS/NZS 1547:2012 *On-site domestic wastewater management* (AS 1547) (Standards Australia and New Zealand, 2012) to support an updated Western Australian Planning Commission (WAPC) submission for the development.

It should be noted that although the site infiltration tests (falling head infiltration test) as conducted for the above two Structerre reports was suitable for the design requirements of the UWMP, it was not a supported methodology by the GSP (2019). As such additional site investigation was undertaken which included the completion of 26 constant head infiltration tests across the development site in accordance with the GSP (2019).

This report presents and discusses the results of the additional constant head infiltration tests to demonstrate the site's compliance with the GSP (2019).



2. Existing environment

2.1. Climate

The nearest Bureau of Meteorology (BoM) weather station to the site is Gingin (Station Number 9018), located approximately 0.5 km to the southwest of the site. Based on the rainfall data collected from 1891 to 2022 at this station, the local area experiences an average of 737.7 mm rainfall annually.

Other climate data has been taken from Gingin Aero (station number 9178) with evaporation data from Perth Airport (Station Number 9021) located approximately 65 km to the south of the site as this is the closest BoM recording weather station with this data. Based on climate data collected from 1968 to 2022, the local area experiences a mean maximum temperature of 33.2° C and a mean minimum temperature of 6.5° C (BoM 2022). The monthly mean climatic data for rainfall and temperature is summarised in Table 1 below, with monthly rainfall data for the previous few years presented in Figure 2.



Table 1: BoM Weather Stations No. 9018 (rainfall 1891-2023), 9178 (Gingin Aero) temperature and 9021 (Perth Airport) evaporation (1986 to 2023)

Statistic	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Mean rainfall	10.2	13.6	17.9	33.3	97.3	140.2	145.6	113.3	69.2	46.4	20.0	10.8	737.7
Mean max temp	33.2	33.1	30.8	26.8	22.7	19.7	18.4	19.1	20.9	24.3	28.0	31.0	25.7
Mean min temp	16.4	17.1	15.4	12.0	8.9	7.2	6.5	6.6	7.4	9.1	11.9	14.5	11.1
Mean evaporation (mm)	316.2	268.8	238.7	150	93	66	65.1	80.6	111	167.4	228	282.1	2080.5

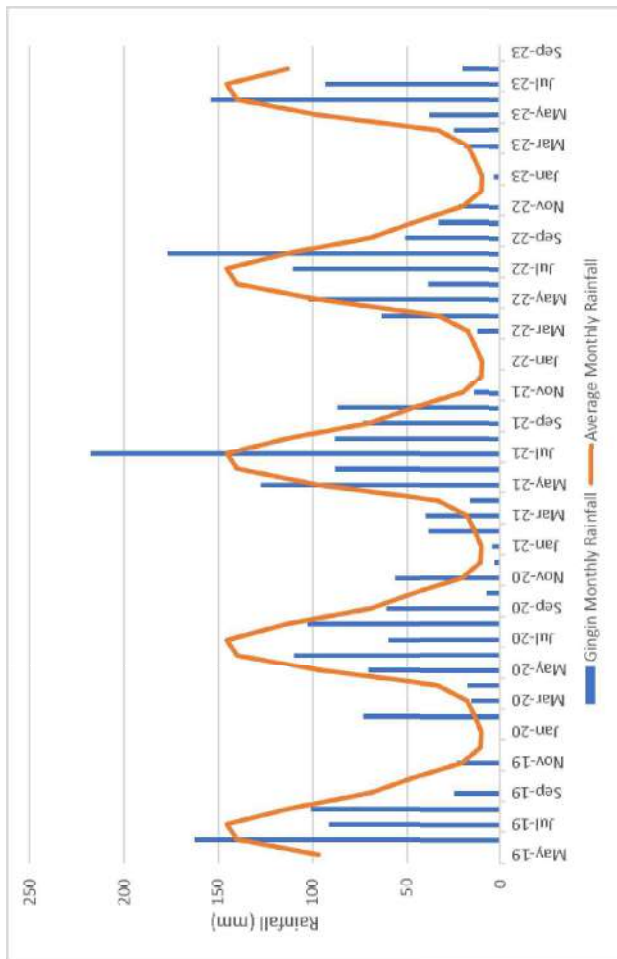


Figure 2: Monthly rainfall data - Gingin Station (BoM site 9018)



As shown in Figure 1, rainfall recorded for August of 2022 exceeded the average monthly rainfall for this site. Further analysis indicates 254.4 mm of rainfall was recorded in the four weeks between 17th July 2022 and 17th August 2022 64% of the mean winter rainfall between 1st June – 31st August. This rainfall preceded the field investigations completed by Structerre.

Evaporation data estimated from The Department of Agriculture and Food (1987) data indicates that evaporation generally exceeds rainfall annually at the site. On average there are four months of the year (May to August) where the rainfall exceeds the evaporation at the site.

2.2. Topography

The regional topographic contours show that the site slopes in a south / south-easterly direction with elevations across the site ranging from approximately 130 m Australian Height Datum (m AHD) in the northern portion of the site to 98 m AHD in the south. The surface gradient of the site varies between 5 and 10% with an average slope of approximately 7%. Regional topographic contours are presented in Figure 3.



Figure 3: Site topography

2.3. Regional landforms and soils

The Gingin sheet of the 1:50,000 scale Environmental Geology series map indicates that the area is underlain by predominantly colluvium soil and undifferentiated sand.

Structerre's site geotechnical investigations conducted during May 2022 (13 bore holes) and August 2022 (30 boreholes) provided additional detail to the site geological conditions. The reported soil conditions broadly align with regional conditions. Three main soil profiles were identified across the site which are summarized below:



- **Profile 1:**
 - Topsoil – grey, fine to medium grained - 0.1 – 0.2 m
 - Silty sand – fine to medium – 0.2 – 1.2 m
 - Sand – grey, fine to medium grained, with clay and gravel inclusions – 1.2 – 2.5m
- **Profile 2:**
 - Topsoil – grey, fine to medium grained - 0.1 – 0.2 m
 - Silty sand – fine to medium – 0.2 – 0.65 m
 - Clay / sandy clay – high plasticity, trace sands and gravels – 0.65 – 2.5m
- **Profile 3:**
 - Topsoil – grey, fine to medium grained - 0 – 0.1 m
 - Clay / sandy clay, medium to fine grained, high plasticity with trace sands and gravels 0.1 – 2.5 m

The location of the bore holes on the proposed stage 1 development conducted as part of the overall site geotechnical investigations is presented in Figure 4.



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Pentium Water Report



Figure 4: Investigation borehole locations (green)

Doc Ref: PW_HCPBROK_01_R00A | Lot 601 Brockman Street, Gingin | Town Centre Stage 1 – Site and Soil Evaluation | October 2023



2.4. Acid sulfate soils

The (then) Department of Environmental Regulation (DER, now Department of Water and Environmental Regulation, DWER) mapped the site not having and acid sulphate soil risk within the site (refer Figure 5).

2.5. Public drinking water source areas

The site is not located within a public drinking water source area (PDWSA) and is located approximately 250 m southwest (down hydraulic gradient) of P2 public drinking water source area associated with the Gingin Water Reserve Area.



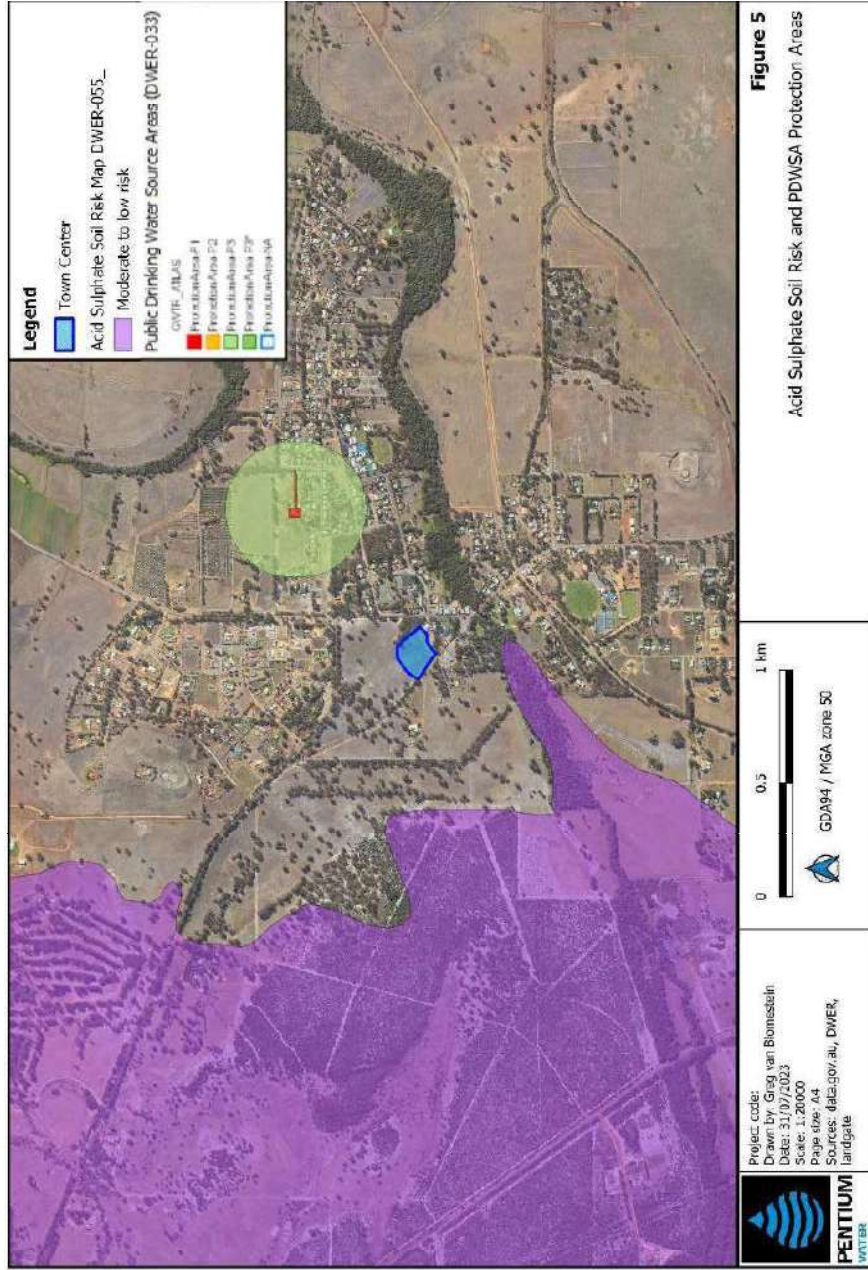


Figure 5: Acid sulfate soil mapping and PDWSA.



2.6. Groundwater

The site is located within the Gingin Townsite subarea of the Gingin Groundwater Management Area. Department of Water and Environmental Regulation (DWER) groundwater contours are not available for the site, however according to the Perth Groundwater Map (DWER, 2022), contours starting approximately 3.5 km to the south of the site and indicate regional groundwater flows generally east to west.

It is acknowledged that localised groundwater flow directions may generally align with topography. As such groundwater may potentially flow in a southerly direction within the site towards the Gingin Brook before trending west in line with regional groundwater flow.

Depth to groundwater information is not available from DWER's Perth Groundwater Atlas and the Water Information Reporting online database only provides groundwater data for a single site approximately 500m to the south of the site. Data from this bore (WIN bore 61710528) indicates a maximum groundwater elevation of approximately 81.4 m Australian Height Data (mAHD) in 2008. Groundwater elevations have declined since at this location by approximately 1.5 m since 2008.

Information on the regional groundwater resources obtained from the DWER's online databases indicates that the site is underlain by a dual-layered aquifer system comprised of the following resources:

- Perth – Superficial Swan
- Perth – Leederville (confined)

Groundwater levels were measured across the site during geotechnical investigations conducted on the 16th and 17th August 2022 via a series of 26 bore holes across the development site, but this investigation is limited to the Stage 1 Town centre area where there are only three sites within the development boundary (Figure 4). The site investigations are described in detail in Section 3.0.

During the August 2022 site investigations, groundwater was encountered within all three of the bores (BH 7, BH8, and BH 13) which are located on the Stage 1 development of the Town Centre expansion area. At all these locations, groundwater level was at found at the ground surface level.

It should be noted that the rainfall recorded for August of 2022 exceeded the average monthly rainfall for this site. Further analysis indicates 254.4 mm of rainfall was recorded in the four weeks between 17th July 2022 and 17th August 2022 64% of the mean winter rainfall between 1st June – 31st August.

2.6.1. Additional groundwater monitoring

Subsequent groundwater monitoring post submission of the Lot 601 SSE (Pentium Water 2023) was completed by Hydr20 (Figure X). This monitoring included the installation of four groundwater bores across the site to further clarify the presence of groundwater at the site. These bores were constructed to depths ranging from 1.5 (shallow bores) to 8 meters below ground level (mbgl) (for the deeper groundwater bore). The results to date indicate:

- Shallow bores have not had any measurable groundwater:
 - Indicating that previous groundwater encountered on site was likely perched due to infiltration of surface water run-off from wider catchment.
- Deeper groundwater encountered at a depth of approximately 6 mbgl.





Figure 6: Groundwater monitoring bore locations



2.6.2. Groundwater and surface water licences

There are no groundwater licences associated with the site. A review of DWER’s online Groundwater Register (DWER 2023) indicate that there are a number groundwater and surface water licences within 500m of the site. A summary of the nearby water allocation licences is provided in Table 2 below.

Majority of the licences are located up- or cross-hydraulic gradient of the site, with those located down-hydraulic gradient or significantly close to the site discussed further below.

Most of the groundwater licences in close proximity to the site are within the confined Leederville aquifer. The only superficial groundwater licence is located up-hydraulic gradient of the site.

It is noted that a number of surface water drawpoints are identified on the Groundwater Register (DWER 2023), however at the time of writing no associated licence details were not available – this does not preclude the existence of surface water licences being present in close proximity to the site.

Given the above, and proposed wastewater treatment systems (refer Section 5.2). It is therefore unlikely that site development and related wastewater management will pose any risk to these licences.

Table 2: Surrounding groundwater licence holders (within 500 m of the site)

Licence number	Type	Owner	Resource	Volume (kL/yr)	Comment
157187	Groundwater	Slater, Geoffrey, Alan, Slater Annette Frances	Perth – Superficial Swan	154,000	Located 200 m north-west of site (up hydraulic gradient)
174201	Groundwater	Shire of Gingin	Perth – Leederville - Parmelia	22,950	Two sites – adjacent to the south of the site. Likely POS irrigation water.
65089	Groundwater	Water Corporation	Perth – Leederville - Parmelia	210,000 kL	Two sites – 500 m to the east of the site. Likely abstraction bores associated with the Gingin PDWSA
179971	Surface Water	Shire of Gingin	Gingin Brook 3	2,250 kL	Unknown use. 150 m east of the site
151889	Surface water	Greville, Maxine Carole	Gingin Brook 3	1,500 kL	Unknown use, 500 m south-west

2.7. Drainage

2.7.1. Pre-development

Surface water flows are anticipated to flow south overland towards the southern boundary of the site. A cut-off drain within the site and a shallow open drain following the fence-line have been constructed to direct flows to the east and west respectively and around the shire buildings to the south.

There are two minor catchments in the north of the site. One catchment in the northwest portion of the site drains to an external catchment through the site to culverts under Weld



St, then flowing south-east through the downstream property to Roe St. The other small catchment in the north-eastern corner of the site is in the Robinson St drainage system catchment.

All flows generated from the site that enter the drainage system are then conveyed to the Gingin Brook located approximately 250 m to the south of the site (Figure 7).



Figure 7: Surface water catchments and drainage

2.7.2. Post-development

Post-development drainage for the site will include the retention and infiltration of the first 15 mm of rainfall. Larger events and direct rainfall on the internal roads of the development will be conveyed via a piped road drainage network.



In addition, the road network drainage systems throughout Lot 601 and to the north of the Stage 1 Town Centre expansion area will capture and convey any surface water run-off from the site. Which will prevent perched water (as indicated in *Section 2.6*) to occur within the Stage 1 Town Centre expansion area.

The town centre will manage all stormwater generation within the town centre area through conveyance too, and retention/infiltration within a stormwater basin. This basin will also be vegetated to promote nutrient removal from stormwater.

2.8. Vegetation and exposure

The site has been extensively cleared for rural use purposes and consists of pasture except for spares trees and a remnant gathering of trees in the south-east corner. The site is predominantly comprised of open paddocks.

It is anticipated that any remnant trees retrained post-development will not impact LAA's.

2.9. Wetlands

A review of the Geomorphic Wetlands, Swan Coastal Plain (DBCA 2020) dataset indicates that are no geomorphic wetlands present within the site

There are also a few mapped wetlands in close vicinity of the site, as shown in Figure 8. The wetlands are located cross and down-hydraulic gradient of the site and include:

- UFI 15107 – Palusplain – Conservation Category Wetland (CCW) located approximately 300m south of the site associated with the Gingin Brook.
- UFI 11122 – Palusplain – Multiple use (MU) located approximately 320m south of the site associated with the Gingin Brook.
- UFI 13450 – Palusplain – Multiple use (MU) located approximately 600m south-west of the site associated with the Gingin Brook.
- UFI 11130 – Palusplain – Multiple use (MU) located approximately 950m south-west of the site associated with the Gingin Brook.
- UFI 11221 – Palusplain – Conservation Category Wetland (CCW) located approximately 1.5 km west of the site.
- UFI 11121 – Palusplain – Multiple use (MU) located approximately 950m north-east of the site associated with the Gingin Brook.



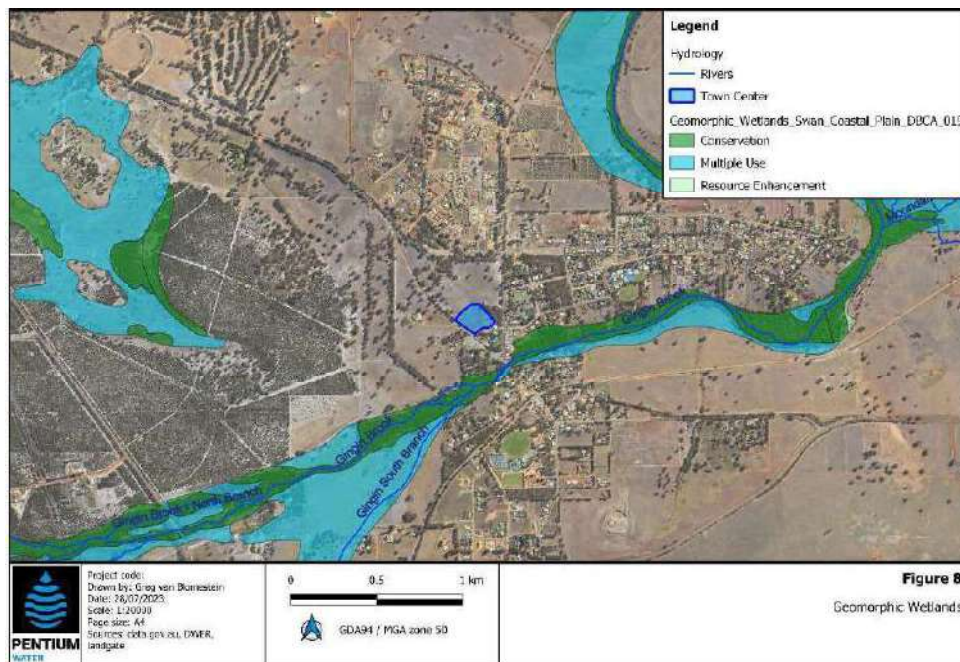


Figure 8: Geomorphic wetlands

2.10. Sewage sensitive areas

Sewage sensitive areas (SSAs) are proclaimed under the *Government Sewerage Policy (GSP)* (DPLH 2019) to protect groundwater and surface water systems. A review of the GSP online data set (National Map 2023) maps the site as being within a SSA as it is located within 1 km of significant wetlands (refer Figure 8).

The GSP (2019) requires that the lots within SSAs have a minimum lot size of 1 hectare. The stage 1 development will comply with this as the lot size is significantly larger than this. The minimum LAA can thus be achieved, and environmental impacts are considered acceptable as the LAA sizing requirements will be met (as discussed in Section 4.4) and given the treatment requirements (ATU with nutrient stripping) is not considered to pose an environmental or human health risk.

2.11. Bush Forever

There are no Bush Forever areas mapped within or near the site.

2.12. Existing and historic land use

The site has been historically used for rural purposes, with historical aerial photographs indicating that in 1960 the site had been extensively cleared.

2.13. Surrounding land use

Immediately to the north, east and south of the site lies the township of Gingin, comprising mainly of residential dwellings and a town centre. Further to the south (approx. 320m) lies the Gingin Brook and beyond that the remainder of the Gingin townsite. The west of the site lies pastoral properties including remnant vegetation, with the Brand highway located approximately 2 km to the west of the site.



3. Site and Soil Assessment

3.1. Site assessment

To assess the site's ability to accommodate the disposal of treated wastewater site investigations were completed by Structerre on the 16th and 17th August and again on the 7th of December. These investigations were completed in accordance with AS 1547 and superseded the previous site investigations completed as part of the Structerre 2022a and 2022b reports. The additional investigations comprised of:

- a site walkover including inspection of the site features relevant to AS1547-2012.
- drilling of boreholes at 26 locations, extending to depths of up to 2.5m unless refusal encountered prior.
- 8 x dynamic cone penetrometer (DCP) tests in accordance with AS 1289.6.3.2 (1997) to a depth of 1m for the evaluation of relative densities in the upper lithological profile.
- constant head infiltration testing at 26 locations of which 4 are found on the stage 1 site; and
- collection of representative soil samples for laboratory testing.

Sampling locations relevant to this SSE are presented in Figure 4.

A geotechnical engineer from Structerre conducted the walkover survey, selected and located the test positions, drilling the push core boreholes, logged the materials encountered in the boreholes, conducted the constant head infiltration testing, and collected representative samples for laboratory testing.

The test locations were positioned using a handheld GPS typically accurate to within ± 5 m in the horizontal plane. The approximate test locations are shown on Figure 4.

Details of the tests and individual site results are presented in Structerre (2022c) in Appendix A of Appendix A.

The following sections discuss the results obtained.

3.1.1. Boreholes

Boreholes were drilled using a sample retrieval probes. Borehole reports, including a photograph of the spoil are presented in Appendix C, Borehole and Test Pit Reports (Structerre, 2022c).

3.1.2. Dynamic Cone Penetrator Tests

Dynamic cone penetrometer (DCP) tests were carried out adjacent to each test pit. Results of the DCP testing are presented in Appendix D, Dynamic Cone Penetrometer Test Results (Structerre, 2022c). The tests were carried out in accordance with AS 1289.6.3.2.

3.1.2.1. Soil lithology

The soil profiles encountered onsite for all bore holes typically comprised clay, sandy clay and silty clays with the presence of gravels towards the surface with an overlying layer of topsoil. Many boreholes reported refusal due to still clays and hard gravels at depths typically around the 1.3 mbgl where encountered. The lithology closely corresponds with the regional landform descriptions outlined in Section 2.3. It should be noted that all clayey materials encountered and logged on site had a high plasticity – rather than being described as a stiff clay. This indicates that these clays contain water and although lower than the overlying topsoil and sands, would have a reasonable ability to infiltrate water. Section 3.1.5 provides the measured infiltration rates across the entire soil profile recorded across the site.

3.1.2.2. Particle size analysis

Particle size analysis was undertaken at one site BH01, located in the greater development envelope, north of the stage 1 development, with results presented in Appendix E (Structure 2022c). This site is considered acceptable to cover the stage 1 area as it was designed for the original full development.

Analyses have been reviewed against Table 5.1 of the *AS/NZS 1547 On-site domestic wastewater management* (Standards Australia and Standards New Zealand, 2012). Based on visual-tactile assessment undertaken during the site walkover, laboratory and infiltration



testing, the site soils have been determined to be soil Category 2 and Category 3 soils (AS 1547) with a hydraulic capacity of ranging from 2.6 – 5m/day.

3.1.3. Design loading rates

Based on Table 5.2 of AS 1547, the following design loading rates (DLRs) are considered applicable for treated effluent in trenches and beds as shown in Table 3, to provide a conservative approach, the DLR for Category 3 soils has been adopted.

Table 3: Design loading rates (mm/day)

Trenches and Beds			
Secondary Treated Effluent (Conservative Rate)	Secondary Treated Effluent (Maximum Rate)	Secondary Treated Effluent (ETA/ETS beds and trenches)	Secondary Treated Effluent (Spray or LPED irrigation)
30	50	Not recommended	3.5

Notes:

- The irrigation system has a depth of 100 – 150 mm in good quality topsoil, or 250 mm for LPED irrigation
- A suitably qualified and experienced design of effluent disposal systems should confirm the above design loading rates and suitable land application systems

3.1.4. Soil components analysis

Laboratory testing was carried out by Western Geotechnical and Laboratory Services in their NATA accredited laboratory and comprised the determination of:

- particle size distribution on 1 sample site for encountered soil profiles (BH01).
- Atterberg limits and linear shrinkage on 1 site for encountered soil profiles (BH01)
- dry density-moisture content relationship using modified compactive effort on 2 samples (BH13, BH14); and
- California bearing ratio (CBR) on 2 samples (BH13, BH14).

Laboratory results along with the test methods followed are presented in Structerre 2022a, and are summarised in Table 4.

Table 4: Summary of geotechnical laboratory test results

Test Location	Sample Depth (m)	Sieve analysis – % passing sieve size (mm)				LL (%)	PI (%)	LS (%)
		0.075	0.425	2.39	19			
BH01	1.0–1.6	90	96	98	100	70	42	14.5
BH01	1.3–1.9	56	80	98	100	55	34	13

Note:

- LL – Liquid Limit
- PI – Plasticity Index
- LS – Linear Shrinkage

Test Location	Sample Depth (m)	MMDD (t/m ³)	OMC (%)	CBR (%)	CBR Swell (%)
BH13	0.2-0.5	1.83	10	12 @5mm	0
BH14	0.2-0.5	1.99	10	40 @5mm	0

Note:

- MMDD – Maximum Modified Dry Density
- OMC – Optimum Moisture Content
- CBR – California Bearing Ratio (sample compacted to 95% MMDD, saturated, 4.5 kg surcharge)



3.1.4.1. Observed groundwater levels.

Groundwater level observations were conducted during the fieldwork conducted over the 16th and 17th of August 2022. Groundwater water was encountered at 3 of the bore holes drilled on the stage 1 development site. Groundwater was encountered at surface for BH07, BH08, and BH 13 within the Town Centre expansion area.

As previously discussed, Hyd2o has installed groundwater monitoring bores across Lot 601 to confirm ongoing groundwater levels across the site. This monitoring commenced in June 2023 and is ongoing. However, results have indicated that groundwater has not been encountered within 1.5 m of the current ground surface. This supports the theory that the shallow groundwater / saturation observed in 2022 was as a result of surface water flows from the broader site accumulating and infiltrating in the southern area of the site.

This is not anticipated to occur in the future once development is completed as the additional lot scale and road network drainage systems will prevent the accumulation of surface run-off through interception and conveyance to the POS area of the site.

As such, the groundwater levels beneath the pre-developed town-centre are understood to be greater than 1.5 mbgl. The post-development finished earthworks levels across the town-centre site and in particular the location of the proposed TWW disposal area has increased by approximately 2m above natural surface – thereby creating additional vertical separation to groundwater.

3.1.5. Infiltration testing

Additional infiltration testing has been conducted across the site beyond the investigations presented in the previous Structerre (2022a and b) reports due to the previous methods (falling head infiltration tests) not being supported by the GSP (2019) and AS 1547. As such, constant head infiltration tests were conducted using a constant head permeameter. The tests were generally conducted in accordance with Appendix G of AS 1547 (2012) “On-site domestic wastewater management”. The tests were conducted across the entire soil profile of each bore hole and as such represents an average infiltration across the soil profiles encountered. The results of the testing as provided in Structerre (2022c) are summarised in Table 6.

Table 5: Constant head infiltration test results

Test	Test Location (Lot)	Test Depth (m)	Soil Type	K ¹ (m/day)	Soil Category ²
BH 7	TC	0 – 1.4	Sand to sandy clay – trace gravel	5.0	2
BH 8	TC	0 – 1.5	Sand to sandy clay – trace gravel	3.3	2
BH 13	TC	0 – 1.4	Sand to sandy clay – trace gravel	2.6	3

Notes:

1. K-saturated hydraulic conductivity

2. Soil category in accordance with Table 5.1 and L1 of AS1547-2012.

3.1.6. Site soils summary

The soil profiles encountered closely correspond with the regional landform descriptions outlined in Section 2.3. Based on the soil descriptions across the site, and the physical performance of the soil profile as demonstrated by the constant head infiltration tests, the soil has been determined to at worst Category 3 classification as per the AS 1547 classification. As such, all design recommendations will be based on Category 3 soils as a conservative approach.

Groundwater was encountered at ground surface across the three sites in the stage 1 development area during August 2022. Based on the timing of the investigations (end of winter, end of August) coupled with the increased rainfall received during the 2022 winter months, this groundwater level is considered to represent the maximum groundwater level at this site. However, based on preliminary groundwater level results from ongoing monitoring and the impact that future drainage infrastructure will have on the site these



groundwater levels are not anticipated to occur in the future once development is completed.

The constant head infiltration tests indicate the site soils have high infiltration capacity to accommodate the infiltration of stormwater and Treated Wastewater (TWW). Clearance to groundwater will be managed through earthwork design at the site which will increase the ground surface elevation above the pre-development levels (and above the previously observed groundwater). This separation will also be managed by implementation of appropriate TWW systems and design of adequate LAA (area and elevation).

Given the relatively high occurrence of clayey sands and sandy clays across the site, the site soils are anticipated to have a very high P retention rate. It is recommended that fill be imported to the site to establish the LAA, where the re-use of in-situ is not available i.e., earthwork costs to high or insufficient volumes. Sands with a PRI of 10 are the recommended import fill option and would assist to retain phosphorus within the site's soils. Significant phosphorus retention is expected on site regardless of fill choice.



4. Land capability

4.1. Determination of soil-terrain units

Although a specific feature survey of the site has not been conducted and based on topographic mapping available and observations from the site visit, although relatively uniform, the site has been estimated to have an overall slope of approximately between 5 and 10% from the north to the south.

The maximum slope suitable for on-site sewage systems is dependent upon the type of system proposed and ranges from 10% to 30% (Standards Australia and Standards New Zealand 2012), noting that the surface application systems are more sensitive to slope. Although the slope ranges from 5-10%, the slope is relatively uniform across the site and as such, topographical units are not distinguished as part of this assessments.

Soil investigations (Section 3.1) align with the regional geological mapping and show the site can be generally categorised as sandy clay.

4.2. Sand soil-terrain unit

In accordance with Table 5.2 of the AS 1547, based on the soil descriptions across the site and the constant head infiltration test results, the soil has been determined to be either a soil Category 3 classification as per the AS 1547 classification (Standards Australia and Standards New Zealand, 2012). The results of the constant head infiltration test results, which have been conducted across the entire soil profile at each bore location are the primary driver of the adopted soil category as they provide an actual measure of the soil's physical ability to infiltrate TWW.

4.3. Additional site considerations

4.3.1. Flood-prone areas and erosion potential

The GSP (2019) outlines that on-site systems are not to be in areas that are subject to inundation and/or flooding in a 10% AEP rainfall event. As outlined in Section 2.7, it is expected that rainfall that the first 15 mm of rainfall events would be infiltrated locally, whilst larger events would be conveyed to a drainage network. Given the high permeability of the site soils, the generation of surface flows and erosion is considered a low risk.

The (then) Department of Water (now DWER) maps the site as not being within the flood level for the 1 in 10 (10%) annual exceedance probability (AEP).

4.3.1.1. Site inundation potential

The GSP (2019) outlines that the location of any LAA should not be in an area that becomes inundated during a 10% AEP event. According to the Bureau of Meteorology Design Rainfall Data System (2016), a 24 hr 10% AEP rainfall event for the site is 87.4 mm. The infiltration rate across the site has been measured as having a minimum infiltration rate (constant head infiltration) of 2.6 m/day or 2,600 mm/day. As such, site inundation is not anticipated to occur within the site due to the high infiltration rates, it acknowledged that clayey sands and sandy clays are present at the site, however they have been demonstrated to have a reasonable capacity for infiltration. Any surface water flows generated by any larger events will be directed to the drainage network to a stormwater basin which will prevent inundation occurring (The stage 1 town centre layout is provided in Appendix B).

4.3.2. Drainage system and significant wetland separation

The GSP (2019) stipulates that on-site sewerage systems should not be located within 100m of a drainage system that discharges directly into a waterway or significant wetland without treatment. It should be noted that the drainage basin within the Stage 1 site is located within approximately 20m of the TWW disposal area. The basin is predominantly designed to retain and infiltrate stormwater, however during large events >10% ARI it will discharge into the Lily King Road drainage network. This roadside drainage network ultimately conveys stormwater to the Gingin Brook.



Although this basin is located within 100 m of the TWW disposal area it is not considered to present a risk due to the following:

- The stormwater basin has been designed so that it does not intersect groundwater. i.e., the invert of the basin is above groundwater.
- The stormwater basin is located approximately 20m up-hydraulic gradient of the TWW disposal area and as such is will not receive any inputs from infiltrated TWW.
- As part of the earthworks, an underground bund comprised of low-permeability material (in-situ clay) will be constructed between the infiltration area and the stormwater basin to create a hydraulic barrier between the two systems to ensure that infiltrated TWW cannot physically flow into the stormwater basin.
- The stormwater basin will be vegetated to promote additional removal of nutrients.

4.3.2.1. Weld Street road-side swale

The weld street roadside swale is located adjacent to the western boundary of the site (Figure 7). The proposed LAA for Stage 1 of the Town Centre Expansion does not comply with the 100m setback as they are currently proposed to have an approximate 40 m setback.

This setback is considered to be acceptable. The Weld Street roadside swale is poorly defined and due to the drainage management proposed for the site it will not receive surface water discharge from the site, nor does it receive groundwater inflows. The roadside swale is extremely shallow, approx. <0.15m below ground level at its deepest and as such does not receive groundwater inflows. Groundwater levels (recorded in 18th August 2022) in the bore holes adjacent to the Weld Street drain indicated that the maximum groundwater level was recorded in BH06 at 0.6 mbgl (adjacent to location of Photo 1). This groundwater level is below the invert level of the Weld Street roadside swale.

Figures 9 to 14 are site photographs of the Weld Street roadside swale demonstrating the very shallow depth of this feature taken 15th March 2023. Subsequent groundwater monitoring during winter of 2023 which did not record any groundwater within 1.5m of the groundwater surface further corroborate that the Weld St roadside swale does not received groundwater inflows.





Figure 9: Weld Street roadside swale photo locations





Figure 10: Weld Street roadside swale Photo 1



Figure 11: Weld Street roadside swale Photo 2





Figure 12: Weld Street roadside swale Photo 3



Figure 13: Weld Street roadside swale Photo 4





Figure 14: Weld Street roadside swale Photo 5

4.3.3. Groundwater separation and site inundation potential

The groundwater clearance has been determined through monitoring that has occurred across the site during the 2023 winter months, commencing in June. Three shallow groundwater bores were installed across the site to a depth of 1.5 mbgl (Figure 6). Monitoring of these bores to date has not encountered any groundwater. A single deeper groundwater bore, installed to 8 mbgl, encountered groundwater at a depth of 6 mbgl.

4.3.3.1. Previous site saturation

As previously outlined in Section 3.1.4.1 ground saturation at the site was observed during August 2022 field investigation resulting in groundwater effectively being at ground surface. The inundation observed during the August 2022 fieldwork program in these lower reaches of the site is anticipated to be a result of surface water runoff from the upper areas of the site accumulating in the southern portion of the site due to the significant rainfall received in the preceding 4 weeks. Post-development this will no longer occur as all surface run-off will be intercepted and managed through the road drainage network. In addition, the civil works of Stage 1 of the Town Centre will result in the finished levels for the LAA to be approximately 2 m above the natural ground surface. The stormwater management design for the Town Centre will also prevent inundation as all stormwater will be conveyed to a drainage basin prior to infiltration.

4.3.4. Rainfall run-off and seepage

The UWMP (Hyd2o 2023) details the stormwater design strategy to manage stormwater post-development. The strategy includes the implementation of:

- Detention of the first rainfall on lots (likely through soak wells)
- Treatment of the first 15 mm of road run-off in biofiltration areas or swales
- Piped road drainage network sized to ensure roads are passable during 20% AEP event.
- Road reserves are capable of conveying up to and including the 1% AEP event.
- Flood detention areas to detain up to the 1% AEP event on-site
- 10% and 1% AEP flows to be maintained within pre-development flow rates.



4.3.5. Other setbacks

Other setback distances required for leach drain systems will be in accordance with AS 1547.

4.4. Available Land Application Area (LAA)

Table 8 outlines the length of leach drain requirements based on AS/NSZ 1547.2012 methodology and associated soil classification design loading rates (DLR). The use of irrigation as the disposal method is not recommended as it would require a larger LAA.

The calculation of the minimum trench length required to discharge wastewater (based on trench design) is described in AS 1547 using the following methodology:

$$L = Q / (DLR \times W)$$

Where:

L = length in meters

Q = designed daily flow L/day (6,290 based on Department of Health – wastewater loading rates)

DLR = designed loading rate in mm/day (30 mm/day as per AS 1547 for category 3 soils)

W = width in m (Aquarius Wastewater leach drain (AqwaCell 16 is 2 m)



Table 6: Land application areas for Stage 1 Town Centre (estimated loading 6,290 L/day (GSP, 2019))

Soil category	Soil texture	Land application area (m ²)	
		Leach Drain	
		Design loading rate (secondary treatment)	Length of trench(m) ^{1,2}
1	Gravels and sands	50	62.9
2	Sandy loams	50	62.9
3	Loams	30-50	62.9 - 105
4	Clay loams	10-30	105 – 314.5
5	Light clays	8-12	–262 - 393
6	Medium to heavy clays	Special design	Special design

Note: 1 – based on Aquarius AqwaCell 16 leach drain design with 2m width.

2 – AS 1547.2012 details leach drain length requirement determined by $Q / (DRL \times \text{width of drain})$

4.4.1.1. Town Centre

As the site has been classified as having Category 3 soils and leach drain width of 2m, the minimum leach drain length is 105 m based on a leach drain width. The detailed site development plans are shown in Figure 15 below. From these plans and advice from the developer on expected occupancy numbers the volumes of waste water generated were be estimated.

The hydraulic loading for the site is summarised in Table 8. The hydraulic loading assessment results in a total hydraulic loading of 6,290 L/day and is in accordance with AS/NSZ 1547.2012 and Supplement to Regulation 29 Health (treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974.

Based on loading rates, soil category DLR’s and prescribed LAA conversion factors the LAA required for the Town Centre is as follows:

- Total leach drain trench length required – 105 m (comprised of 5 individual leach drains)

The total occupancy numbers for Stage 2 of the Town Centre expansion are currently unknown. However, provision will be made for the duplication of the treated wastewater disposal requirements within Stage 2 i.e., will be a separate system to Stage 1. It is acknowledged that a separate approval will be required for Stage 2.



13 October 2023

Pentium Water Report

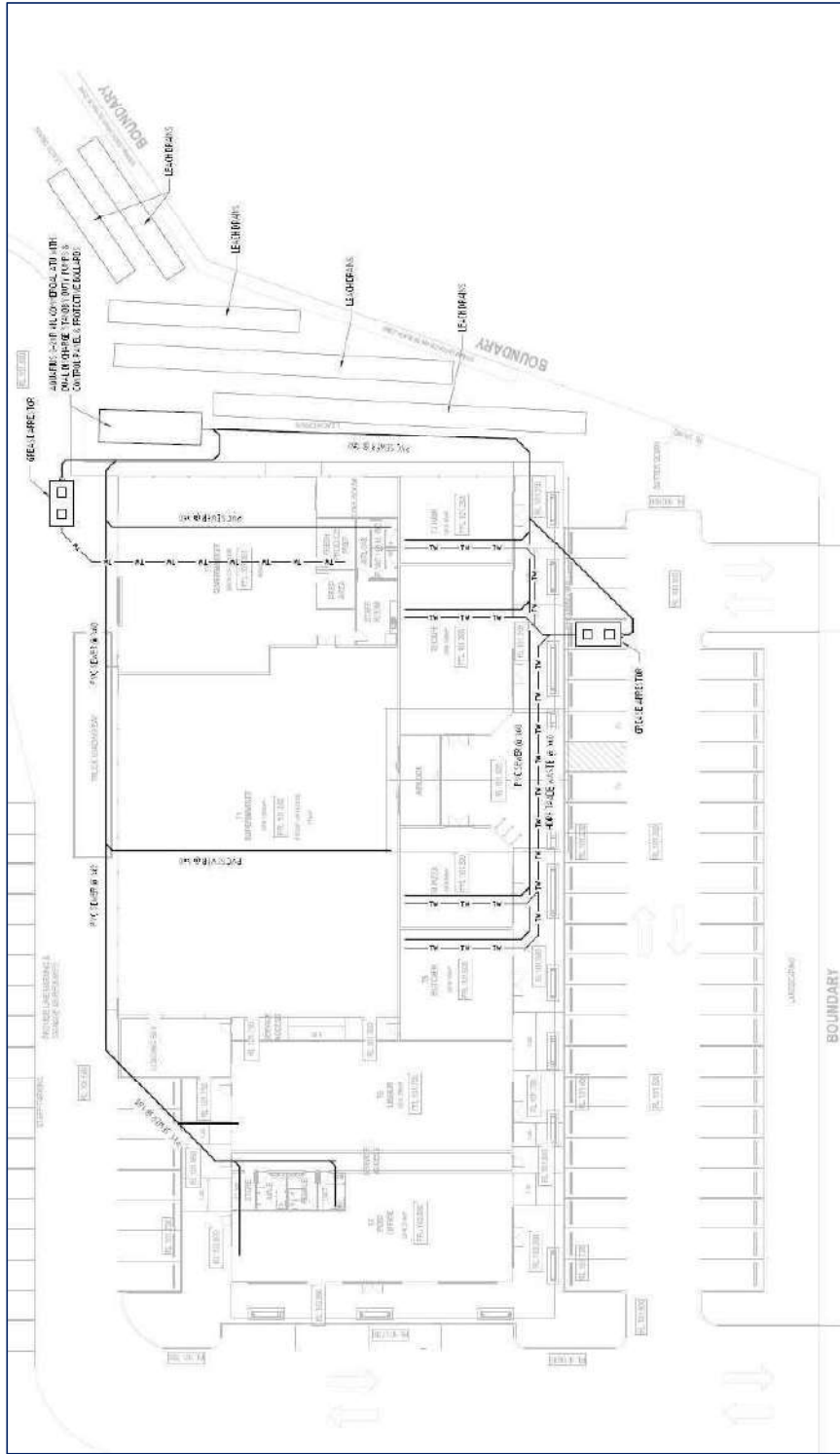


Figure 15: Detailed Town Centre Expansion Development Plan



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Table 7: Stage 1 Town Centre Expansion Area Hydraulic Loading Estimates

Stage 1				
Premises Type	User Type	Number of persons	Combined Flow (L/person/day)	Total Wastewater Generated (L/day)
Supermarket	Staff (non-showering)	5 staff x 2 shifts Total = 10	30	300
	Customers (using the on-site toilet facility)	150	10	1,500
Hair Dresser	Staff	3	70	210
	Customer (allowance for hair wash / shampoo)	40	15	600
	Allowance for cleaning of equipment			200
Café	Café staff	4	70	280
	Sit in customer	50	30	1,500
	Allowance for food preparation and cleaning			300
Pizza shop	Staff	4	70	280
	Allowance for food preparation and cleaning			300
Butcher	Staff	3	70	210
	Allowance for food preparation and cleaning			400
Liquor Store	Staff (non-showering)	2 staff x 2 shifts Total = 4	30	120
Post Office	Staff (non-showering)	3	30	90
Total				6,290 L/day



4.5. Results

The soil-terrain unit determined for the site can accommodate on-site sewage treatment and disposal.

Based on the above assessment, and through the special design of the treatment system to address the achievable setbacks as previously described, the site is considered suitable for on-site sewage treatment and disposal. This will be achieved in lines with the GSP (2019) and AS 1547.



5. Wastewater management

5.1. Site requirements

The GSP outlines the minimum site requirements for onsite sewerage disposal to protect public health and the environment. An onsite sewage system is not to be located within:

- a wellhead protection zone or on Crown land within a reservoir protection zone
- 30 metres of a private bore used for household/ drinking water purposes.
- 100 metres of a waterway or significant wetland and not within a waterway foreshore area or wetland buffer.
- 100 metres of a drainage system that discharges directly into a waterway or significant wetland without treatment
- any area subject to inundation and/or flooding in a 10% AEP rainfall event.
- 1.5 metres above the highest groundwater level (in sewerage sensitive area)

Additional setbacks to structures which impact the sizing and location of the available land application areas include:

- 1.2 metres between treatment tanks to buildings, property boundaries, driveways, paths, and other tanks
- 1.2 metres between tranches, beds and soak wells to trafficable areas
- 1.8 metres between tranches, beds and soak wells to boundary, building, tanks and other land application systems
- Sub surface dripper to
 - Boundaries, building, treatment tanks, driveways 0.5 m
 - Open drain 3.0 m
 - Garden bore 10 m.

This SSE has demonstrated that the site is able to achieve all the necessary buffers needed to protect public health and the environment.

5.2. Proposed treatment systems

The treatment systems must be designed and installed in accordance with AS 1547 and the DoH. Disposal and treatment systems approved by the DoH must be used. Due to the size of the lot, and the site being in a Sewerage Sensitive Area (proximity to sensitive wetlands), the site will be required to install a secondary treatment system (STS) (such as aerobic treatment unit) with nutrient removal capabilities. This will maximise the useability of the lot as secondary treated effluent requires a smaller LAA.

Primary treatment systems, including septic tanks are not suitable at this site due to its location within an SSA, as per ASNZ1547-2012.

STS, with nutrient removal capabilities can produce treated effluent of secondary standard, that is

- ≤ 20 mg/L of Biochemical Oxygen Demand (BOD),
- ≤ 30 mg/L of Total Suspended Solids (TSS) and
- ≤ 10 cfu/100 mL of *Escherichia (E) coli*.

In addition, the levels of nitrogen and phosphorus must be reduced to:

- < 10 mg/L nitrogen
- < 1 mg/L phosphorus.

5.3. Discharge loading rates

The hydraulic loading volume for Town Centre has been summarised in Table 8.

This results in a total hydraulic loading of 6,290 L/day and is in accordance with AS/NSZ 1547.2012 and Supplement to Regulation 29 Health (treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974.



The discharge loading rate adopted from Table 5.1 and L1 from AS/NZS 1547.2012 is 30mm/day which is the lower limit recommended for soil Category 3 soils and as such provides a conservative approach to the LAA design.

5.4. Land application system and disposal area

The treated wastewater is required to be disposed to land within the Stage 1 boundary. Based upon the land area requirements for the various disposal systems and the available land, leach drains will be used to dispose of the treated wastewater.

In addition, leach drains are recommended for this site as they result in a reduced human health risk through reducing potential contact with wastewater.

5.5. Land application area

5.5.1. Clearance to groundwater

2023 groundwater monitoring has demonstrated that groundwater clearance from the natural ground surface is at least 1.5 m – likely to be approximately 6mbgl. In addition, the civil works will result in the final land form being approximately 2 m higher than the pre-development land surface. As such the clearance to groundwater will be greater than the minimum requirement of 1.5 m.

5.5.2. Land application area

As detailed in Section 4.4, a leach drain system has been designed to accommodate a hydraulic load of 6,290 L/day. The disposal area complies with all setbacks other than being 100 m away from drains that flow directly into a sensitive environmental receptor – that being the Weld St road-side swale and the Brockman Street drainage system. However, as previously discussed both drainage systems do not receive groundwater inflows and as such will not receive any inflows from the TWW disposal system.



6. Summary

The development consists of an expansion of the Town Centre. The Town Centre expansion has an area of approximately 22,800 m². The site is in a Sewerage Sensitive Area (SSA) as it is located within 1 km of a sensitive wetland: CCW associated with the Gingin Brook. The site will be developed in a staged approach, each having separate wastewater disposal systems. The Stage 1 site has sufficient area to achieve the required LAA and environmental impacts are considered acceptable, the development is not anticipated to impact the nearby wetland due the treatment proposed, nor is it considered to pose an environmental or human health risk.

Results of the site and soil assessment indicate the soils have high infiltration capacity to accommodate the infiltration of stormwater and Treated Wastewater (TWW). Groundwater clearance of 1.5 m has been demonstrated through groundwater monitoring across the site during winter of 2023 indicating groundwater across the site is deeper than 1.5 m below the natural surface. In addition, the civil works for Stage 1 of the town centre will result in the disposal area being raised by approximately 2 m above the existing ground surface.

Previous inundation of the southern portion of Lot 601 will be controlled through the stormwater management systems (road drainage etc) within the urban area to the north. This will prevent inundation of the site which was previously observed in 2022. The 2023 groundwater monitoring conducted indicates that previous groundwater levels recorded in the southern portion of Lot 601 were as a result of the accumulation and infiltration of surface run-off from the upper catchment of the site. This will no longer occur post construction due to the stormwater controls that will be implemented.

Site soils are anticipated to have a very high P retention due to the clayey nature of the underlying geology.

It is recommended that if appropriate in-situ fill is unavailable, fill be imported to the site to complete the civil works to establish the LAA. Sands with a PRI of 10 are the recommended fill option and would provide additional phosphorus retention benefits. Significant phosphorus retention is expected on site regardless of fill choice.

Section 5.2.2 of the Government Sewerage Policy (2019) relating to the extent of seasonal inundation has been addressed by the following:

- Recent groundwater monitoring (winter 2023) has demonstrated groundwater to be a depth greater than 1.5 m below ground level.
- The proposed earthworks design of the Town Centre Expansion area and road drainage network of the remainder of the development have modified the sites hydrological regime to prevent the accumulation of surface run-off from the upper catchment area in the stage 1 portion of the site. This will prevent the accumulation and infiltration of surface runoff occurring as was observed during the August 2022 field investigations.
- Civil works within the Town Centre will result in the LAA being approximately 2m above the pre-development ground surface level.

LAA fill requirements have been provided based on achieving clearance to the observed maximum groundwater level (as per 2022 monitoring) in accordance with the GSP (2019).

This SSE demonstrates the site can accommodate a suitable wastewater management system.



7. Conclusion

The sewage management strategy for the site, as outlined in this report, has been developed to be consistent with the approach and requirement details in the *Government Sewerage Policy* (DPLH, 2019) and *AS/NZS 1547 On-site domestic wastewater management* (Standards Australia and Standards New Zealand 2012), and includes:

- Earthwork and stormwater drainage design to prevent accumulation of surface run-off and inundation in the site and associated LAA.
- Utilising secondary treatment systems with additional nutrient removal
- Appropriate sizing of the land application area / trench sizes based on the geotechnical investigations and classification of the soil classification of the site.
- Ensuring there is sufficient disposal area within the site.
- Special design of the treatment system to reduce the risk of groundwater pollution in accordance with AS 1547.
- Utilising ameliorated existing site soils or the importation of suitable soil (both with higher nutrient retention than the existing site soils) to comply with the disposal outlet height and minimum groundwater clearance requirement of 1.5 m. This soil will be assessed prior to the installation of the secondary treatment system to ensure the soil category and compliance with the design detailed within this document.
- Ensuring appropriate installation, monitoring and maintenance of the systems is conducted.

It is considered that the above investigations and management demonstrate that the site can accommodate the on-site treatment and disposal of sewage within the site and that this can be achieved in a way that mitigates the potential risk to the environmental and human receptors.



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- Structerre (2022c): General Site and Soil Evaluation Report – Lot 601 Brockman Street, Gingin. Unsubmitted report.



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Appendix A: Lot 601 Site and Soil Evaluation (Pentium Water 2023)



PENTIUM
WATER



SITE AND SOIL EVALUATION

Lot 601 Brockman Street, Gingin

ACUGING_01


20/03/2023



Document Status

Version	Purpose of document	Authored by	Reviewed by	Review Date
Draft A	Draft for Review	S. Hewitt		
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Approval for Issue

Name	Signature	Date
Shane McSweeney		20/03/23

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Executive Summary

Acumen Development Solutions (herein referred to as “Acumen”) proposes to develop and use Lot 601 Brockman Street, Gingin (herein referred to as “the site”), for residential lots, the extension of the Town Centre and associated Public Open Space (POS) with a total development area of approximately 17.6 hectares (ha). Individual lot sizes will range between approximately 980 and 2,600 m² with the Town Centre expansion area and associated POS comprising an area of approximately 22,700 m².

This SSE report has been prepared to expand on the work previously completed by Structerre (2022a and b) that more thoroughly addresses the human health and environmental risks raised in accordance with the Government Sewerage Policy 2019 (GSP) and AS/NZS 1547:2012 *On-site domestic wastewater management* (AS 1547) (Standards Australia and New Zealand, 2012) to support an updated Western Australian Planning Commission (WAPC) submission for the development. The infiltration test results presented within this report supersede the previously submitted results in the Geotechnical report (Structerre 2022a) and the Site and Soil Evaluation report (Structerre 2022b).

The site is zoned predominantly as “Residential” under the Shire of Gingin’ Local Planning Scheme (LSP) No. 9 with the southern portion of the site be classified as a combination of “Town Centre” and “Parks and Recreation”. The site is bounded by Brockman Street to north and east and Weld Street to the west. The southern boundary of the site adjoins the Shire of Gingin offices and town centre. Existing residential areas of the townsite are present adjacent to the north and the east of the site with the Gingin Brook located approximately 250 m to the south. The site is located approximately 66 km north-northeast of Perth central business district (CBD) within the Shire of Gingin (SoG)

The site is in a Sewerage Sensitive Area (SSA) as it is located within 1 km of a significant wetland. The GSP (2019) requires that the subdivided lots within SSAs have a minimum lot size of 1 hectare. It has been noted that the site has previously been provided with lot zoning within a regional structure plan and therefore possible these minimum lot sizes are not required provided that the minimum Land Application Area (LAA) can be achieved, and environmental impacts are considered acceptable. As the site is not anticipated to impact on any wetlands in proximity to the site (due to the nature of surface and groundwater flow), and the minimum LAA can be achieved, the development design with 980 – 2,600 m² lots is not considered to pose an environmental or human health risk.

Post-development earthwork and stormwater management of the development has been designed to prevent the accumulation and infiltration of surface water run-off that was observed during pre-development investigations in August 2022.

Results of the site and soil assessment indicate the soils have high infiltration capacity to accommodate the infiltration of stormwater and Treated Wastewater (TWW), however achieving the required clearance to groundwater 1.5m across was not achieved in a number of areas across the site. This will be managed through stormwater management, implementation of appropriate TWW systems and disposal design and adequate LAA design and construction. Site soils are anticipated to have a very high P retention due to the clayey nature of the underlying geology.

It is recommended that if appropriate in-situ fill is unavailable, fill be imported to the site to establish the LAA and an appropriate level above the natural ground surface to achieve the required groundwater clearances across the site. Sands with a PRI of 10 are the recommended fill option and would provide additional phosphorus retention benefits. Significant phosphorus retention is expected on site regardless of fill choice.

A proposed setback of 20m to the Weld Street roadside swale has been proposed. This poorly defined drainage feature, due to its shallow nature and the proposed ‘rear of lot’ drainage system will not receive groundwater or surface water inflows from the site.

This SSE demonstrates the site can accommodate a suitable wastewater management system through having sufficient area to accommodate the LAA and through being able to achieve the required groundwater clearance through importation of fill during the construction of individual LAA’s.



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1. Introduction

1.1. Background

Acumen Development Solutions (herein referred to as “Acumen”) proposes to develop and use Lot 601 Brockman Street, Gingin (herein referred to as “the site”), for residential lots, the extension of the Town Centre and associated Public Open Space (POS) with a total development area of approximately 17.6 hectares (ha). Individual lot sizes will range between approximately 980 and 2,600 m² with the Town Centre expansion area and associated POS comprising an area of approximately 31,808 m². The site is bounded by Brockman Street to north and east and Weld Street to the west. The southern boundary of the site adjoins the Shire of Gingin offices and town centre. Existing residential areas of the townsite are present adjacent to the north and the east of the site with the Gingin Brook located approximately 250 m to the south. The site is located approximately 66 km north-northeast of Perth central business district (CBD) within the Shire of Gingin (SoG). The location of the site is shown in Figure 1.



Figure 1: Site locations

1.2. Planning context

The site is zoned predominantly as “Residential” under the Shire of Gingin’ Local Planning Scheme (LSP) No. 9 with the southern portion of the site be classified as a combination of “Town Centre” and “Parks and Recreation”.



1.3. Proposed development

The development consists of R5 and R10/R30 lots (a total of 99 lots) comprising an area of 17.6 ha and an extension of the town centre in the southern portion of Lot 601 with an area of approximately 2.47 ha.

1.3.1. Lot zoning

Plate 1 below, which has been taken from the Shire of Gingin Council Minutes 6th December 2022 (available here: <https://www.gingin.wa.gov.au/council-meetings/past/2022>), details the recognition by the SoG that the site was previously zoned as R5 and R10/R20 density. In addition, it was acknowledged that deep sewer is cost prohibitive, and that onsite secondary treatment of wastewater is required.

Plate 2 demonstrates compliance of the subdivision proposed lots with the previously zoned lot densities.

The Government Sewerage Policy states:

Land in a sewerage sensitive area that is already zoned for urban use with a residential density coding of R2 to R10 under a local planning scheme or structure plan endorsed by the Western Australian Planning Commission, may be subdivided in accordance with the existing density coding. Where R10 subdivision is proposed, it should be demonstrated that the density coding was assigned with the understanding that reticulated sewerage would not be provided.

The land has been earmarked for these purposes for some considerable time, prior to the Government Sewerage Policy being introduced. Various investigations into the viability of deep sewer provision have proved it to be cost prohibitive. Given the circumstances, the officer is of the view that a secondary treatment unit servicing each lot is appropriate and the documentation provided in support of the subdivision adequately demonstrates the ability of the land to dispose of effluent.

The suggested conditions require a notification to be placed on the land titles to alert prospective purchasers that deep sewer is not available and that a secondary level treatment system is required.

The officer notes that the Department of Health will provide the WAPC with separate comments in this regard, as will the Department of Water and Environmental Regulation (DWER) in relation to water management.

Plate 1: Extract from Shire of Gingin minutes 6th December 2022

Design

The table below provides an overview of the proposed residential lot sizes:

	Required	Proposed
R5 minimum lot size	2000m ²	2,025m ² - compliant
R10 minimum lot size	875m ²	980m ² - compliant
Average lot size	1,000m ²	1,123m ² - compliant

Plate 2: demonstration of proposed lots compliance with previously assigned residential density coding.



1.4. Purpose of this report

This SSE report has been prepared to expand on the work previously completed by Structerre that more thoroughly addresses the human health and environmental risks raised in accordance with the Government Sewerage Policy 2019 (GSP) and AS/NZS 1547:2012 *On-site domestic wastewater management* (AS 1547) (Standards Australia and New Zealand, 2012) to support an updated Western Australian Planning Commission (WAPC) submission for the development. The site investigations and a draft and previously unsubmitted General Site and Soil Evaluation report prepared by Structerre (2022c) is provided in Appendix A.

1.5. Previous Reports

A number of geotechnical field programs and associated reporting have been previously undertaken to support the development of the Urban Water Management Plan (UWMP) (Hyd2o hydrology, 2023), these supporting reports are:

- Structerre (2022a) – Geotechnical Investigation: Proposed Residential Subdivision – Lot 601 Brockman St, Gingin WA, May 2022.
 - This report included site specific geotechnical investigations to support the development design including earthworks, road networks and the stormwater drainage design.
- Structerre (2022b). Site and Soil Evaluation for Onsite Sewage Management – Lot 601 Brockman Street, Gingin WA, September 2022.
 - This report was prepared to demonstrate the site's suitability to accommodate the disposal of treated wastewater (TWW) in accordance with the Government Sewerage Policy (GSP) (2019).

It should be noted that although the site infiltration tests (falling head infiltration test) as conducted for the above two reports was suitable for the design requirements of the UWMP, it was not a supported methodology by the GSP (2019). As such additional site investigation was undertaken which included the completion of 26 constant head infiltration tests across the development site in accordance with the GSP (2019).

This report presents and discusses the results of the additional constant head infiltration tests to demonstrate the site's compliance with the GSP (2019)



1.6. Previous site reports and investigations

Reports that have previously been prepared for the site and utilised to inform the development of the SSE are discussed below.

- Urban Water Management Plan – Lot 601 Brockman Street, Gingin (Hyd2o, 2022): An Urban Water Management Plan (UWMP) was prepared by Hyd2o hydrology in 2022 as required for subdivision submission and approval. The document covers the entire development and details the drainage management plan for the subdivision of the subject site.



2. Existing environment

2.1. Climate

The nearest Bureau of Meteorology (BoM) weather station to the site is Gingin (Station Number 9018), located approximately 0.5 km to the southwest of the site. Based on the rainfall data collected from 1891 to 2022 at this station, the local area experiences an average of 737.7 mm rainfall annually.

Other climate data has been taken from Gingin Aero (station number 9178) with evaporation data from Perth Airport (Station Number 9021) located approximately 65 km to the south of the site as this is the closest BoM recording weather station with this data. Based on climate data collected from 1968 to 2022, the local area experiences a mean maximum temperature of 33.2° C and a mean minimum temperature of 6.5°C (BoM 2022). The monthly mean climatic data for rainfall and temperature is summarised in Table 1 below, with monthly rainfall data for the previous few years presented in Figure 2.



Table 1: BoM Weather Stations No. 9018 (rainfall 1891-2022), 9178 (temperature) and 9021 (Perth Airport) evaporation (1986 to 2022)

Statistic	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Mean rainfall	10.2	13.6	17.9	33.3	97.3	140.2	145.6	113.3	69.2	46.4	20.0	10.8	737.7
Mean max temp	33.2	33.1	30.8	26.8	22.7	19.7	18.4	19.1	20.9	24.3	28.0	31.0	25.7
Mean min temp	16.4	17.1	15.4	12.0	8.9	7.2	6.5	6.6	7.4	9.1	11.9	14.5	11.1
Mean evaporation (mm)	316.2	268.8	238.7	150	93	66	65.1	80.6	111	167.4	228	282.1	2080.5

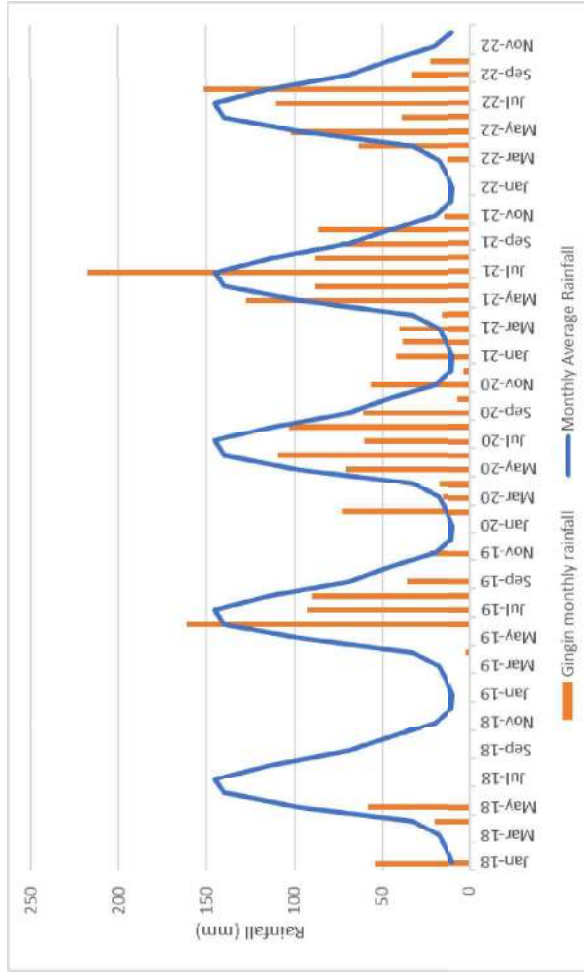


Figure 2: Monthly rainfall data - Gingin Station (BoM site 9018)



As shown in Figure 1, rainfall recorded for August of 2022 exceeded the average monthly rainfall for this site. Further analysis indicates 254.4 mm of rainfall was recorded in the four weeks between 17th July 2022 and 17th August 2022 64% of the mean winter rainfall between 1st June – 31st August.

Evaporation data estimated from The Department of Agriculture and Food (1987) data indicates that evaporation generally exceeds rainfall annually at the site. On average there are four months of the year (May to August) where the rainfall exceeds the evaporation at the site.

2.2. Topography

The regional topographic contours show that the site slopes in a south / south-easterly direction with elevations across the site ranging from approximately 130 m Australian Height Datum (m AHD) in the northern portion of the site to 98 m AHD in the south. The surface gradient of the site varies between 5 and 10% with an average slope of approximately 7%. Regional topographic contours are presented in Figure 3.



Figure 3: Site topography

2.3. Regional landforms and soils

The Gingin sheet of the 1:50,000 scale Environmental Geology series map indicates that the area is underlain by predominantly colluvium soil and undifferentiated sand.

Structerre's site geotechnical investigations conducted during May 2022 (13 bore holes) and August 2022 (30 boreholes) provided additional detail to the site geological conditions. The reported soil conditions broadly align with regional conditions. Three main soil profiles were identified across the site which are summarized below:



- **Profile 1:**
 - Topsoil – grey, fine to medium grained - 0.1 – 0.2 m
 - Silty sand – fine to medium – 0.2 – 1.2 m
 - Sand – grey, fine to medium grained, with clay and gravel inclusions – 1.2 – 2.5m
- **Profile 2:**
 - Topsoil – grey, fine to medium grained - 0.1 – 0.2 m
 - Silty sand – fine to medium – 0.2 – 0.65 m
 - Clay / sandy clay – high plasticity, trace sands and gravels – 0.65 – 2.5m
- **Profile 3:**
 - Topsoil – grey, fine to medium grained - 0 – 0.1 m
 - Clay / sandy clay, medium to fine grained, high plasticity with trace sands and gravels 0.1 – 2.5 m

The location of the bore holes conducted as part of the geotechnical investigations is presented in Figure 4.

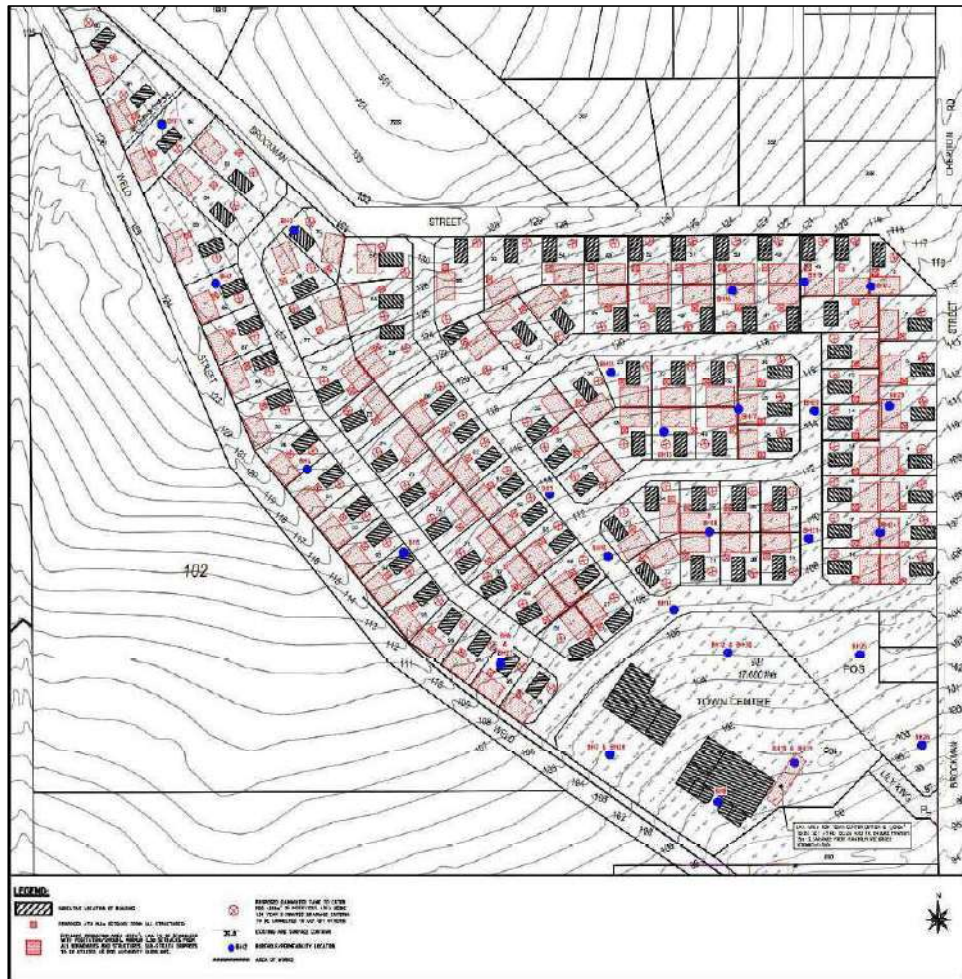


Figure 4: Investigation borehole locations (blue)



2.4. Acid sulfate soils

The (then) Department of Environmental Regulation (DER, now Department of Water and Environmental Regulation, DWER) mapped the site not having and acid sulphate soil risk within the site (refer Figure 5).

2.5. Public drinking water source areas

The site is not located within a public drinking water source area (PDWSA) and is located approximately 250 m southwest (down hydraulic gradient) of P2 public drinking water source area associated with the Gingin Water Reserve Area.



Figure 5: Acid sulfate soil mapping and PDWSA.

2.6. Groundwater

The site is located within the Gingin Townsite subarea of the Gingin Groundwater Management Area.

Department of Water and Environmental Regulation (DWER) groundwater contours are not available for the site, however according to the Perth Groundwater Map (DWER, 2022), contours starting approximately 3.5 km to the south of the site and indicate regional groundwater flows generally east to west. It is acknowledged that localised groundwater flow directions may generally align with topography. As such groundwater may potentially flow in a southerly direction within the site towards the Gingin Brook before trending west in line with regional groundwater flow.

Depth to groundwater information is not available from DWER's Perth Groundwater Atlas and the Water Information Reporting online database only provides groundwater data for a single site approximately 500m to the south of the site. Data from this bore (WIN bore 61710528) indicates a maximum groundwater elevation of approximately 81.4 m Australian



Height Data (mAHD) in 2008. Groundwater elevations have declined since at this location by approximately 1.5 m since 2008.

Information on the regional groundwater resources obtained from the DWER's online databases indicates that the site is underlain by a dual-layered aquifer system comprised of the following resources:

- Perth – Superficial Swan
- Perth – Leederville (confined)

Groundwater levels were measured across the site during geotechnical investigations conducted on the 16th and 17th August 2022 via a series of 26 bore holes across the site (Figure 4). The site investigations are described in detail in Section 3.0. During the August 2022 site investigations, groundwater was only encountered within five of the 26 bore holes (BH6, BH 7, BH8, BH 12 and BH 13) which are all located in the southern area of the site and predominantly the Town Centre expansion area. At these locations, groundwater was encountered at 0.6 metres below ground level (mbgl) at BH6 and at the ground surface at all other locations where groundwater was encountered.

It is noted that 13 bore holes where groundwater was not encountered did not extend past 1.5 mbgl. As such, these locations will be addressed on a site by site basis to ensure adequate groundwater clearance is achieved; this is further detailed in *Section 4.3.3*.

It should be noted that the rainfall recorded for August of 2022 exceeded the average monthly rainfall for this site. Further analysis indicates 254.4 mm of rainfall was recorded in the four weeks between 17th July 2022 and 17th August 2022 64% of the mean winter rainfall between 1st June – 31st August.

2.6.1. Groundwater and surface water licences

A review of DWER's online Groundwater Register (DWER 2023) indicate that there are a number groundwater and surface water licences within 500m of the site. A summary of the nearby water allocation licences is provided in Table 2 below.

Majority of the licences are located up- or cross-hydraulic gradient of the site, with those located down-hydraulic gradient or significantly close to the site discussed further below.

The majority of the groundwater licences in close proximity to the site are within the confined Leederville aquifer. The only superficial groundwater licence is located up-hydraulic gradient of the site.

It is noted that a number of surface water drawpoints are identified on the Groundwater Register (DWER 2023), however at the time of writing no associated licence details were not available – this does not preclude the existence of surface water licences being present in close proximity to the site.

Given the above, and proposed wastewater treatment systems (refer Section 5.2). It is therefore unlikely that site development and related wastewater management will pose any risk to these licences.

There are no groundwater licences associated with the site. However there are a number of groundwater and surface water licences within a 500 m radius of the site. These are summarised in Table 2 below.



Table 2: Surrounding groundwater licence holders (within 500 m of the site)

Licence number	Type	Owner	Resource	Volume (kL/yr)	Comment
157187	Groundwater	Slater, Geoffrey, Alan, Slater Annette Frances	Perth – Superficial Swan	154,000	Located 200 m north-west of site (up hydraulic gradient)
174201	Groundwater	Shire of Gingin	Perth – Leederville - Parmelia	22,950	Two sites – adjacent to the south of the site. Likely POS irrigation water.
65089	Groundwater	Water Corporation	Perth – Leederville - Parmelia	210,000 kL	Two sites – 500 m to the east of the site. Likely abstraction bores associated with the Gingin PDWSA
179971	Surface Water	Shire of Gingin	Gingin Brook 3	2,250 kL	Unknown use. 150 m east of the site
151889	Surface water	Greville, Maxine Carole	Gingin Brook 3	1,500 kL	Unknown use, 500 m south-west

2.7. Drainage

2.7.1. Pre-development

Surface water flows are anticipated to flow south overland towards the southern boundary of the site. A cut-off drain within the site and a shallow open drain following the fence-line have been constructed to direct flows to the east and west respectively and around the shire buildings to the south.

There are two minor catchments in the north of the site. One catchment in the northwest portion of the site drains to an external catchment through the site to culverts under Weld St, then flowing south-east through the downstream property to Roe St. The other small catchment in the north-eastern corner of the site is located in the Robinson St drainage system catchment.

All flows generated from the site that enter the drainage system are then conveyed to the Gingin Brook located approximately 250 m to the south of the site (Figure 6).





Figure 6: Surface water catchments and drainage

2.7.2. Post-development

Post-development drainage for the site will include the retention and infiltration of the first 15 mm of rainfall within individual lots. Larger events and direct rainfall on the internal roads of the development will be conveyed via a piped road drainage network.

Individual lot owners will be responsible for ensuring that all land application areas (LAA) are protected from surface flows generated within individual lots i.e. via spoon drains connected to soak wells etc. to prevent the flow of surface water impacting the LAA.

2.7.2.1. Additional rear of lot drainage

To protect lots that do not naturally grade towards the internal road and associated drainage network a lot drainage system has been proposed to capture any potential surface water flows that would potentially flow into adjacent downhill lots and the Weld Street road side swale (Figure 7). This system utilises drainage collection risers to capture any overflow from



the lot storage and any potentially generated surface runoff within the lot. Appendix B, provides the complete proposed 'rear of lot' drainage design. This drainage system does not preclude the lots from the requirement to retain the 15 mm rainfall event, but rather to manage any potential surface water flows generated from the pervious areas within the lot. Surface run-off generation potential is discussed in Section 4.3.1.1.

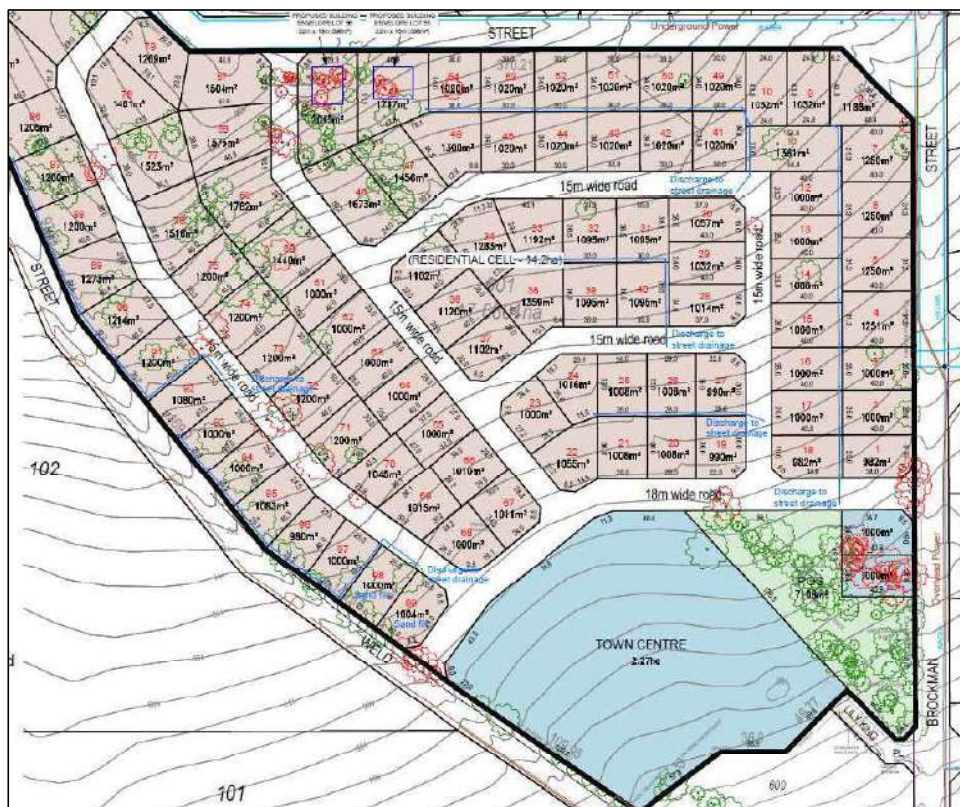


Figure 7: 'Rear of Lot' drainage network layout (dark blue lines)

2.8. Vegetation and exposure

The site has been extensively cleared for rural use purposes and consists of pasture with the exception of spars trees and a remnant gathering of trees in the south-east corner. The site is predominantly comprised of open paddocks.

It is anticipated that any remnant trees retrained post-development will not impact LAA's.

2.9. Wetlands

A review of the Geomorphic Wetlands, Swan Coastal Plain (DBCA 2020) dataset indicates that are no geomorphic wetlands present within the site

There are also a number of mapped wetlands in close vicinity of the site, as shown in Figure 8. The wetlands are located cross and down-hydraulic gradient of the site and include:

- UFI 15107 – Palusplain – Conservation Category Wetland (CCW) located approximately 300m south of the site associated with the Gingin Brook.
- UFI 11122 – Palusplain – Multiple use (MU) located approximately 320m south of the site associated with the Gingin Brook.



- UFI 13450 – Palusplain – Multiple use (MU) located approximately 600m south-west of the site associated with the Gingin Brook.
- UFI 11130 – Palusplain – Multiple use (MU) located approximately 950m south-west of the site associated with the Gingin Brook.
- UFI 11221 – Palusplain – Conservation Category Wetland (CCW) located approximately 1.5 km west of the site.
- UFI 11121 – Palusplain – Multiple use (MU) located approximately 950m north-east of the site associated with the Gingin Brook.

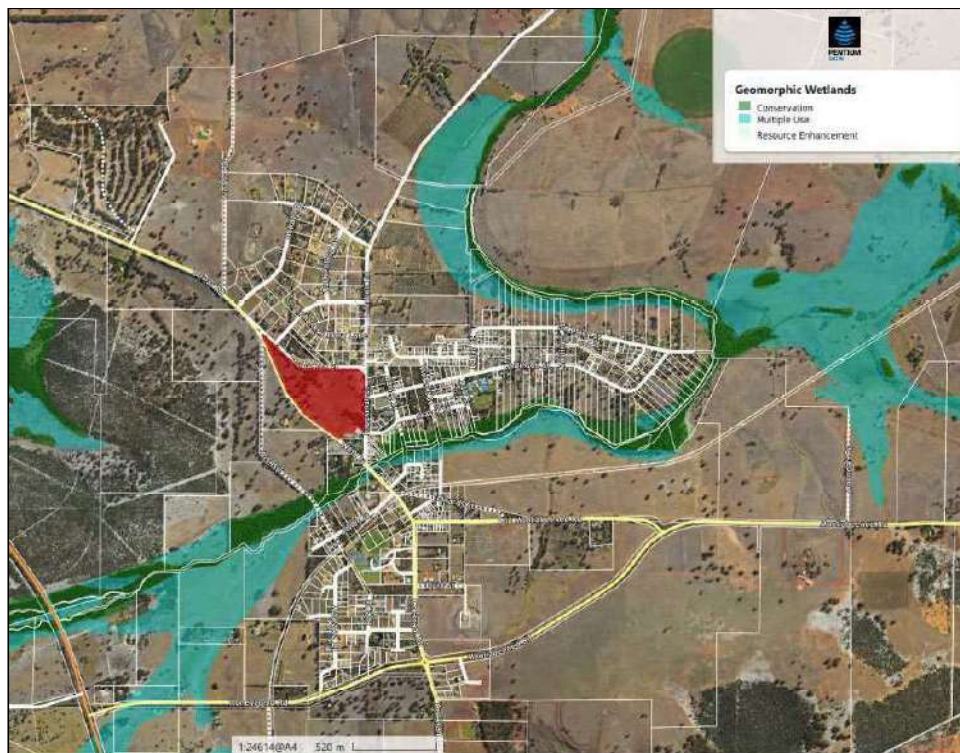


Figure 8: Geomorphic wetlands

2.10. Sewage sensitive areas

Sewage sensitive areas (SSAs) are proclaimed under the *Government Sewerage Policy (GSP)* (DPLH 2019) to protect groundwater and surface water systems. A review of the GSP online data set (National Map 2022) maps the site as being within a SSA as it is located within the Estuary catchments on the Swan Coastal Plain and within 1 km of significant wetlands (refer Figure 78).

The GSP (2019) requires that the subdivided lots within SSAs have a minimum lot size of 1 hectare. It has been noted that the site has previously been provided with lot zoning within a regional structure plan and therefore possible these minimum lot sizes are not required provided that the minimum LAA can be achieved, and environmental impacts are considered acceptable.

Although the lot sizes range from 980 – 2,600 m², they are large enough to adequately achieve the minimum LAA sizing requirements (as discussed in Section 4.4) and given the



treatment requirements (ATU with nutrient striping) is not considered to pose an environmental or human health risk.

2.11. Bush Forever

There are no Bush Forever areas mapped within or in close proximity to the site.

2.12. Existing and historic land use

The site has been historically used for rural purposes, with historical aerial photographs indicating that in 1960 the site had been extensively cleared.

2.13. Surrounding land use

Immediately to the north, east and south of the site lies the township of Gingin, comprising mainly of residential dwellings and a town centre. Further to the south (approx. 320m) lies the Gingin Brook and beyond that the remainder of the Gingin townsite. The west of the site lies pastoral properties including remnant vegetation, with the Brand highway located approximately 2 km to the west of the site.



3. Site and Soil Assessment

3.1. Site assessment

To assess the site's ability to accommodate the disposal of treated wastewater site additional investigations were completed by Structerre on the 16th and 17th August and again on the 7th of December. This investigation was completed in accordance with AS 1547 and supersedes the previous site investigations completed as part of the Structerre 2022a and 2022b reports. The additional investigations comprised of:

- a site walkover including inspection of the site features relevant to AS1547-2012.
- drilling of boreholes at 26 locations, extending to depths of up to 2.5m unless refusal encountered prior.
- 8 x dynamic cone penetrometer (DCP) tests in accordance with AS 1289.6.3.2 (1997) to a depth of 1m for the evaluation of relative densities in the upper lithological profile.
- constant head infiltration testing at 26 locations; and
- collection of representative soil samples for laboratory testing.

Sampling locations are presented in Figure 4.

A geotechnical engineer from Structerre conducted the walkover survey, selected and located the test positions, drilling the push core boreholes, logged the materials encountered in the boreholes, conducted the constant head infiltration testing, and collected representative samples for laboratory testing.

The test locations were positioned using a handheld GPS typically accurate to within ± 5 m in the horizontal plane. The approximate test locations are shown on Figure 1, Site and Location Plan..

Details of the tests and individual site results are presented in Structerre (2022c) in appendix A.

Perched water at the natural ground surface was observed on site, however, was only briefly noted in the report, with the specific whereabouts not mentioned.

The following sections discuss the results obtained.

3.1.1. Boreholes

Boreholes were drilled using a sample retrieval probes.. Borehole reports, including a photograph of the spoil are presented in Appendix C, Borehole and Test Pit Reports (Structerre, 2022c).

3.1.2. Dynamic Cone Penetrator Tests

Dynamic cone penetrometer (DCP) tests were carried out adjacent to each test pit. Results of the DCP testing are presented in Appendix D, Dynamic Cone Penetrometer Test Results (Structerre, 2022c). The tests were carried out in accordance with AS 1289.6.3.2.

3.1.2.1. Soil lithology

The soil profiles encountered onsite for all bore holes typically comprised clay, sandy clay and silty clays with the presence of gravels towards the surface with an overlying layer of topsoil. Many boreholes reported refusal due to still clays and hard gravels at depths typically around the 1.3 mbgl where encountered. The lithology closely corresponds with the regional landform descriptions outlined in Section 2.3. It should be noted that all clayey materials encountered and logged on site had a high plasticity – rather than being described as a stiff clay. This indicates that these clays contain water and although lower than the overlying topsoil and sands, would have a reasonable ability to infiltrate water. Section 3.1.5 provides the measured infiltration rates across the entire soil profile recorded across the site.

3.1.2.2. Particle size analysis

Particle size analysis was undertaken at two sites, with results presented in Appendix E (Structure 2022c).

Analyses have been reviewed against Table 5.1 of the *AS/NZS 1547 On-site domestic wastewater management* (Standards Australia and Standards New Zealand, 2012). Based on



visual-tactile assessment undertaken during the site walkover, laboratory and infiltration testing, the site soils have been determined to be soil Category 2 and Category 3 soils (AS 1547) with a hydraulic capacity of ranging from 2.6 – 8.1 m/day.

3.1.3. Design loading rates

Based on Table 5.2 of AS 1547, the following design loading rates (DLRs) are considered applicable for treated effluent in trenches and beds as shown in Table 3, to provide a conservative approach, the DLR for Category 3 soils has been adopted.

Table 3: Design loading rates (mm/day)

Trenches and Beds			
Secondary Treated Effluent (Conservative Rate)	Secondary Treated Effluent (Maximum Rate)	Secondary Treated Effluent (ETA/ETS beds and trenches)	Secondary Treated Effluent (Spray or LPED irrigation)
30	50	Not recommended	3.5

Notes:

- The irrigation system has a depth of 100 – 150 mm in good quality topsoil, or 250 mm for LPED irrigation
- A suitably qualified and experienced design of effluent disposal systems should confirm the above design loading rates and suitable land application systems

3.1.4. Soil components analysis

Laboratory testing was carried out by Western Geotechnical and Laboratory Services in their NATA accredited laboratory and comprised the determination of:

- particle size distribution on 11 samples.
- Atterberg limits and linear shrinkage on 11 samples.
- dry density-moisture content relationship using modified compactive effort on 3 samples; and
- California bearing ratio (CBR) on 3 samples.

Laboratory results along with the test methods followed are presented in Appendix F (Structerre 2022a), Laboratory Test Results – Geotechnical (Galt, 2022) and are summarised in Table 4.

Table 4: Summary of geotechnical laboratory test results

Test Location	Sample Depth (m)	Sieve analysis – % passing sieve size (mm)				LL (%)	PI (%)	LS (%)	MMDD (t/m ³)	OMC (%)	CBR (%)	CBR Swell (%)
		0.075	0.425	2.39	19							
BH01	1.0–1.6	90	96	98	100	70	42	14.5	1.83	10	12	0
BH02	1.3–1.9	56	80	98	100	55	34	13	1.83	10	40	0

Note:

- LL – Liquid Limit
- PI – Plasticity Index
- LS – Linear Shrinkage
- MMDD – Maximum Modified Dry Density
- OMC – Optimum Moisture Content
- CBR – California Bearing Ratio (sample compacted to 95% MMDD, saturated, 4.5 kg surcharge)

3.1.4.1. Observed groundwater levels

Groundwater level observations were conducted during the fieldwork conducted over the 16th and 17th of August 2022. Groundwater water was not encountered at 21 of the 26 bore



holes drilled on the site. Groundwater was however, encountered at a depth of 0.6 m at BH06 which is located in the south west corner of the residential area (Lot 98) and at ground level at BH07, BH08, BH12 and BH 13 which are all located in the Town Centre expansion area.

It is also noted that a number of the boreholes did not reach the target depths of 1.5 mbgl or greater due to refusal on hard clays or hard gravels. As such, a 1.5 m clearance to groundwater could not be confirmed. In these instances, the total drilled depth has been adopted as the maximum groundwater level for the purposes of determining the LAA design datums.

Table 5 below presents the bore hole depths, observed groundwater levels and adopted groundwater levels for the site from August 2022 site investigations. Where clearance to groundwater was not confirmed to be 1.5 m or greater, clearance requirements will be managed through the importation of fill to ensure LAA compliance with GSP (2019). Further details on the LAA design are provided in *Section 5.5*.

Table 5: Observed groundwater levels

Test ID	Associated lot	Bore hole depth (mbgl)	Groundwater depth (mbgl)	Minimum Groundwater Clearance (mbgl)	Additional fill requirement (m) ²
BH 1	82	1.9	GNE	1.9	0
BH 2	86	1.3	GNE	1.3	0.2
BH 3	79	2.5	GNE	2.5	0
BH 4	90/91	1.3	GNE	1.3	0.2
BH 5	95	1.2	GNE	1.2	0.2
BH 6 / 27	98	2.5	0.6	0.6	0.9
BH 7 / 28	TC	1.4	0 (at ground level)	0	1.5
BH 8 / 29	TC	1.5	0 (at ground level)	0	1.5
BH 9	64	2.5	GNE	2.5	0
BH 10	23/68	2.5	GNE	2.5	0
BH 11	22 / road	1.5	GNE	1.5	0
BH 12 / 30	TC	1.9	0 (at ground level)	0	1.5
BH 13 / 31	TC	1.4	0 (at ground level)	0	1.5
BH 14	33	1.8	GNE	1.8	0
BH 15	39	1.3	GNE	1.3	0.2
BH 16	42	1.1	GNE	1.1	0.4
BH 17	29	1.6	GNE	1.6	0
BH 18	21/25	1.1	GNE	1.1	0.5
BH 19	10	1.3	GNE	1.3	0.2
BH 20	14	1.1	GNE	1.1	0.4
BH 21	19	1.1	GNE	1.1	0.4
BH 22	8	1.5	GNE	1.5	0
BH 23	5	1.3	GNE	1.3	0.2
BH 24	2	1.3	GNE	1.3	0.2
BH 25	TC POS	0.8	GNE	0.8	0.7
BH 26	TC POS	0.8	GNE	0.8	0.7

Notes: 1. GNE – Groundwater Not Encountered

2. additional fill required to achieve the LAA base level with 1.5 m groundwater separation. Does not include fill requirements for the installation of leach drains



3.1.5. Infiltration testing

Additional infiltration testing has been conducted across the site beyond the investigations presented in the previous Structerre (2022a and b) reports due to the previous methods (falling head infiltration tests) not being supported by the GSP (2019) and AS 1547. As such, constant head infiltration tests were conducted using a constant head permeameter. The tests were generally conducted in accordance with Appendix G of AS 1547 (2012) “On-site domestic wastewater management”. The tests were conducted across the entire soil profiled of each bore hole and as such represents an average infiltration across the soil profiles encountered. The results of the testing as provided in Structerre (2022c) are summarised in Table 6.

Table 6: Constant head infiltration test results

Test	Test Location (Lot)	Test Depth (m)	Soil Type	K ¹ (m/day)	Soil Category ²
BH 1	82	0 – 1.9	Sand to clay – trace gravel	7.2	2
BH 2	86	0 – 1.3	Sand to sandy clay – trace gravel	5.7	2
BH 3	79	0 – 1.2	Silty sand to sand – trace gravel	5.6	2
BH 4	90/91	0 – 1.3	Sand to sandy clay – trace gravel	5.4	2
BH 5	95	0 – 1.2	Sand to sandy clay – trace gravel	7.7	2
BH 6 / 27	98	0 – 2.5	Sand to sandy clay – trace gravel	5.4	2
BH 7 / 28	TC	0 – 1.4	Sand to sandy clay – trace gravel	5.0	2
BH 8 / 29	TC	0 – 1.5	Sand to sandy clay – trace gravel	3.3	2
BH 9	64	0 – 2.5	Silty sand to sandy clay – trace gravel	6.2	2
BH 10	23/68	0 – 2.5	Sand to sandy clay – trace gravel	6.5	2
BH 11	22 / road	0 – 1.5	Sandy clay with gravel	4.7	2
BH 12 / 30	TC	0 – 1.9	Sand to sandy clay – trace gravel	3.2	3
BH 13 / 31	TC	0 – 1.4	Sand to sandy clay – trace gravel	2.6	3
BH 14	33	0 – 1.8	Silty sand to sandy clay – trace gravel	4.6	2
BH 15	39	0 – 1.3	Silty sand to sandy clay – trace gravel	5.0	2
BH 16	42	0 – 1.1	Silty sand to sandy clay – trace gravel	3.1	3
BH 17	29	0 – 1.6	Silty sand to sandy clay – trace gravel	4.9	2
BH 18	21/25	0 – 1.1	Silty sand to sandy clay – trace gravel	4.6	2
BH 19	10	0 – 1.3	Silty sand to sandy clay – trace gravel	3.4	3
BH 20	14	0 – 1.1	Silty sand to sandy clay – trace gravel	3.4	3
BH 21	19	0 – 1.1	Sandy clay with gravel	3.6	3
BH 22	8	0 – 1.5	Silty sand to sandy clay – trace gravel	5.1	2
BH 23	5	0 – 1.3	Sand to sandy clay – trace gravel	6.0	2
BH 24	2	0 – 1.3	Sand to sandy clay – trace gravel	8.1	2
BH 25	TC POS	0 – 0.8	Gravelly sand with clay	5.3	2
BH 26	TC POS	0 – 0.8	Gravelly sand with clay	6.6	2

Notes:

1. K-saturated hydraulic conductivity

2. Soil category in accordance with Table 5.1 and L1 of AS1547-2012.

3.1.6. Site soils summary

The soil profiles encountered closely correspond with the regional landform descriptions outlined in Section 2.3. Based on the soil descriptions across the site, and the physical performance of the soil profile as demonstrated by the constant head infiltration tests, the soil has been determined to predominantly be soil Category 2 classification as per the AS 1547 classification. However, there are areas where a classification of soil Category 3 is



appropriate due to the recorded infiltration rates. As such, all design recommendations will be based on Category 3 soils as a conservative approach. It is acknowledged that Structerre (2022b) reported that the site soils are Category 4 based upon infiltration testing results. It should be noted this recommendation was based upon results from a falling head infiltration test method which is not supported by the GSP (2019) and as such these results have been superseded by the results reported in this report.

Groundwater was encountered between ground surface and 0.6 mbgl across five bore holes in the south-west of the site during August 2022. Based on the timing of the investigations (end of winter, end of August) coupled with the increased rainfall received during the 2022 winter months, this groundwater level is considered to represent the maximum groundwater level at this site.

For borehole locations that did not extend to >1.5mbgl, the maximum groundwater level at the depth of refusal has been adopted and is considered to be a conservative approach.

The constant head infiltration tests indicate the site soils have high infiltration capacity to accommodate the infiltration of stormwater and Treated Wastewater (TWW). However, areas of the site have not demonstrated a groundwater separation distance of at least 1.5m, this will be managed implementation of appropriate TWW systems and design of adequate LAA (area and elevation).

Given the relatively high occurrence of clayey sands and sandy clays across the site, the site soils are anticipated to have a very high P retention rates. It is nevertheless recommended that fill be imported to the site to establish the LAA, where the re-use of in-situ is not available i.e., earthwork costs too high or insufficient volumes. Sands with a PRI of 10 are the recommended import fill option and would assist to retain phosphorus within the site's soils. Significant phosphorus retention is expected on site regardless of fill choice.



4. Land capability

4.1. Determination of soil-terrain units

Although a specific feature survey of the site has not been conducted, and based on topographic mapping available and observations from the site visit, although relatively uniform, the site has been estimated to have an overall slope of approximately between 5 and 10% from the north to the south.

The maximum slope suitable for on-site sewage systems is dependent upon the type of system proposed and ranges from 10% to 30% (Standards Australia and Standards New Zealand 2012), noting that the surface application systems are more sensitive to slope. Although the slope ranges from 5-10%, the slope is relatively uniform across the site and as such, topographical units are not distinguished as part of this assessments.

Soil investigations (Section 3.1) align with the regional geological mapping and show the site can be generally categorised as sandy clay.

4.2. Sand soil-terrain unit

In accordance with Table 5.2 of the AS 1547, based on the soil descriptions across the site and the constant head infiltration test results, the soil has been determined to be either a soil Category 2 or Category 3 classification as per the AS 1547 classification (Standards Australia and Standards New Zealand, 2012). The results of the constant head infiltration test results, which have been conducted across the entire soil profile at each bore location are the primary driver of the adopted soil category as they provide an actual measure of the soil's physical ability to infiltrate TWW.

4.3. Additional site considerations

4.3.1. Flood-prone areas and erosion potential

The GSP (2019) outlines that on-site systems are not to be located in areas that are subject to inundation and/or flooding in a 10% AEP rainfall event. As outlined in Section 2.7, it is expected that rainfall that the first 15 mm of rainfall events would be infiltrated locally, whilst larger events would be conveyed to a road piped network. Given the high permeability of the site soils, the generation of surface flows and erosion is considered to be a low risk.

The (then) Department of Water (now DWER) maps the site as not being within the flood level for the 1 in 10 (10%) annual exceedance probability (AEP).

4.3.1.1. Site inundation potential

The GSP (2019) outlines that the location of any LAA should not be in an area that becomes inundated during a 10% AEP event. According to the Bureau of Meteorology Design Rainfall Data System (2016), a 24 hr 10% AEP rainfall event for the site is 87.4 mm. The infiltration rate across the site has been measured as having a minimum infiltration rate (constant head infiltration) of 2.6 m/day or 2,600 mm/day. As such, site inundation is not anticipated to occur within the lots due to the high infiltration rates, it acknowledged that clayey sands and sandy clays are present at the site, however they have been demonstrated to have a reasonable capacity for infiltration. Any surface water flows generated by any larger events will be directed to the 'rear of lot' drainage network (Figure 7) which will prevent inundation at a lot level occurring (complete design layout is provided in Appendix B).

4.3.2. Drainage system and significant wetland separation

The GSP (2019) stipulates that on-site sewerage systems should not be located within 100 m of a drainage system that discharges directly into a waterway or significant wetland without treatment. Although there are a number of lots that are within 100 m of a drainage system that will discharge directly into the Gingin Brook, all lots will have ATU systems with nutrient stripping as per the GSP (2019).

As outlined in Section 2.9 the site maintains the 100 m setback from the down-gradient CCW's associated with the Gingin Brook, as shown in Figure 8.



4.3.2.1. Weld Street road-side swale

The weld street roadside swale is located adjacent to the western boundary of the site (Figure 6). This proposed LAA for the lots along the western boundary of the site do not comply with the 100m setback as they are currently proposed to have an approximate 20 m setback.

This setback is considered to be acceptable. The Weld Street roadside swale is poorly defined and due to the drainage management proposed for the site ('rear of lot' drainage) it will not receive surface water discharge from the site, nor does it receive groundwater inflows. The roadside swale is extremely shallow, approx. <0.15m below ground level at its deepest and as such does not receive groundwater inflows. Groundwater levels (recorded in 18th August 2022) in the bore holes adjacent to the Weld Street drain indicated that the maximum groundwater level was recorded in BH06 at 0.6 mbgl (adjacent to location of Photo 1). This groundwater level is below the invert level of the Weld Street roadside swale.

Figures 9 to 14 are site photographs of the Weld Street roadside swale demonstrating the very shallow depth of this feature taken 15th March 2023.



Figure 9: Weld Street roadside swale photo locations





Figure 10: Weld Street roadside swale Photo 1



Figure 11: Weld Street roadside swale Photo 2





Figure 12: Weld Street roadside swale Photo 3



Figure 13: Weld Street roadside swale Photo 4





Figure 14: Weld Street roadside swale Photo 5

4.3.2.2. Brockman Street Drain

The Brockman St drain (Figure 6) is located approximately 60m to the east of the LAA proposed for the eastern most lots of the development. This is considered acceptable as this drain is a piped system and does not receive surface water flows from the site, nor does it receive groundwater inputs.

4.3.3. Groundwater separation and site inundation potential

The groundwater clearance has been determined during observations made during the August 2022 field investigations. Groundwater was only encountered in five of the 26 bore holes conducted across the site and clustered in the south-western portion of the site. Groundwater in this area was measured as ranging from being present at the surface to 0.6 mbgl. Although the remaining bore holes did not encounter groundwater, a number of these bore holes did not extend to 1.5 mbgl or greater (Refer Table 5). As such where bore holes did not extend to >1.5mbgl, the end of the bore hole has been adopted as the maximum groundwater level for the site as a conservative approach.

Additional testing of any imported fill that underlays the disposal area will be required to determine and confirm the soil category of the introduced fill/soil mixture as per AS 1547 and ensure the capacity of the soil to accommodate sewage disposal.

4.3.3.1. Previous site saturation

As previously outlined in Section 3.1.4.1 ground saturation in the southern area of the site was observed during August 2022 field investigation resulting in groundwater effectively being at ground surface. The inundation observed during the August 2022 fieldwork program in these lower reaches of the site is anticipated to be a result of surface water runoff from the upper areas of the site accumulating in the southern portion of the site due to the significant rainfall received in the preceding 4 weeks. Post-development this will no longer occur as all surface run-off will be intercepted and managed through the 'rear of lot' and road drainage network as well as through the earthworks design for the town centre.



4.3.3.2. Residential lots

Based on the field observations and the depths of the bore holes conducted during the August 2022 fieldworks, recommended additional fill above the natural ground surface has been proposed for the LAA. The proposed additional fill depths in the vicinity of individual bore holes has been outlined previously in Table 5 and summarised in Table 7 below. Figure 15 below presents the proposed additional fill depths for the LAA across the site to achieve a minimum of 1.5 m clearance above the adopted maximum groundwater level for the site.

As such, the wastewater treatment and disposal system design datum has been proposed for each site as detailed in Table 8 that achieves a groundwater separation distance of 1.5m as per GSP (2019).

Table 7: Proposed wastewater treatment system LAA fill requirements above natural surface.

Lot number	LAA additional fill requirements (m)
6-9, 11-19, 27-30, 33-37, 57-67, 78-58	0
31, 32, 38, 40, 72-77	0.1
1-5 ,10 ,20 ,2 2,24 ,26 ,41 ,43 ,49 ,51 ,70 ,71 , 86-94	0.2
42, 50, 95	0.4
96	0.6
97	0.8
98, 99	0.9



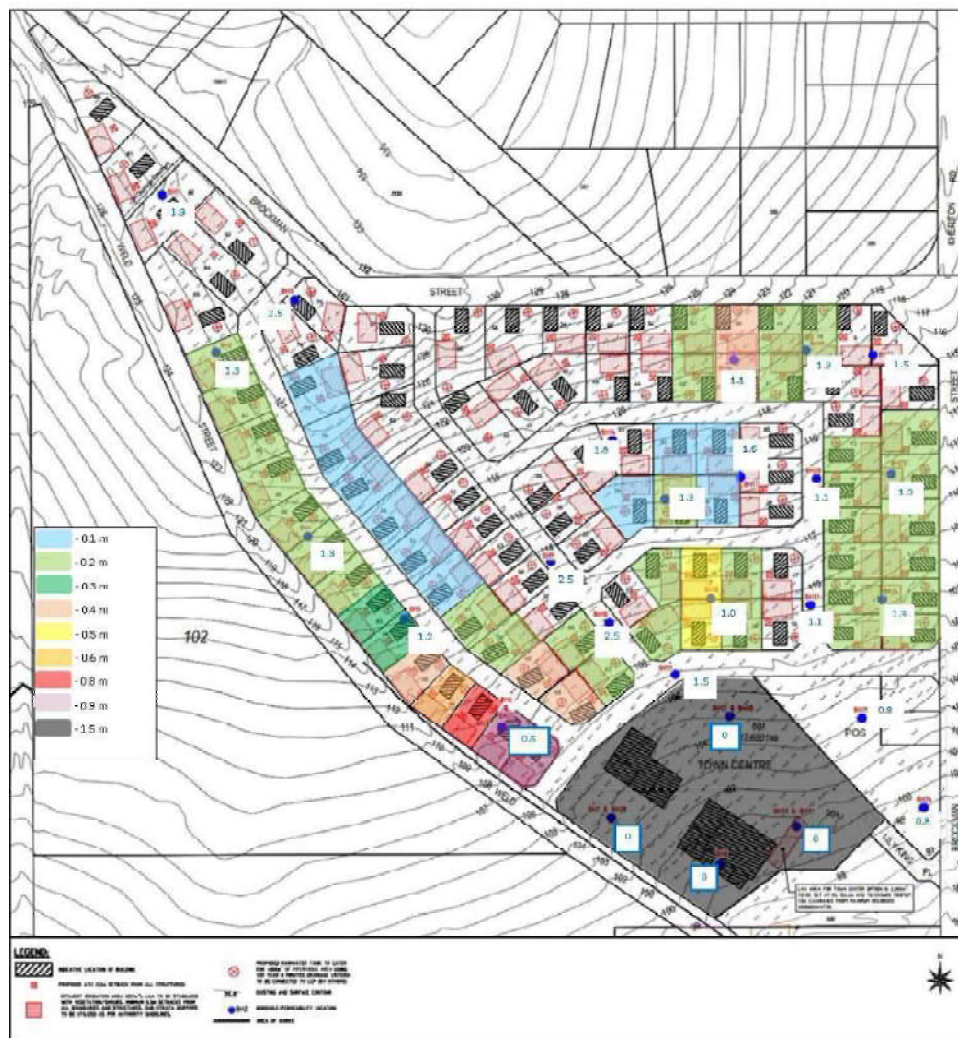


Figure 15: LAA fill requirements above natural surface (adopted maximum groundwater levels in blue)

4.3.3.3. Town Centre

It was observed during the August 2022 site investigations that groundwater was encountered at the ground surface and as such would require the LAA to be raised by at least 1.5m above natural ground surface to achieve the required groundwater separation distance. The proposed earthworks design indicate that the Town Centre will be graded to increase the surface elevation approximately 3 m above the existing natural surface in the south-eastern portion of the site. This would raise the LAA by approximately 3 m above the existing natural surface and provide adequate groundwater separation distance. A proposed cut and fill plan for the Town Centre has been included in Appendix C. In addition, the post development 'rear of lot' and road drainage networks will prevent future surface run-off to accumulate in this southern portion of the site which will prevent groundwater from rising to this pre-development level.



4.3.4. Rainfall run-off and seepage

The UWMP (Hyd2o 2023) details the stormwater design strategy to manage stormwater post-development. The strategy includes the implementation of:

- Detention of the first rainfall on lots (likely through soak wells)
- Treatment of the first 15 mm of road run-off in biofiltration areas or swales
- Piped road drainage network sized to ensure roads are passable during 20% AEP event.
- Road reserves are capable of conveying up to and including the 1% AEP event.
- Flood detention areas to detain up to the 1% AEP event on-site
- 10% and 1% AEP flows to be maintained within pre-development flow rates.
- ‘rear of lot’ drainage system to manage any surface water run-off from pervious areas for lots that don’t naturally drain towards the internal road network

As previously mentioned in Section 4.3.1.1 due to the measured site infiltration rates and the ‘rear of lot’ drainage network, it is considered unlikely that surface water flows within individual lots will occur. The installation of stormwater diversion drains i.e., open swale should be considered to assist in the prevention of erosion occurring from around the LAA.

4.3.5. Other setbacks

Other setback distances required for leach drain systems will be in accordance with AS 1547.

4.4. Available Land Application Area (LAA)

As outlined in Table 8, the minimum LAA for secondary treatment (excluding setbacks) is 225 m² (GSP, 2019) for soil category 3 soils. This minimum LAA (as presented in GSP (2019) has been determined using the design loading rates for drip irrigation as presented in Table 5.2 and L1 of AS/NZS 1547.2012. Table 8 also presents the length of leach drain requirements based on AS/NSZ 1547.2012 methodology. The use of irrigation as the disposal method is not recommended as it would require a larger LAA which may be difficult to accommodate within the individual lots.

The calculation of the minimum trench length required to discharge wastewater (based on trench design) is described in AS 1547 using the following methodology:

$$L = Q / (DLR \times W)$$

Where:

- L = length in meters
- Q = designed daily flow L/day (900 L/day as per household design in GSP (2019))
- DLR = designed loading rate in mm/day (30 mm/day as per AS 1547 for category 3 soils
- W = width in m (Aquarius Wastewater leach drain (AqwaCell 16 is 2.5 m)

Table 8: Land application areas for a single house (occupancy of 6 persons in a 5-bedroom house (900L/day)) (GSP, 2019)

Soil category	Soil texture	Land application area (m ²)			
		Drip and Spray Irrigation		Leach Drain	
		Design loading Rate	Secondary treatment (excludes setback)	Design loading rate (secondary treatment)	Length of trench(m) ^{1,2}
1	Gravels and sands	5	180	50	7.2



Soil category	Soil texture	Land application area (m ²)			
		Drip and Spray Irrigation		Leach Drain	
		Design loading Rate	Secondary treatment (excludes setback)	Design loading rate (secondary treatment)	Length of trench(m) ^{1,2}
2	Sandy loams	5	180	50	7.2
3	Loams	4	225	30-50	7.2 - 12
4	Clay loams	3.5	257	10-30	12 - 36
5	Light clays	3	300	8-12	30 - 45
6	Medium to heavy clays	2	450	Special design	Special design

Note: 1 – based on Aquarius AqwaCell 16 leach drain design with 2.5m width.

2 – AS 1547.2012 details leach drain length requirement determined by $Q / (DRL \times \text{width of drain})$

The final design of the LAA will be the responsibility of the individual land owners. However, the LAA requirements for drip and spray irrigation can be adequately met within the urban development.

4.4.1.1. Town Centre

The hydraulic loading volume for Town Centre has been estimated based on the following:

- 33 staff @ 30L/day = 990 L/day
- 200 patrons/diners (3 course meal) @ 30L/day = 6,000L/day

This results in a total hydraulic loading of 6,990 L/day and is in accordance with AS/NSZ 1547.2012 and Supplement to Regulation 29 Health (treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974.

Based on aforementioned loading rates, soil category DLR's and prescribed LAA conversion factors the LAA required for the Town Centre is as follows:

- Surface Drippers – 2,000m²
- Total leach drain trench length required – 93.2 m (maximum trench length to be 21.5 m)
 - 5 x 20 m trenches with 1 m spacing is approximately 410 m².

The total occupancy numbers once the Town Centre Expansion area is completed is currently unknown due to the unknown future uses proposed for this area. Additional LAA will be set aside to allow for a potential future duplication of the proposed disposal system above and will provide sufficient disposal area for a total of 66 staff and 400 patrons.

The individual lot owner will be responsible for the final selection and approval of the secondary treatment system to be installed.



4.5. Results

The soil-terrain unit determined for the site is capable of accommodating on-site sewage treatment and disposal. However, considerations (such as achievable LAA and stormwater management) are needed due to the size of the lots and the ground surface gradients across the site. This will be achieved through special design of the sewage treatment system as per the recommendations of AS 1547 (further discussed in Section 5).

Based on the above assessment, and through the special design of the treatment system to address the achievable setbacks as previously described, the site is considered suitable for on-site sewage treatment and disposal. This will be achieved in lines with the GSP (2019) and AS 1547.



5. Wastewater management

5.1. Site requirements

The GSP outlines the minimum site requirements for onsite sewerage disposal to protect public health and the environment. An onsite sewage system is not to be located within:

- a wellhead protection zone or on Crown land within a reservoir protection zone
- 30 metres of a private bore used for household/ drinking water purposes.
- 100 metres of a waterway or significant wetland and not within a waterway foreshore area or wetland buffer.
- 100 metres of a drainage system that discharges directly into a waterway or significant wetland without treatment
- any area subject to inundation and/or flooding in a 10% AEP rainfall event.
- 1.5 metres above the highest groundwater level (in sewerage sensitive area)

Additional setbacks to structures which impact the sizing and location of the available land application areas include:

- 1.2 metres between treatment tanks to buildings, property boundaries, driveways, paths, and other tanks
- 1.2 metres between tranches, beds and soak wells to trafficable areas
- 1.8 metres between tranches, beds and soak wells to boundary, building, tanks and other land application systems
- Sub surface dripper to
 - Boundaries, building, treatment tanks, driveways 0.5 m
 - Open drain 3.0 m
 - Garden bore 10 m.

This SSE has demonstrated that the site is able to achieve all the necessary buffers needed to protect public health and the environment. However, it is proposed that the setback from the LAA on the western boundary of the property to the Weld Street roadside swale is 20m. Due to the poorly defined nature of the roadside swale and the proposed 'rear of lot' drainage network neither groundwater nor surface water runoff from the site is anticipated to enter this roadside swale.

5.2. Proposed treatment systems

The treatment systems must be designed and installed in accordance with AS 1547 and the DoH. Disposal and treatment systems approved by the DoH must be used. Due to the size of the proposed lots, and the site being in a Sewerage Sensitive Area (proximity to sensitive wetlands), each lot will be required to install a secondary treatment system (STS) (such as aerobic treatment unit) with nutrient removal capabilities. This will maximise the useability of each lot as secondary treated effluent required a smaller LAA.

Primary treatment systems, including septic tanks are not suitable at this site due to its location within an SSA, as per ASNZ1547-2012.

STS, with nutrient removal capabilities can produce treated effluent of secondary standard, that is

- ≤ 20 mg/L of Biochemical Oxygen Demand (BOD),
- ≤ 30 mg/L of Total Suspended Solids (TSS) and
- ≤ 10 cfu/100 mL of *Escherichia (E) coli*.

In addition, the levels of nitrogen and phosphorus must be reduced to:

- < 10 mg/L nitrogen
- < 1 mg/L phosphorus.



5.3. Discharge loading rates

The hydraulic loading is based on 6 persons occupying a 5-bedroom house on a sewage design flow of 150 L/person/day, resulting in a hydraulic loading of 900 L/day per household. The discharge loading rate adopted from Table 5.1 and L1 from AS/NZS 1547.2012 is 30mm/day which is the lower limit recommended for soil Category 3 soils and as such provides a conservative approach to the LAA design.

5.4. Land application system and disposal area

The treated wastewater is required to be disposed to land within the lot. The recommended land application systems for Category 3 soils include:

- Trenches and beds (leach drains)
- mounds (inverted leach drains)
- irrigation systems – requires 150 – 250 mm of good quality topsoil to slow down soakage and assist in nutrient reduction.

Leach drains are recommended for this site as they require less LAA and result in a reduced human health risk through reducing potential contact with wastewater.

5.5. Land application area

5.5.1. Clearance to groundwater

Through the importation of fill to the LAA for each lot and the Town Centre expansion area, the site will be able to achieve a groundwater clearance of 1.5 m from the lowest point of the leach drain system. The site soils are anticipated to have a high PRI, and where possible in-situ soils will be utilised to create the appropriate LAA. However if imported soil is required, it is recommended to have a PRI of 10 and will need additional testing to confirm the soil category aligns with what has been used in this document to ensure appropriately sized LAA.

5.5.2. Land application area

The land application area is the area where the treated sewage from a treatment system (in this case secondary treatment with additional nutrient removal) is applied into or onto the ground. Land-application systems typically either discharge treated sewage via soil absorption systems (e.g., leach drains) or irrigation systems (e.g., sub-surface irrigation or surface irrigation). The method by which sewerage is dispersed to the land is determined based on the site conditions and may influence the land area required for disposal.

The proposed land application method, as mentioned above, is via leach drains, however the LAA has also been sized to provide provisions for surface drip irrigation should individual land owners choose to do so.

The GSP states that the land application area required for secondary treatment systems in soil category 3 soils is 225 m² which is based on the below calculation.

Land Application Area (LAA) for sub surface irrigation (m²) =

$$\text{hydraulic load (L/day)} \times \text{conversion factor for the soil texture}$$

The conversion factor for secondary treated effluent for heavy clays is 0.25 (as per Table 2 of GSP, 2019).

$$900 \text{ L/day} \times 0.25 = 225 \text{ m}^2$$

It should be noted the LAA conversion rates provided in GSP (2019) are equivalent to the drip irrigation design loading rates (DLR) as presented in Tables 5.2 and L1 of AS/NZS 1547.2012.



The calculation of the minimum trench length required to discharge wastewater (based on trench design) is described in AS 1547 using the following methodology:

$$L = Q / (\text{DLR} \times W)$$

Where:

L = length in meters

Q = designed daily flow L/day (900 L/day as per household design in GSP (2019))

DLR = designed loading rate in mm/day (30 mm/day as per AS 1547 for category 3 soils)

W = width in m (Aquarius Wastewater leach drain (AqwaCell 16 is 2.5 m)

The trench length calculations estimate that individual lots require a minimum of trench length of 12 m, whilst the Town Centre will require a trench length of 93.5 m (of 5 x 20m trenches). It should be noted that this is estimated using a width of 2.5 m which is the width of an Aquarius AqwaCell16; a DoH approved, non-concrete leach drain. Should the width of the drain adopted for each site be less, this will result in additional overall length requirements and should be considered as part of the design.

An application to *Construct or Install an Apparatus for the Treatment of Sewerage* will be submitted to the SoG by the lot owners following detailed design to specify the final design and wastewater management systems to be installed.



6. Summary

The development consists of 99 residential lots and an expansion of the Town Centre. Lots range between approximately 980 – 2,600 m² and the Town Centre expansion has an area of approximately 24,700 m². The site is in a Sewerage Sensitive Area (SSA) as it is located within 1 km of a sensitive wetland: CCW associated with the Gingin Brook. The GSP (2019) requires that the subdivided lots within SSAs have a minimum lot size of 1 hectare. It has been noted that the site has previously been provided with lot zoning within a regional structure plan and therefore possible these minimum lot sizes are not required provided that the minimum LAA can be achieved, and environmental impacts are considered acceptable. As is not anticipated to be any impact to the nearby wetland due the treatment proposed), and the minimum LAA can be achieved, the development design with 980-2,600m² lots is not considered to pose an environmental or human health risk.

Results of the site and soil assessment indicate the soils have high infiltration capacity to accommodate the infiltration of stormwater and Treated Wastewater (TWW), however achieving the required clearance to groundwater 1.5m across was not achieved in a number of areas across the site. This will be managed through stormwater management, implementation of appropriate TWW systems and disposal design and adequate LAA design and construction. Site soils are anticipated to have a very high P retention due to the clayey nature of the underlying geology.

It is recommended that if appropriate in-situ fill is unavailable, fill be imported to the site to establish the LAA to achieve the required groundwater clearances across the site. Sands with a PRI of 10 are the recommended fill option and would provide additional phosphorus retention benefits. Significant phosphorus retention is expected on site regardless of fill choice.

August 2022 field investigations. Groundwater was only encountered in five of the 26 bore holes conducted across the site and clustered in the south-western portion of the site. Groundwater in this area was measured as ranging from being present at the surface to 0.6 mbgl. Although the remaining bore holes did not encounter groundwater, a number of these bore holes did not extend to 1.5 mbgl or greater (Refer Table 5). As such where bore holes did not extend to >1.5mbgl, the end of the bore hole has been adopted as the maximum groundwater level for the site as a conservative approach.

Section 5.2.2 of the Government Sewerage Policy (2019) relating to the extent of seasonal inundation has been addressed by the following:

- The proposed earthworks design of the Town Centre Expansion area and 'rear of lot' and road drainage network of the remainder of the development have modified the sites hydrological regime to prevent the accumulation of surface run-off from the upper catchment area in the southern portion of the site. This will prevent the accumulation and infiltration of surface runoff occurring as was observed during the August 2022 field investigations.
- Use of in-situ of importation of fill to create LAA that achieve the required 1.5 m clearance to the groundwater levels observed in August 2022.
- Recommendation to install stormwater diversion drains (shallow swales) at the boundary of all LAAs to prevent localised impacts (i.e., erosion/scouring of LAA) from rain generated surface run-off.

LAA fill requirements have been provided based on achieving clearance to the observed maximum groundwater level (as per 2022 monitoring) in accordance with the GSP (2019).

The proposed LAA in the lots on the western boundary of the site are proposing a setback of 20m from the Weld Street roadside swale, as opposed to the 100 m setback outlined in GSP (2019). The Weld Street roadside swale is a very shallow and poorly defined feature. Due to the recorded depth to groundwater recorded across the site and the post-development stormwater drainage design, neither groundwater nor surface water inflows to the Weld Street roadside swale will occur.

This SSE demonstrates the site can accommodate a suitable wastewater management system.



7. Conclusion

The sewage management strategy for the site, as outlined in this report, has been developed to be consistent with the approach and requirement details in the *Government Sewerage Policy* (DPLH, 2019) and *AS/NZS 1547 On-site domestic wastewater management* (Standards Australia and Standards New Zealand 2012), and includes:

- Earthwork and stormwater drainage design to prevent accumulation of surface run-off and inundation in the southern portion of the site and associated LAA.
- 'rear of lot' drainage network to manage any surface water flows generated within individual lots and to prevent surface water inundation and/or run-off to the adjacent Weld Street roadside swale to support a reduction in proposed setback.
- Utilising secondary treatment systems with additional nutrient removal
- Appropriate sizing of the land application area / trench sizes based on the geotechnical investigations and classification of the soil classification of the site.
- Ensuring there is sufficient disposal area within the site.
- Special design of the treatment system to reduce the risk of groundwater pollution in accordance with AS 1547.
- Setting the disposal outlet point/base of leach drain systems at a lot specific elevation to achieve groundwater clearance in accordance with GSP (2019) This will be achieved through the importation of fill to individual lot LAA in increase their surface elevations above the natural surface levels.
- Utilising ameliorated existing site soils or the importation of suitable soil (both with higher nutrient retention than the existing site soils) to comply with the disposal outlet height and minimum groundwater clearance requirement of 1.5 m. This soil will be assessed prior to the installation of the secondary treatment system to ensure the soil category and compliance with the design detailed within this document.
- Ensuring appropriate installation, monitoring and maintenance of the systems is conducted.

It is considered that the above investigations and management demonstrate that the site is able to accommodate the on-site treatment and disposal of sewage within the site and that this can be achieved in a way that mitigates the potential risk to the environmental and human receptors.



8. References

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- Structerre (2022b): Site and Soil Evaluation Report – Lot 601 Brockman Street, Gingin.
- Structerre (2022c): General Site and Soil Evaluation Report – Lot 601 Brockman Street, Gingin. Unsubmitted report.



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Appendix A: S Structerre General Site and Soil Evaluation (unsubmitted)



Doc GE2.1.2

GEOTECHNICAL INVESTIGATION

For: Tabec Pty Ltd

Project Address: Proposed Residential Subdivision –
Lot 601 Brockman Street, Gingin WA

Project Number: D294537

Job Number: J409671

Revision Number: 0

Date: 31/5/2022



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PROJECT No: D294537
JOB No: J409671
PROJECT ADDRESS: Proposed Residential Subdivision –
Lot 601 Brockman Street, Gingin
CLIENT: Tabec Pty Ltd

1. PROJECT DETAILS

1.1. Introduction

At the request of Tabec Pty Ltd, Structerre Consulting (Structerre) have conducted a Geotechnical Investigation at Proposed Residential Subdivision – Lot 601 Brockman Street, Gingin. The purpose of the investigation was to provide the following for residential subdivision purposes:

- An assessment of subsurface soil profile and groundwater conditions across the proposed area of development;
- Site classification in accordance with AS 2870-2011 Residential Slabs and Footings;
- Wind Classification in accordance with AS 4055-2012 Wind Loads for Housing;
- Recommendations for stormwater drainage design;
- Recommendations on earthworks and site preparation; and
- Provision of a footing detail considering anticipated surface movement and sand pad thickness.

Terms of reference for this investigation were presented in a Structerre Consulting proposal reference Q95958 (dated 5 May 2022), which was submitted to and accepted by Tabec Pty Ltd.

1.2. Site Description

The site is located at Lot 601 Brockman Street, Gingin, Shire of Gingin. Brockman Street lies to the north of the site, Weld Street to the west, Cheriton Road to the east and Shire of Gingin and Gingin Community Resource & Visitor Centre to the south.

The site slopes up towards the northern boundary. At the time of the field investigation, the site was vacant and covered in vegetation with small to medium sized trees.

1.3. Field Investigation – Scope of Works

The field investigation was carried out on 12 May 2022 and comprised:

- 13 x Sample Retrieval Probes (SRP) to a depth of 2.0m (refusal) over the site for material assessment and soil profiling;
- 12 x In-situ percolation tests to determine the permeability of the materials within the upper 2.0m; and
- 8 x Dynamic Cone Penetrometer (DCP) tests in accordance with AS 1289.6.3.2 (1997) to a depth of 1.0m for evaluation of relative densities of the upper layers.

The borehole test locations are shown on the attached site plan in Appendix 1.

Suitably qualified geotechnical personnel from Structerre supervised the fieldwork and all fieldwork, interpretation and terminology used in this report are in accordance with the guidelines presented in AS1726-2017 Geotechnical Site Investigations.



PROJECT No: D294537
JOB No: J409671
PROJECT ADDRESS: Proposed Residential Subdivision –
Lot 601 Brockman Street, Gingin
CLIENT: Tabec Pty Ltd

2. DESK STUDY

2.1. Geological Setting

The Perth sheet 1: 50,000 Environmental Geology Series (Part Sheets 2034 III and 2134 III, 1986) prepared by the Geological Survey of Western Australia indicates that the following geological layers underlie the site:

- Colluvium – Colluvium soil and undifferentiated sand (Qpo)

2.2. Ground Surface and Groundwater Level

The Landgate website indicates the ground surface level at this site was approximately 120.0m – 135.0m Australian Height Datum (AHD).

No published groundwater information available for the site.

2.3. Earthquake Coefficient

In accordance with AS 1170.4-2007 Structural Design Actions the site is located within an area with an earthquake acceleration coefficient of 0.10.

2.4. Wind Classification

In accordance with AS 4055-2012 Wind Loads for Housing, wind classification of this site falls within the non-cyclonic “N2” –“N3” category.



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3. RESULTS OF THE INVESTIGATION

3.1. Subsurface Soil Profile

The subsurface soil profile presented below was determined from the ground conditions encountered within the boreholes:

Table 1 – Subsurface Soil Profile

Borehole	Topsoil	Gravelly SAND with clay	SAND with clay, with gravel	Sandy CLAY trace gravel	CLAY trace sand, trace gravel
	Depth to Base of Strata (m)				
BH1	0.1	-	0.7	2.0	1.3
BH2	0.1	-	0.8	-	-
BH3	0.1	0.4	-	1.5	-
BH4	0.1	0.3	-	1.0	-
BH5	0.1	0.3	-	1.2	-
BH6	0.1	0.2	-	0.7	-
BH7	0.1	0.3	-	1.5	-
BH8	0.1	0.2	-	0.7	-
BH9	0.1	0.2	-	0.7	-
BH10	0.1	1.5	1.1	-	-
BH11	0.1	1.1	0.9	1.9	-
BH12	0.1	1.0	0.7	1.2	-
BH13	0.2	-	0.5	-	-
Average	0.1	0.6	0.8	1.2	1.3

The soils encountered are consistent with the expected site conditions as predicted from the Environmental Geology Map. It is important to note that there may be pockets of fill on site that are deeper than that encountered by the investigation boreholes. The subsurface soil conditions encountered are presented in the bore logs, within Appendix 3.

3.2. Groundwater

Groundwater was not encountered in any of the boreholes during or immediately after drilling. However, the groundwater is expected to be encountered approximately 0.2m below the existing ground level above the more cohesive materials.



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3.3. Percolation Testing

Percolation testing of the in-situ soils was undertaken in twelve locations. Results of the testing are summarised below:

Table 2 – In Situ Percolation Test Results

Test Location	Testing Depth	Soil Type	Permeability
BH1	0.0 - 2.0m	SAND to CLAY trace sand trace gravel	0.1/day
BH2	0.0 – 0.8m	SAND	1.7m/day
BH3	0.0 - 1.5m	Gravelly SAND with clay to Sandy CLAY with gravel	0.7m/day
BH4	0.0 - 1.0m	Gravelly SAND with clay to Sandy CLAY with gravel	0.5m/day
BH5	0.0 - 1.2m	Gravelly SAND with clay to Sandy CLAY with gravel	0.3m/day
BH6	0.0 – 0.7m	Gravelly SAND with clay to Sandy CLAY with gravel	0.5m/day
BH7	0.0 - 1.5m	Gravelly SAND with clay to Sandy CLAY with gravel	0.9m/day
BH8	0.0 – 0.8m	Gravelly SAND with clay to Sandy CLAY with gravel	0.6m/day
BH9	0.0 – 0.7m	Gravelly SAND with clay to Sandy CLAY with gravel	0.8m/day
BH10	0.0 - 1.5m	SAND	2.6/day
BH11	0.0 - 1.9m	SAND to Gravelly SAND with clay	1.4m/day
BH12	0.0 - 2.0m	SAND to Gravelly SAND with clay	0.9m/day



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3.4. Laboratory Test Results

Selected soil samples were tested for Atterberg Limits.

3.4.1. Atterberg Limits

Atterberg Limits were tested by Structerre’s in-house NATA accredited laboratory. Results of the testing are summarised below:

Table 3 – Atterberg Limit Test Results

Sample	Test Hole	Depth (m)	Soil Description	Liquid Limit	Plastic Limit	Plasticity Index	Linear Shrinkage
				% AS1289 3.1.2	% AS1289 3.2.1	% AS1289 3.3.1	% AS1289 3.4.1
1	BH1	1.0-1.6	CLAY trace gravel, trace sand	70	28	42	14.5
2	BH1	1.3-1.9	Sandy CLAY trace gravel	55	21	34	13

Test results indicate that the natural CLAY has moderate to high shrink swell capacity or degree of expansion. A copy of the results are presented in Appendix 4.

3.4.2. California Bearing Ratio (CBR)

Representative samples were tested by Structerre’s in-house NATA accredited laboratory in accordance with AS1289.5.2.1 (2003). The test certificates are presented in Appendix 4 and are summarised in Table 4.

Table 4 – Soaked CBR Test Results

Test Hole	Depth (m)	Soil Description	Optimum Moisture Content %	Maximum Dry Density t/m3	Swell (%)	CBR @ Penetration (%)
BH13	0.2 – 0.5	SAND	10	1.83	0	12 @5.0mm
BH14	0.2 – 0.5	SAND	10	1.99	0	40 @5.0mm

Note: CBR samples were remoulded to 95% Modified maximum dry density in accordance with AS1289 5.2.1 prior to soaking for four (4) days. Based on the above results a conservative soaked CBR of 10% would be recommended for pavement design. Copies of the laboratory results are included in Appendix 4 of this report.

Where the placement of 0.5m or greater of sand fill placed and compacted to 95% of (Modified) MDD above the existing clay soils, an improved subgrade CBR of 12% can be used in pavement design.



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4. GEOTECHNICAL CONSTRUCTION CONSIDERATIONS

4.1. Site Classification

AS 2870-2011 Residential Slabs and Footings provides guidance on site classification for residential slabs and footing design based on the expected ground surface movement and depth of expected moisture changes.

Table 5 – Classification Based on Site Reactivity

AS 2870-2011 Residential Slabs and Footings - Clause 2.1.2 Table 2.1	
Class	Foundation
A	Most sand and rock sites with little or no ground movement from moisture changes
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes ($0 < y_s \leq 20\text{mm}$)
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes ($20 < y_s \leq 40\text{mm}$)
H1	Highly reactive clay sites, which may experience high ground movement from moisture changes ($40 < y_s \leq 60\text{mm}$)
H2	Highly reactive clay sites, which may experience very high ground movement from moisture changes ($60 < y_s \leq 75\text{mm}$)
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes ($y_s > 75\text{mm}$)
Clause 2.1.3 Classification of other Sites	
P	Sites which include soft or unstable foundations such as soft clay or silt or loose sands, landslip, mine subsidence, collapsing soils and soils subject to erosion, reactive sites subject to abnormal moisture conditions and site that cannot be classified in accordance to Table 2.1

The site in its current condition is classified as Class “M” to “H”. Based on results of this investigation the site can be upgraded to a Class “S” in accordance with AS 2870-2011 provided that all unsuitable materials are removed and replaced with engineer-controlled sand fill materials in accordance with the earthwork recommendations outlined in Section 4.3 of this report.

Footings suitable for this site should be adopted to accommodate expected ground surface movements of approximately $y_s = 20\text{mm}$ associated with the presence of moderately to highly reactive CLAY deposits within the building site.



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4.2. Drainage

The existing ground conditions are not suitable for on-site disposal of stormwater runoff through the use of soakwells.

The design of the drainage system is unknown at this time, but may include:

- Rainwater Tanks;
- Dams / Compensation basin;
- Overland flow paths; and
- Soakwells, if permeable cover and / or stormwater designs are appropriate.

Sub soil drainage may be required to control groundwater perching in the upper soil layers within the building footprint.

4.3. Earthworks

All earthworks shall be undertaken in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments and are to include the following:

- All unsuitable materials to be stripped and removed from the site. Unsuitable materials include topsoil, deleterious and organic materials.
- It is considered that the near surface sand material requires improvement. Therefore, it is proposed to excavate and stockpile the materials for reuse, provided it is free from clay/silt (i.e. <5%), deleterious and organic materials. The depth of excavation may vary depending on conditions encountered and is subject to inspection.
- Excavation should not be greater than 2.0m and/or undermine any surrounding structures. A 1V: 1.5H slope should be maintained for temporary excavations. If excavation is required closer than the 1V: 1.5H slope would allow or deeper, it is recommended that this office be contacted for retaining system design.
- Proof compact the exposed base. The compaction requirements are set out in the table below, as per AS 3798-2007:

Table 6 – Compaction Requirements

Item	Application	Minimum relative compaction, %	
		Minimum density ratio (Standard Compaction Effort) (Cohesive soils)	Minimum density index (Cohesionless soils)
1	Residential - lot, fill, house, sites	95	70

- After excavation and proof compaction, the excavated base is to be inspected and approved by a representative from this office prior to backfilling. At this stage it can be assessed whether any further materials need to be removed or whether further compaction of the base is required.



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- A minimum of 1.0m sand cover is to be placed or maintained above the reactive (clay) material in order to achieve a Class “S” site with $y_s = 20\text{mm}$.
- The ground level for residential construction should be built up to design levels with the stockpiled sand FILL and imported fill, if required. The imported fill should consist of free draining sand with not more than 5% passing a 75 μm sieve and be free of organic matter and other deleterious materials. The fill materials should be placed in layers not exceeding 300mm loose thickness and compacted to achieve a minimum 8 PSP blows over the interval 150 – 450mm, 9 PSP blows over the interval 450 – 750mm and 11 PSP blows over the interval 750 -1050mm.
- After remedial earthworks have been completed, the earthworks should be inspected and approved by a representative from this office.

5. CONCLUSIONS

A site investigation has been carried out at the site of the proposed residential development to assess the geotechnical conditions. Parameter and design recommendations are incorporated in the body of the report. The following conclusions have been drawn from the site investigation:

- The average subsurface soil profile encountered comprised topsoil to 0.1m, gravelly sand with clay to 0.6m, sand with clay, with gravel to 0.8m, sandy clay trace gravel to 1.2m and underlain by clay trace sand, trace gravel to the investigated depth of 2.0m.
- Groundwater or perched water was not encountered across the site to the depth of 2.0m.
- It is considered that the site is not suitable for on-site drainage.
- The site can be classified as Class “S” in accordance with AS 2870-2011 due to presence of moderately to highly reactive CLAY deposits within the building site, provided that the recommended earthworks are undertaken.
- The full scope of the recommended earthworks is presented in Section 4.3, but generally comprises:
 - Stripping of topsoil and unsuitable materials
 - Proof compaction of the base
 - Placement of sand fill to required level
 - Compaction to final level



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6. LIMITATION OF FIELD INVESTIGATIONS

This report has been prepared in accordance with generally accepted consulting practice for Tabec Pty Ltd using information supplied at the time and for the project specific requirements as understood by Structerre. To the best of our knowledge the information contained in this report is accurate at the date of issue, however it should be emphasised that any changes to ground conditions and/or the proposed structures may invalidate the recommendations given herein.

The conclusions and recommendations in this report are based on the site conditions revealed through selective point sampling, representing the conditions of the site in total, although the area investigated represents only a small portion of the site. The actual characteristics may vary significantly between successive test locations and sample intervals other than where observations, explorations and investigations have been made.

The materials and their geotechnical properties presented in this report may not represent the full range of materials and strengths that actually exist on site and the recommendations should be regarded as preliminary in nature. Allowances should be made for variability in ground conditions and any consequent impact on the development. Structerre accepts no responsibility and shall not be liable for any consequence of variations in ground conditions.

If ground conditions encountered during construction are different to that described in this report, this office should be notified immediately.

For and behalf of

STRUCTERRE CONSULTING

Margie Mortera
 Geotechnical Assistant

Checked By: David Harding
 Employee Title: Geotechnical Supervisor

Authorised By: Mel Castle
 Employee Title: Division Manager - Geotechnical

Disclaimer

This report is at the request of the addressee and no liability is accepted by Structerre Consulting to any third person reading or relying upon the report, notwithstanding any rule of law and/or equity to the contrary and that this report is strictly confidential and intended to be read and relied upon only by the addressee.

Job #	Revision	Authored	Checked	Authorised
J409671	0	MM	DH	MC



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JOB No: J409671
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Lot 601 Brockman Street, Gingin
CLIENT: Tabec Pty Ltd

7. REFERENCES

Department of Water – Perth Groundwater Atlas

Landgate Map Viewer

Geological Survey of Western Australia 1:50,000 Environmental Geology Series

AS 1170.4-2007 Structural design actions – Earthquake actions in Australia

AS 1289.3.1.2-2009 Methods of testing soils for engineering purposes – Soil classification tests – Determination of the liquid limit of a soil

AS 1289.3.2.1-2009 Methods of testing soils for engineering purposes – Soil classification tests – Determination of the plastic limit of a soil

AS 1289.3.3.1-2009 Methods of testing soils for engineering purposes – Soil classification tests – Calculation of the plasticity index of a soil

AS 1289.3.4.1-2009 Methods of testing soils for engineering purposes – Soil classification tests – Determination of the linear shrinkage of a soil

AS 1289.3.6.1-2009 Methods of testing soils for engineering purposes – Soil classification tests – Determination of the particle size distribution of a soil – Standard method of analysis by sieving

AS 1289.5.2.1-2009 Soil compaction and density tests – Soil classification tests – Determination of the dry density/moisture content relation of a soil using modified compactive effort

AS 1289.6.1.1-2009 Soil strength and consolidation tests – Soil classification tests – Determination of the California Bearing Ratio of a soil

AS 1289.6.3.2-1997 Methods of testing soils for engineering purposes – Soil strength and consolidation tests – Determination of the penetration resistance of a soil – 9kg dynamic cone penetrometer test

AS 1726-2017 Geotechnical site investigation

AS 2870-2011 Residential slabs and footings

AS 3798-2007 Guidelines on earthworks for commercial and residential developments

AS 4055-2012 Wind loads for housing

APPENDIX 1 – SITE LOCATION MAP



Note: Showing approximate test locations only

Google Map 2022

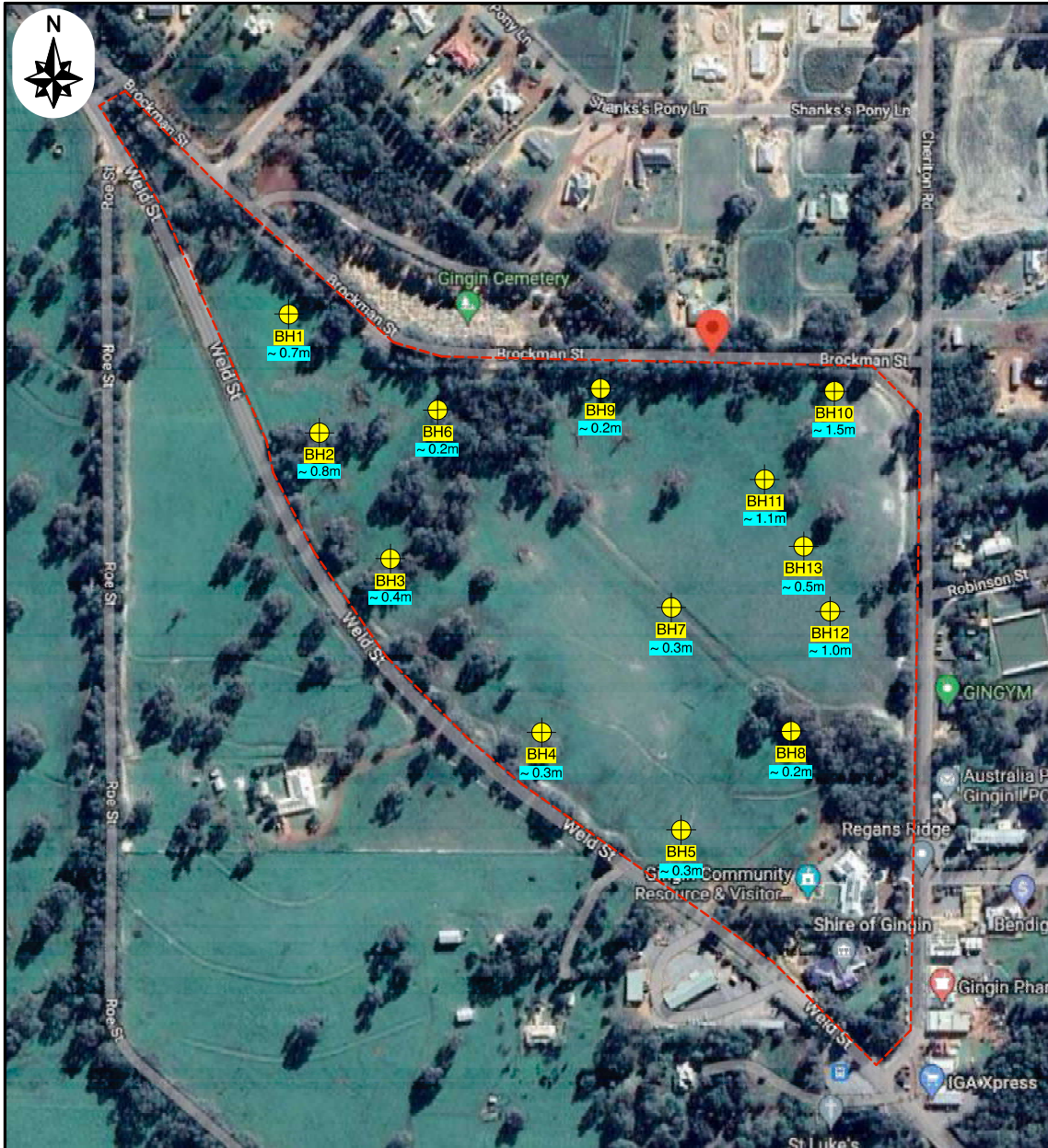
LEGEND

 BH Borehole

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	JOB #: J409671	
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	DATE: 12 May '22	DRAWN BY: MM

DOC: GE.3.001



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Note: Showing approximate test locations only

Google Map 2022

LEGEND

-  BH Borehole
-  Depths of Non-reactive Material

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	DATE: 12 May '22	DRAWN BY: MM

DOC: GE.3.001

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APPENDIX 2 – SITE PHOTOS



PHOTO 1



PHOTO 2

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	DATE: 12 May '22	DRAWN BY: MM CHECKED BY: DH


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PHOTO 3 - Sample taken at BH2



PHOTO 4 - Sample taken at BH8

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	DATE: 12 May '22	DRAWN BY: MM

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APPENDIX 3 – BORELOGS

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20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH01

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395281
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531989

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		SP: SAND: fine to medium grained, non-plastic, with gravel, with clay, grey/brown (Colluvium)	D - VD							W	
1		CH: CLAY: fine to medium grained, high plasticity, trace sand, trace gravel, red/grey									
		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel								D to M	
2		Terminated at 2.00 m									
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability: Hole stable
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH02

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395349
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531845

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		SP: SAND: medium to coarse grained, non-plastic to low plasticity, with gravel, trace clay, brown (Colluvium)	D - VD							W	
		Terminated at 0.80 m								M	
1											
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on dense gravel
 2. Hole stability: Hole stable
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH03

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395403
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531729

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown (Colluvium)	L - MD							W	
		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel, brown	F								
1										D to M	
		Terminated at 1.50 m									
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH04

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395498
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531633

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown (Colluvium)	VL - L							W	
		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel, brown	St - VSt							D to M	
1		Terminated at 1.00 m									
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH05

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395611
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531549

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown (Colluvium)	VL - L							W	
		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel, brown	St - VSt							D to M	
1		Terminated at 1.20 m									
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH06

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395493
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531866

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown (Colluvium)								W	
		CH: Sandy CLAY: fine to medium grained, high plasticity, with gravel, brown								D to M	
		Terminated at 0.70 m									
1											
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH07

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 3955974
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531716

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown (Colluvium)	L							W	
		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel, brown	S - F							D to M	
			F - St								
1			VSt								
		Terminated at 1.50 m									
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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**MINUTES
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20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH08

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395714
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531616

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown (Colluvium)								W	
		CH: Sandy CLAY: fine to medium grained, high plasticity, with gravel, brown								D to M	
		Terminated at 0.70 m									
1											
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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**MINUTES
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20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH09

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395594
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531896

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown (Colluvium)								W	
		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel, brown								D to M	
		Terminated at 0.70 m									
1											
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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**MINUTES
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20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH10

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395765
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531884

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		SP: SAND: fine to medium grained, non-plastic, grey (Colluvium)	VL - L							W	
1		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown								M	
		Terminated at 1.50 m									
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on dense gravel
 2. Hole stability: Hole stable
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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**MINUTES
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20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH11

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395755
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531783

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		SP: SAND: fine to medium grained, non-plastic, grey (Colluvium)								W	
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown								M	
1		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel, red/grey								D to M	
2		Terminated at 1.90 m									
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability: Hole stable
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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**MINUTES
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20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH12

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395760
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531671

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		SP: SAND: fine to medium grained, non-plastic, grey (Colluvium)	VL - L							W	
		GP: Gravelly SAND: medium to coarse grained, non-plastic, with clay, brown	D - VD							M	
1		CH: Sandy CLAY: fine to medium grained, high plasticity, trace gravel, red/grey								D to M	
		Terminated at 1.20 m									
2											
3											

- Remarks**
1. Termination reason: Refusal - interpreted on stiff clay
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 14.1.7



Project Proposed Residential Subdivision - Lot 601 Brockman Street, Gingin
Client Tabec Pty Ltd

Test No.
BH13

Project No. D294537 **Logged By** Tony Broadway **Machine** Soil Retrieval Probe **Easting** 395778
Job No. J409671 **Date** 12/05/2022 **Hole Dia.** 65mm **Northing** 6531790

Depth	Graphic	Stratum Description	Consistency	DCP Blows/150mm				Samples		Moisture	Water Level
				5	10	15	20	Depth	Type		
		Topsoil:									
		SP: SAND: fine to medium grained, non-plastic, yellow/brown (Colluvium)									W
		Terminated at 0.50 m									M
1											
2											
3											

- Remarks**
1. Termination reason: Target depth
 2. Hole stability:
 3. Samples taken: None
 4. Co-ordinate system: WGS 84

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APPENDIX 4 – LABORATORY TEST RESULTS

**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 14.1.7



Sample No. 36527 **Client** Geotechnical
Job No. J409671 **Project** Lot 601 BROCKMAN ST, GINGIN

Laboratory testing carried out at Malaga Laboratory 44 Crocker Dr Malaga WA 6090

SAMPLE DETAILS

BH No. / Depth BH1 1.0-1.6 Sampling Method Client
Sample History 50°C Oven Dried Sample Preparation AS 1289 1.1

ATTERBERG LIMITS

Description	Method	Result (%)
Liquid Limit	AS 1289.3.1.2	70
Plastic Limit	AS 1289.3.2.1	28
Plasticity Index	AS 1289.3.3.1	42
Linear Shrinkage	AS 1289.3.4.1	14.5
Nature of Shrinkage		Flat

PARTICLE SIZE DISTRIBUTION

Method: AS 1289.3.6.1
Description: Particle size distribution by sieve analysis

Sieve Size (mm)	% Passing
19.0	100
2.36	98
0.425	96
0.075	90

AS 1726:2017 Clause 6.1

Material Description: CLAY trace gravel, trace sand

AS Group Symbol: CH or OH



Soils Analysis Workbook V 3.43 05-May-21

Jacob Pritchard
Senior Laboratory Technician

Date: 27-May-22

AS 1289.3.6.1 Report Feb 18

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**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 14.1.7



Sample No. 36528 **Client** Geotechnical
Job No. J409671 **Project** Lot 601 Brockman st, gingin

Laboratory testing carried out at Malaga Laboratory 44 Crocker Dr Malaga WA 6090

SAMPLE DETAILS

BH No. / Depth BH1 1.3-1.9 **Sampling Method** Client
Sample History 50°C Oven Dried **Sample Preparation** AS 1289 1.1

ATTERBERG LIMITS

Description	Method	Result (%)
Liquid Limit	AS 1289.3.1.2	55
Plastic Limit	AS 1289.3.2.1	21
Plasticity Index	AS 1289.3.3.1	34
Linear Shrinkage	AS 1289.3.4.1	13
Nature of Shrinkage		Flat

PARTICLE SIZE DISTRIBUTION

Method: AS 1289.3.6.1
Description: Particle size distribution by sieve analysis

Sieve Size (mm)	% Passing
19.0	100
2.36	98
0.425	80
0.075	56

AS 1726:2017 Clause 6.1

Material Description: Sandy CLAY trace gravel

AS Group Symbol: CH or OH



Soils Analysis Workbook V 3.43 05-May-21

Jacob Pritchard

Senior Laboratory Technician

Date: 27-May-22

AS 1289.3.6.1 Report Feb 18

WA | QLD | NSW | VIC

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Malaga Laboratory
44 Crocker Drive, Malaga, WA 6090
Post: PO Box 792, Balcatta WA 6914
Ph : (08) 9205 4500
Email: wageotechlab@strucsterre.com.au
Website: www.strucsterre.com.au
ABN: 71 349 772 837 / ACN: 008 966 283

California Bearing Ratio Test Report

Report Number: CBR:22S-03682
Date of Issue: 01/06/2022
Issue Number: 1

Client: Tabec Pty Ltd
Client Address: Level 2, 54-58 Havelock St West Perth WA 6005
Project: Proposed Residential Subdivision - Lot 601 Brockman St, Gingin
Project No: D294537

Accreditation Number 18742



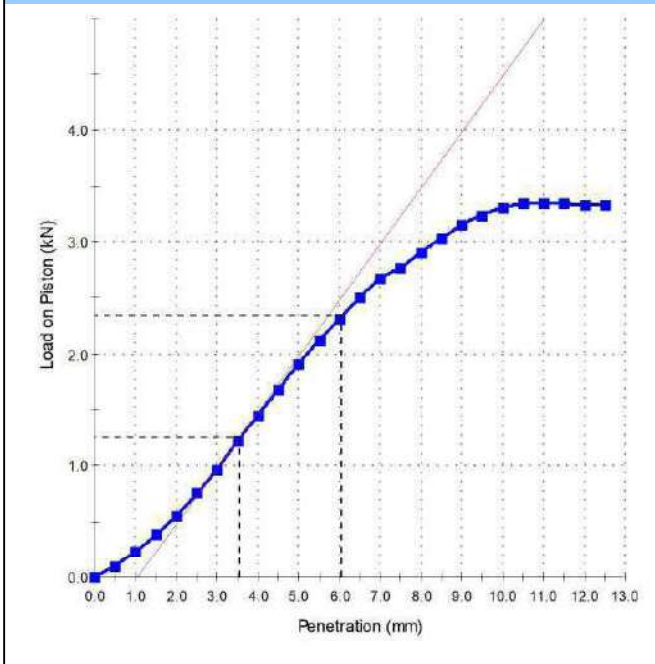

Approved Signatory: Aaron Nicholas

Accredited for compliance with ISO/IEC 17025

Sample Details

Sample ID: Proposed Subdivision	Field Sample ID: BH13
Date Tested: 27/05/2022	Date Sampled: 24/05/2022
Soil Description: Sand	Proposed Use: Fill
Depth of Test: 200-500mm	Depth of Layer: 300
Sampling Method: Sampled by Client	TRN: -
Work Order ID: W22-01312	

Load vs Penetration



Test Results

AS 1289.6.1.1

CBR at 5.0mm (%): 12

Dry Density before Soaking (t/m³): 1.73
Density Ratio before Soaking (%): 95.0
Moisture Content before Soaking (%): 9.9
Moisture Ratio before Soaking (%): 101.5
Dry Density after Soaking (t/m³): 1.74
Density Ratio after Soaking (%): 95.0
Swell (%): 0.0
Moisture Content of Top 30mm (%): 14.4
Moisture Content of Remaining Depth (%): 14.3
Compaction Hammer Used: Modified AS 1289.5.2.1
Surcharge Mass (kg): 4.50
Period of Soaking (Days): 4
Retained on 19 mm Sieve (%): 0
CBR Moisture Content Method: AS 1289.2.1.1
Sample Curing Time (h): 24

Comments



Malaga Laboratory
44 Crocker Drive, Malaga, WA 6090
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Email: wageotechlab@structerre.com.au
Website: www.structerre.com.au
ABN: 71 349 772 837 / ACN: 008 966 283

Report Number: MDD:22S-03682
Date of Issue: 01/06/2022
Issue Number: 1

Maximum Dry Density Report

Client: Tabec Pty Ltd
Client Address: Level 2, 54-58 Havelock St West Perth WA 6005
Project: Proposed Residential Subdivision - Lot 601 Brockman St, Gingin
Project No: D294537

Accreditation Number 18742



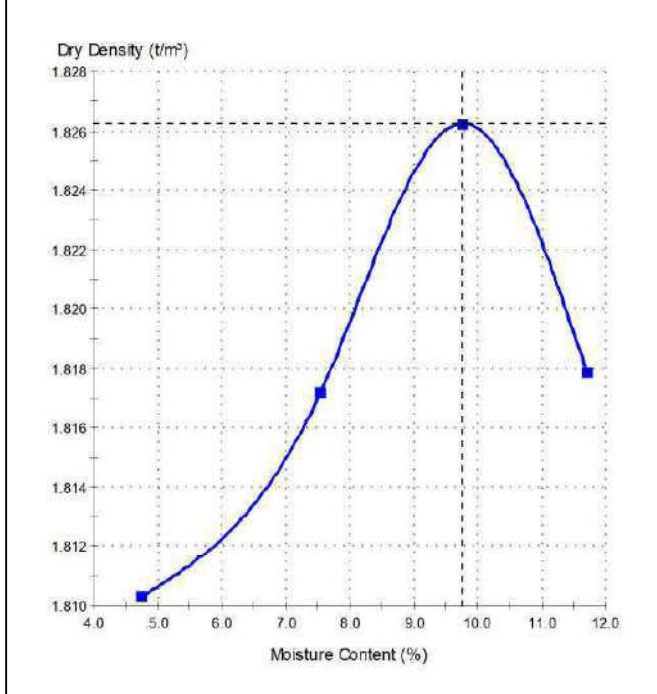

Approved Signatory: Aaron Nicholas

Accredited for compliance with ISO/IEC 17025

Sample Details

Sample ID: Proposed Subdivision	Field Sample ID: BH13
Date Tested: 24/05/2022	Date Sampled: 24/05/2022
Soil Description: Sand	Proposed Use: Fill
Depth of Test: 200-500mm	Depth of Layer: 300
Sampling Method: Sampled by Client	TRN: -
Work Order ID: W22-01312	

Dry Density - Moisture Content Relationship



Test Results

AS 1289.5.2.1

Modified MDD (t/m³): 1.83
Modified OMC (%): 10.0
Retained Sieve (mm): 19.0
Oversize Material (%): 0
Curing Time (h): 2
LL Method: Visual / Tactile

Comments



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ABN: 71 349 772 837 / ACN: 008 966 283

California Bearing Ratio Test Report

Report Number: CBR:22S-03683
Date of Issue: 01/06/2022
Issue Number: 1

Client: Tabec Pty Ltd
Client Address: Level 2, 54-58 Havelock St West Perth WA 6005
Project: Proposed Residential Subdivision - Lot 601 Brockman St, Gingin
Project No: D294537

Accreditation Number 18742



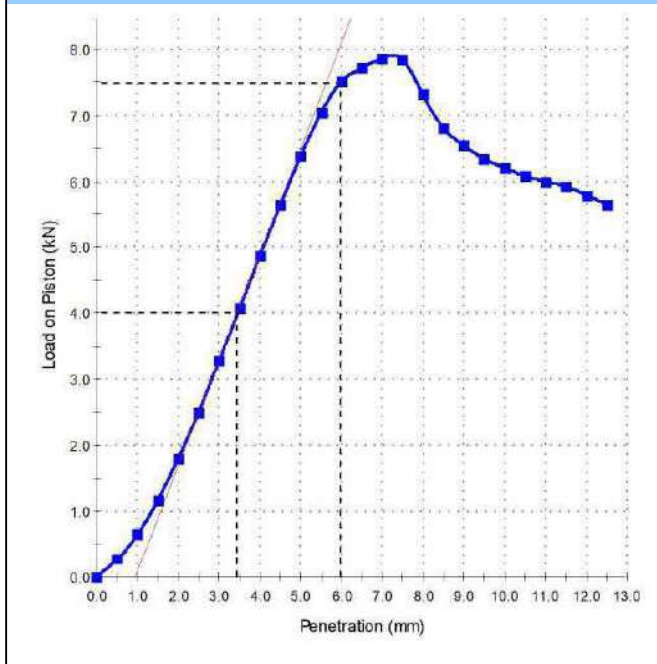

Approved Signatory: Aaron Nicholas

Accredited for compliance with ISO/IEC 17025

Sample Details

Sample ID: Proposed Subdivision	Field Sample ID: BH14
Date Tested: 27/05/2022	Date Sampled: 24/05/2022
Soil Description: Sand	Proposed Use: Fill
Depth of Test: 200-500mm	Depth of Layer: 300
Sampling Method: Sampled by Client	TRN: -
Work Order ID: W22-01312	

Load vs Penetration



Test Results

AS 1289.6.1.1

CBR at 5.0mm (%): 40

Dry Density before Soaking (t/m ³):	1.89
Density Ratio before Soaking (%):	95.0
Moisture Content before Soaking (%):	10.0
Moisture Ratio before Soaking (%):	101.5
Dry Density after Soaking (t/m ³):	1.89
Density Ratio after Soaking (%):	95.0
Swell (%):	0.0
Moisture Content of Top 30mm (%):	11.2
Moisture Content of Remaining Depth (%):	10.8
Compaction Hammer Used:	Modified
	AS 1289.5.2.1
Surcharge Mass (kg):	4.50
Period of Soaking (Days):	4
Retained on 19 mm Sieve (%):	1
CBR Moisture Content Method:	AS 1289.2.1.1
Sample Curing Time (h):	24

Comments



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Email: wageotechlab@strucsterre.com.au
Website: www.strucsterre.com.au
ABN: 71 349 772 837 / ACN: 008 966 283

Maximum Dry Density Report

Report Number: MDD:22S-03683
Date of Issue: 01/06/2022
Issue Number: 1

Client: Tabec Pty Ltd
Client Address: Level 2, 54-58 Havelock St West Perth WA 6005
Project: Proposed Residential Subdivision - Lot 601 Brockman St, Gingin
Project No: D294537

Accreditation Number 18742



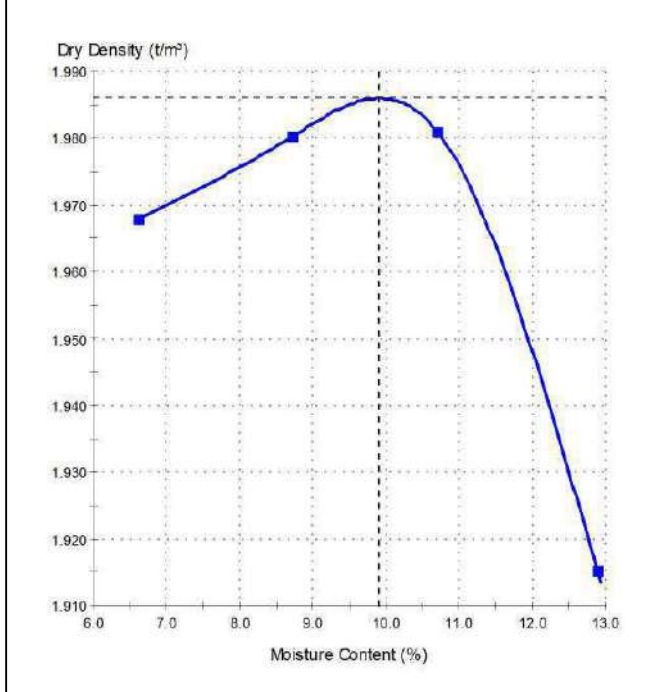

Approved Signatory: Aaron Nicholas

Accredited for compliance with ISO/IEC 17025

Sample Details

Sample ID: Proposed Subdivision	Field Sample ID: BH14
Date Tested: 24/05/2022	Date Sampled: 24/05/2022
Soil Description: Sand	Proposed Use: Fill
Depth of Test: 200-500mm	Depth of Layer: 300
Sampling Method: Sampled by Client	TRN: -
Work Order ID: W22-01312	

Dry Density - Moisture Content Relationship



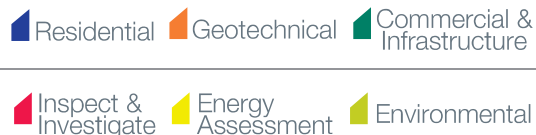
Test Results

AS 1289.5.2.1

Modified MDD (t/m³): 1.99
Modified OMC (%): 10.0
Retained Sieve (mm): 19.0
Oversize Material (%): 1
Curing Time (h): 2
LL Method: Visual / Tactile

Comments

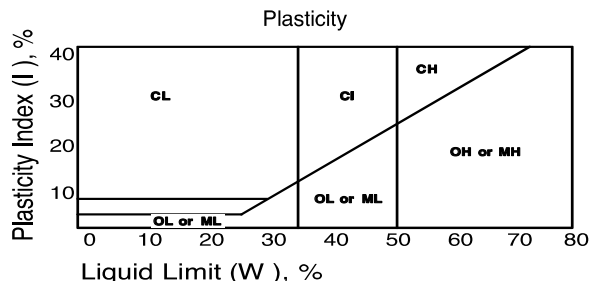
APPENDIX 5 – BORELOG TERMINOLOGY



BORELOG TERMINOLOGY

Particle Size Distribution

Major Division	Subdivision	Size
Boulders		>200mm
Cobbles		200 - 63mm
Gravel	Coarse	63 - 20mm
	Medium	20- 6mm
Sand	Fine	6 - 2.36mm
	Coarse	2.36 - 0.6mm
	Medium	0.6 - 0.2mm
	Fine	0.2 - 0.075mm



Consistency of Cohesive Soils

Term	Undrained Strength Su (kPa)	Field Guide
Very Soft	< 12	Exudes between the fingers when squeezed in hand
Soft	12 - 25	Can be moulded by light finger pressure
Firm	25 - 50	Can be moulded by strong finger pressure
Stiff	50 - 100	Cannot be moulded by Fingers. Can be indented by thumb.
Very Stiff	100 - 200	Can be indented by thumb nail
Hard	> 200	Can be indented with difficulty by thumb nail.
Friable	-	Crumbles or powders when scraped by thumbnail

Consistency/Density of Non-Cohesive Soils

Term	Density Index (%)	SPT "N" Value Comparison	Moisture Content
Very Loose	< 15	0 - 4	D Dry
Loose	15 - 35	4 - 10	M Moist
Medium Dense	35 - 65	10 - 30	W Wet
Dense	65 - 85	30 - 50	S Saturated
Very Dense	> 85	> 50	

Minor Components

Term	Assessment Guide	Proportion of Minor Component In:
Trace	Presence just detectable by feel or eye, but soil properties little or no different to general properties of primary component	Coarse grained soils: < 5 % Fine grained soils: <15%
With	Presence easily detected by feel or eye, soil properties little different to general properties of primary component	Coarse grained soils: 5 - 12 % Fine grained soils: 15 - 30%

Soil Legend

FILL	CLAY	GRAVEL	CONCRETE
TOPSOIL	SILT	LIMESTONE	COMBINATIONS
PEAT	SAND	BEDROCK	eg: Clay, Silty, Sandy

USCS

GW Well graded gravel	SC Clayey sand	OL Organic low plasticity silt	CL Low plasticity clay
GP Poorly graded gravel	SM Silty sand	ML Low plasticity silt	CI Intermediate plasticity clay
SW Well graded sand		MH High plasticity silt	CH High plasticity clay
SP Poorly graded sand		OH Organic high plasticity silt	PT Peat

DOC:GE:3.003

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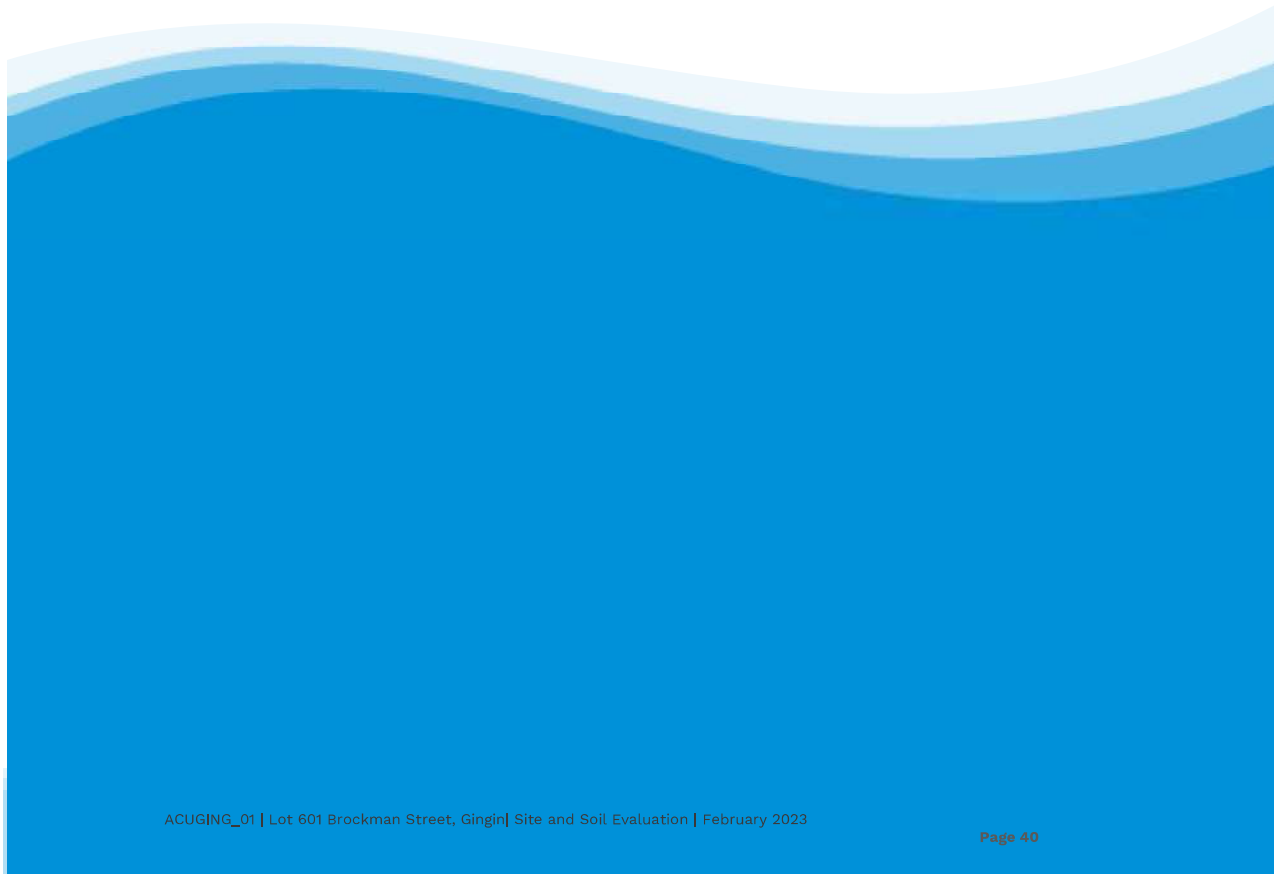
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Appendix B: Rear of Lot drainage system





Appendix C: Draft Town Centre Cut and Fill Plan





Lot 601 Brockman Street, Gingin

**Site Cross Section
S0425-SK-01**



REVISED

DATE

BY

SCALE

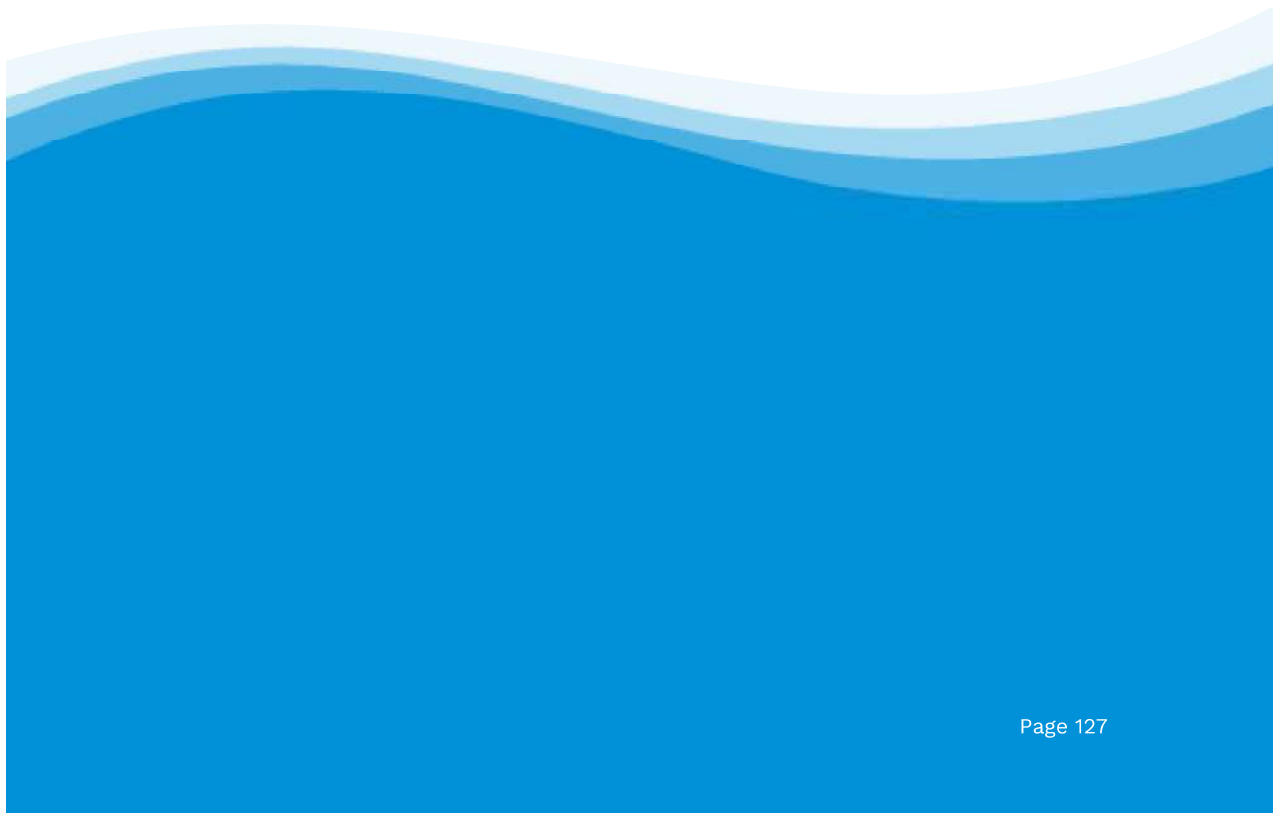
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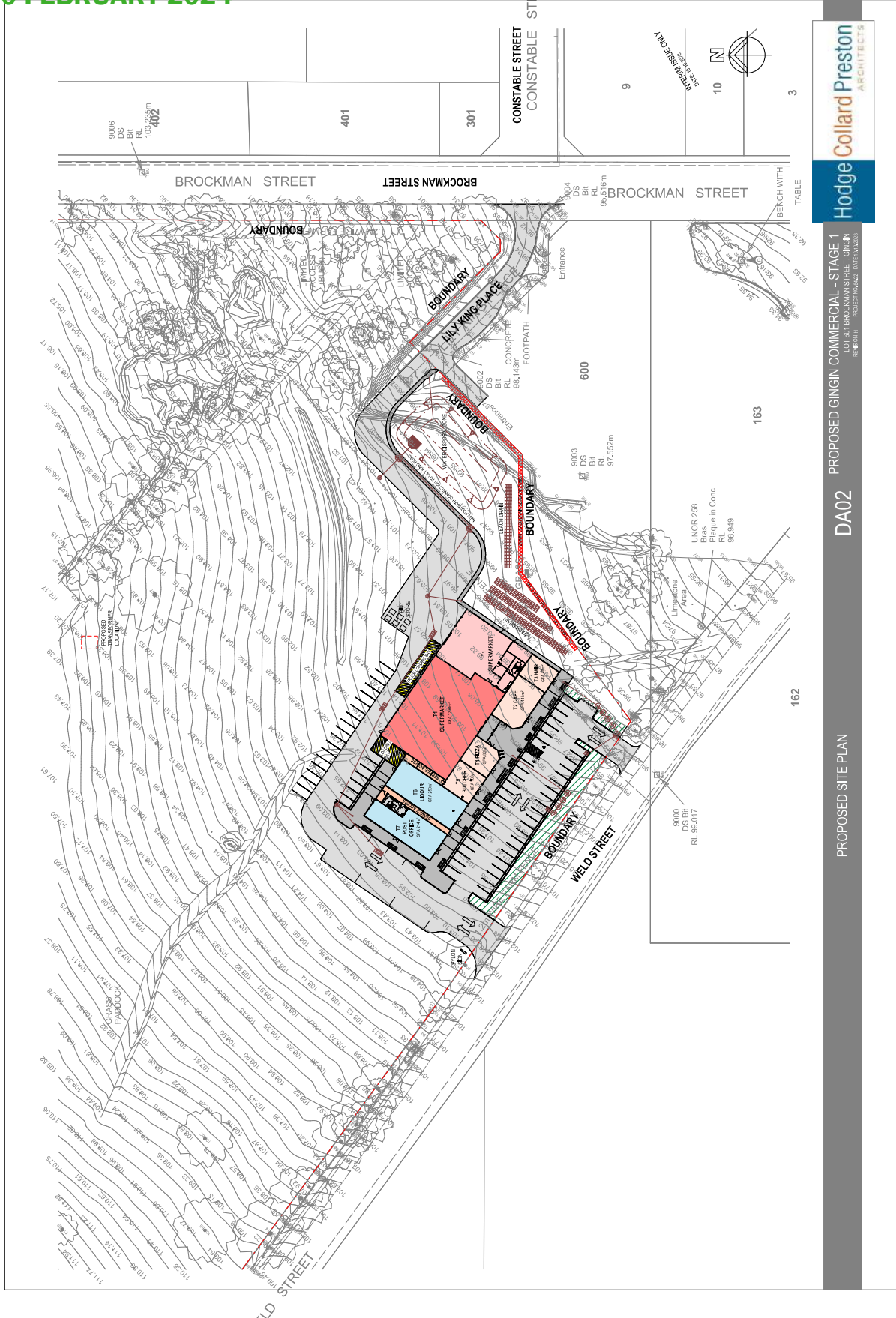
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Appendix B: Stage 1 Town Centre Expansion Design Layout





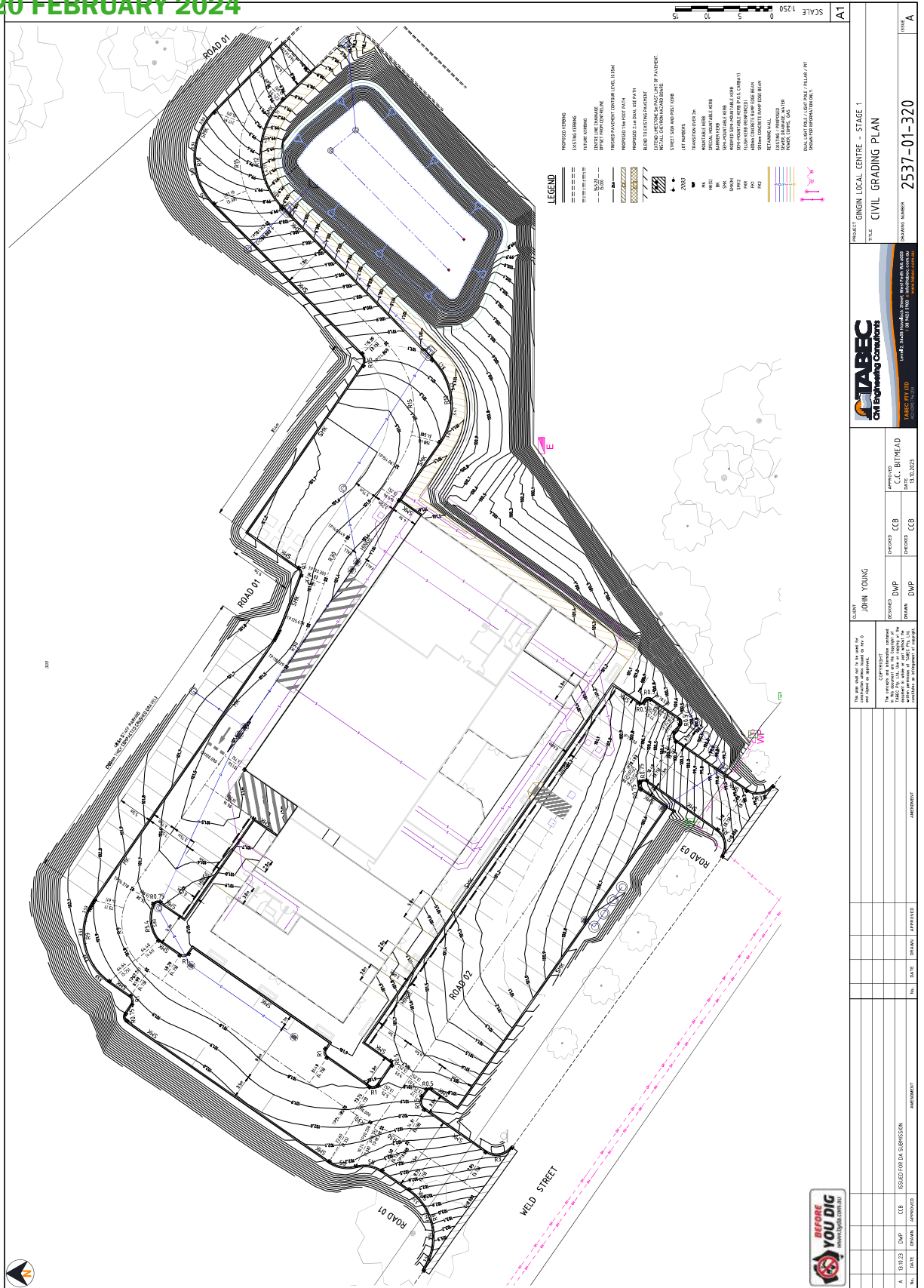
Hodge Collard Preston
ARCHITECTS

DA02 PROPOSED GINGIN COMMERCIAL - STAGE 1
LOT 101 BROCKMAN STREET, GINGIN
THE BROTHERHOOD PROJECT MANAGERS DATE: 10/02/2023

PROPOSED SITE PLAN

Appendix C: Draft Town Centre Cut and Fill Plan





PROJECT: ORION LOCAL CENTRE - STAGE 1		DRAWING NUMBER: 2537-01-320	
TITLE: CIVIL GRADING PLAN		DATE: 15/02/23	
CLIENT: JOHN YOUNG		DESIGNED BY: C. BIRRE, JD	
DESIGNED BY: DNP		CHECKED BY: CCB	
DRAWN BY: DNP		DATE: 15/02/23	
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1	15/02/23	DNP	CCB
ISSUED FOR PERMITS SUBMISSION			
<p>SCALE: 1:250</p>			



Lot 601 Brockman Street, Gingin
Proposed Commercial Development
TRANSPORT IMPACT ASSESSMENT



Prepared for:
Westerly Developments Pty Ltd

October 2023

Lot 601 Brockman Street, Gingin

Prepared for: Westerly Developments Pty Ltd
Prepared by: Paul Ghantous
Date: 19 October 2023
Project number: U23.092

Version control

Version No.	Date	Prepared by	Revision description	Issued to
U23.092.r01	11/10/23	Paul Ghantous	DRAFT	Hodge Collard Preston
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1 Introduction

This Transport Impact Assessment has been prepared by **Urbii** on behalf of **Westerly Developments Pty Ltd** with regards to the proposed commercial development, located at Lot 601 Brockman Street, Gingin.

The subject site is situated on the northern side of Weld Street, as shown in Figure 1. A commercial development is proposed on a portion of the site, near the Gingin Community Resource Centre and Shire of Gingin offices. The remaining portion of land is subject to future planning. The commercial development is the subject of this TIA.

The aim of this Transport Impact Assessment (TIA) is to assess the impact of the proposal on the existing transport network. The TIA was prepared in accordance with the WAPC *Transport Assessment Guidelines* 2016.

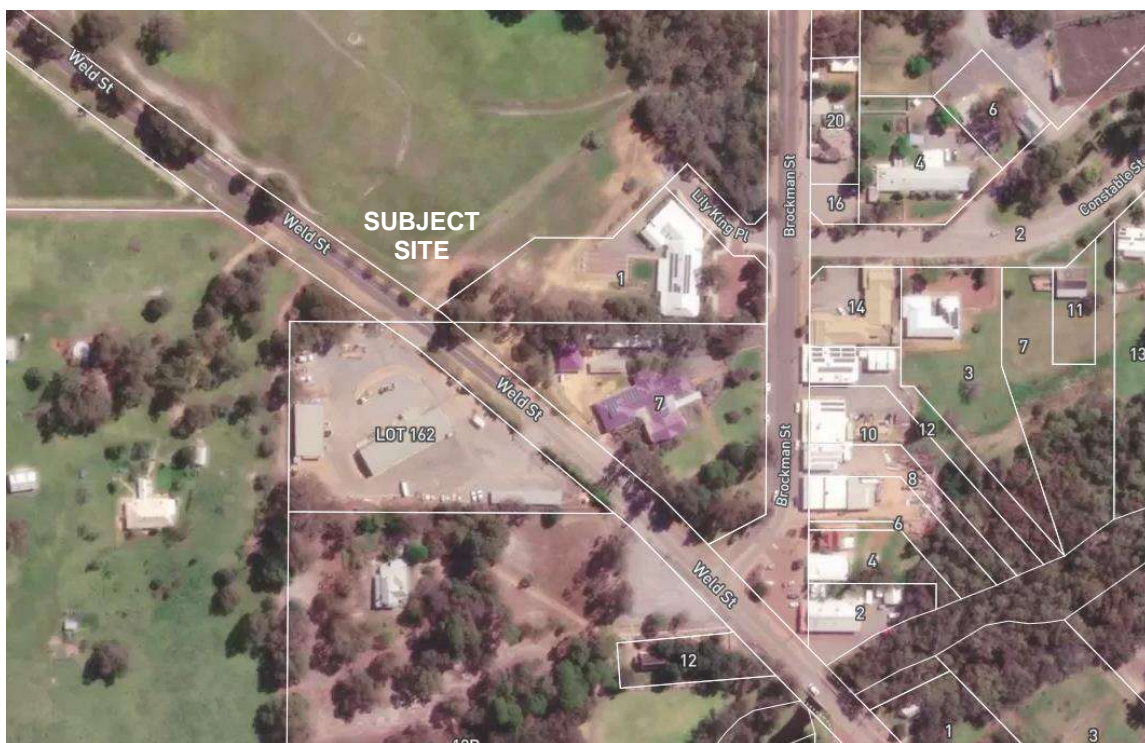


Figure 1: Subject site

2 Existing situation

2.1 Existing site use, access and parking

The site is mostly cleared land with fencing (Figure 2). There is an existing unsealed access connecting to Weld Street opposite the Shire of Gingin works depot (Figure 3).



Figure 2: Existing site



Figure 3: Existing vehicle access



The site is surrounded by a mix of community and commercial land uses, refer to Figure 4 for a context plan showing surrounding land use. Granville Park is located nearby to the south. The Shire of Gingin office, Australia Post and other services are located nearby along Brockman Street.

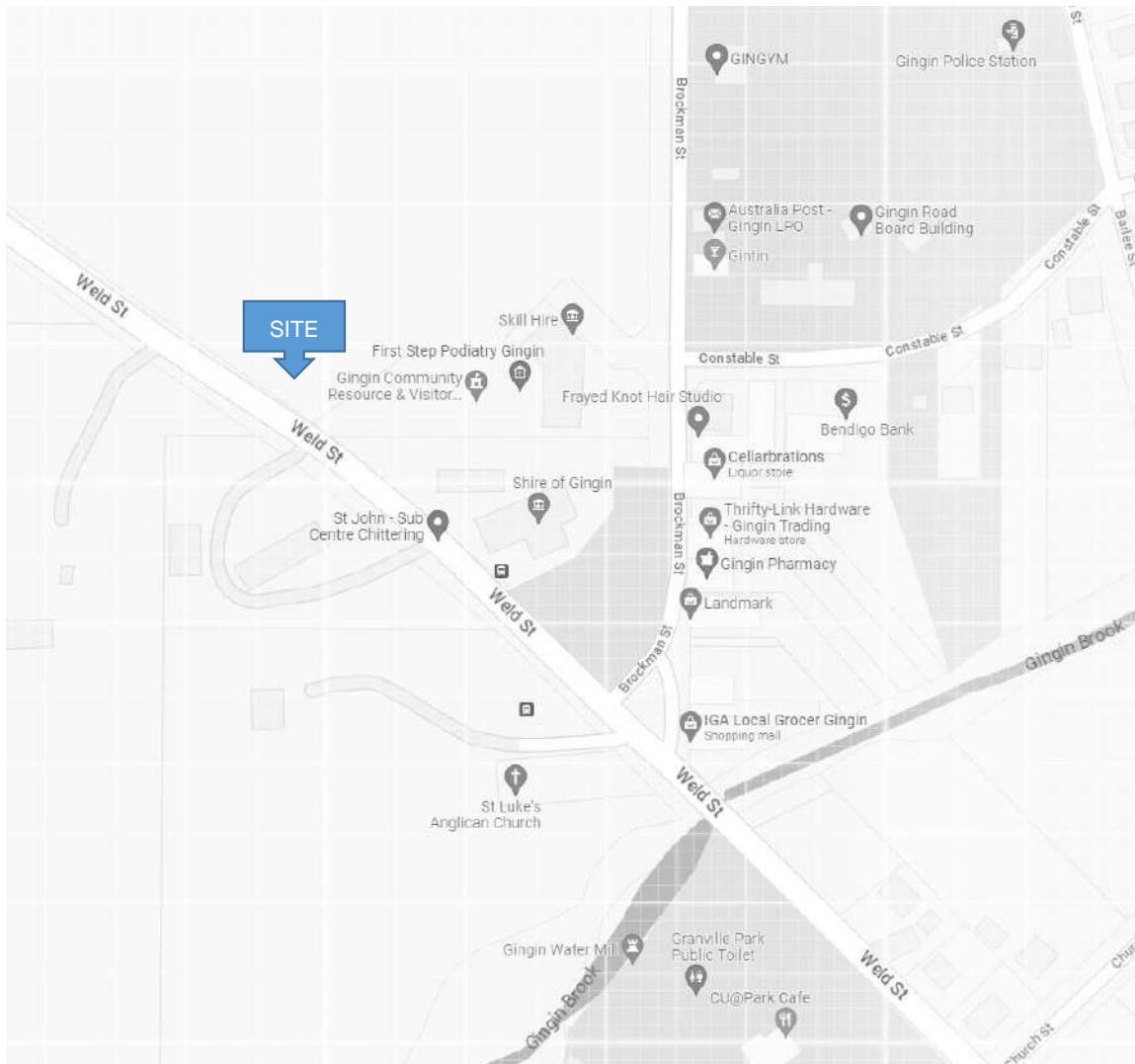


Figure 4: Location context plan

2.2 Surrounding road network and traffic management on roads

Information from online mapping services, Main Roads WA, Local Government, and site visits was collected to assess the existing traffic management on frontage roads.

2.2.1 Weld Street

Weld Street near the subject site is an approximately 7m wide, two-lane sealed road. The road features a painted centreline and has unsealed shoulders. No path for walking or cycling is presently provided adjacent to the development site (Figure 5). Further to the east there are paths provided near the Shire of Gingin office.

Weld Street is classified as a *Regional Distributor* road in the Main Roads WA road hierarchy (Figure 8). The speed limit is 50km/h around the Town Centre and changes to 80km/h at the western end of the subject site (Figure 9). Regional Distributor roads are the responsibility of Local Government and are typically for linking significant destinations and designed for efficient movement of people and goods between and within regions (Figure 10).

It is recommended that the Shire of Gingin liaise with MRWA speed zoning branch to extend the existing 50km/h speed zone further west past the subject site.



Figure 5: Weld Street adjacent to the subject site



2.2.2 Brockman Street

Brockman Street near the subject site is an approximately 16m wide, two-lane undivided road. On-street parking is provided along both sides of the road (Figure 6). A path for walking and cycling is provided along the eastern side of the road.

Brockman Street is classified as an *Access road* in the Main Roads WA road hierarchy (Figure 8) and operates under a speed limit of 50km/h (Figure 9). Access roads are the responsibility of Local Government and are typically for the provision of vehicle access to abutting properties (Figure 10).



Figure 6: Brockman Street (looking north)

2.2.3 Lily King Place

Lily King Place near the subject site is an approximately 6-8m wide, two-lane undivided road. A path for walking and cycling is provided along the southern side of the road. A 10km/h speed zone sign is installed at the intersection of Lily King Place with Brockman Street (Figure 7).



Figure 7: Lily King Place

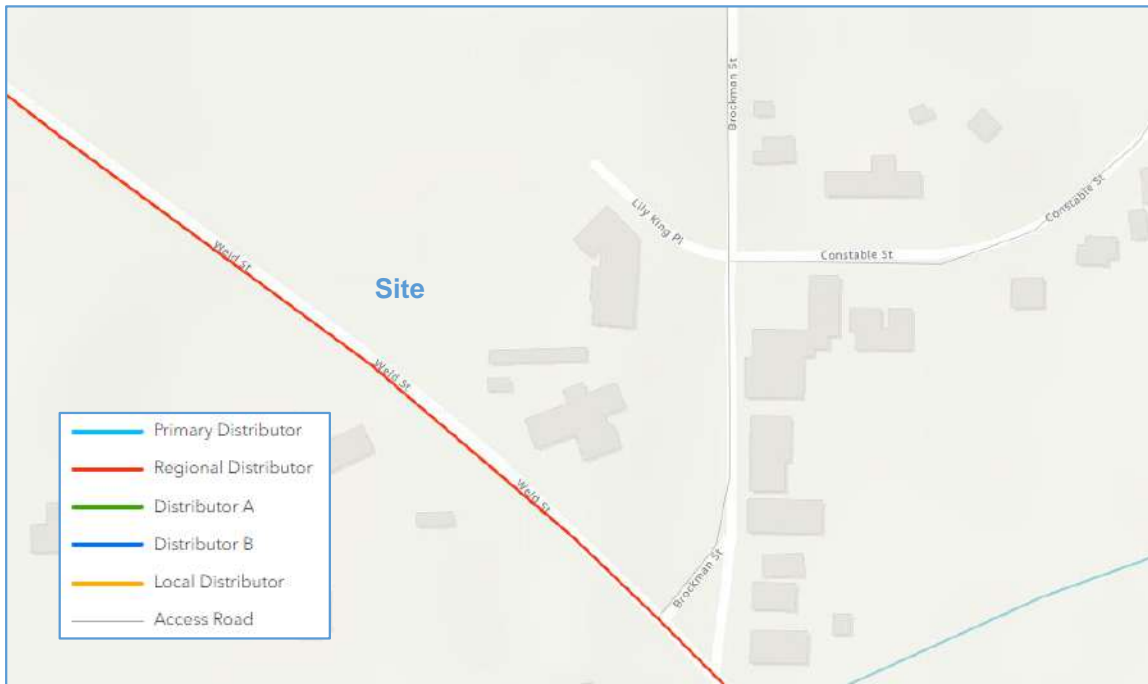


Figure 8: Main Roads WA road hierarchy plan

Source: Main Roads WA Road Information Mapping System (RIM)

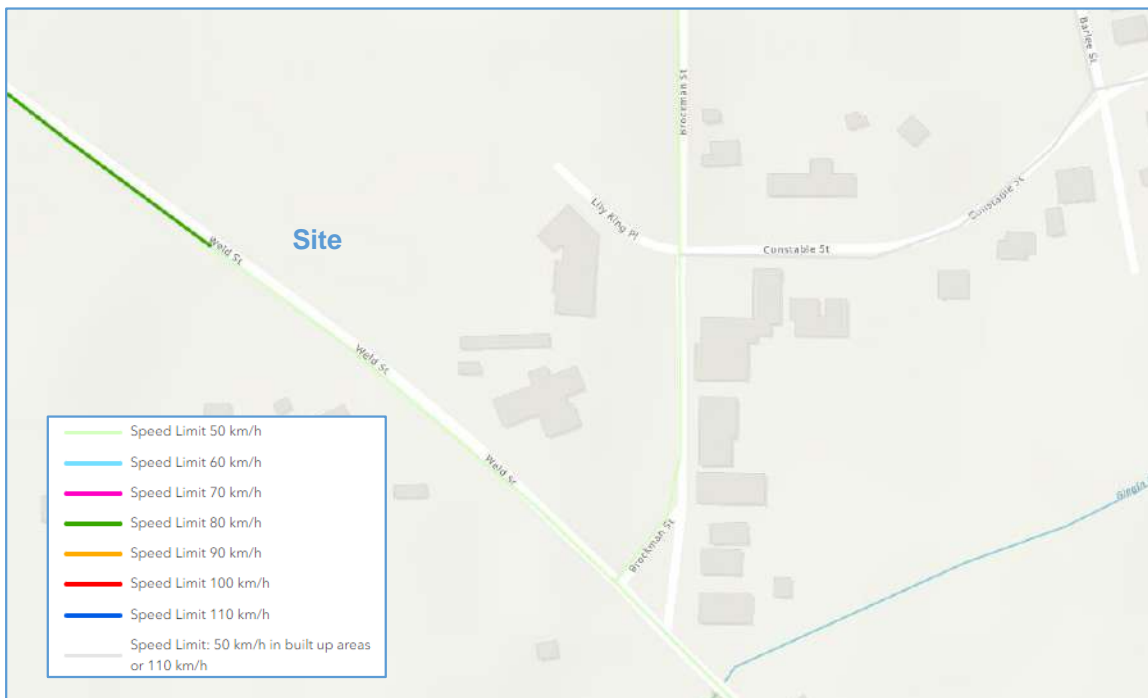


Figure 9: Main Roads WA road speed zoning plan

Source: Main Roads WA Road Information Mapping System (RIM)

ROAD HIERARCHY FOR WESTERN AUSTRALIA
ROAD TYPES AND CRITERIA (see Note 1)

CRITERIA	PRIMARY DISTRIBUTOR (PD) (see Note 2)	DISTRICT DISTRIBUTOR A (DA)	DISTRICT DISTRIBUTOR B (DB)	REGIONAL DISTRIBUTOR (RD)	LOCAL DISTRIBUTOR (LD)	ACCESS ROAD (A)
<i>Primary Criteria</i>						
1. Location (see Note 3)	All of WA incl. BUA	Only Built Up Area.	Only Built Up Area.	Only Non Built Up Area (see Note 4)	All of WA incl. BUA	All of WA incl. BUA
2. Responsibility	Main Roads Western Australia	Local Government.	Local Government.	Local Government.	Local Government.	Local Government.
3. Degree of Connectivity	High. Connects to other Primary and Distributor roads.	High. Connects to Primary and/or other Distributor roads.	High. Connects to Primary and/or other Distributor roads.	High. Connects to Primary and/or other Distributor roads.	Medium. Minor Network. Role Connects to Distributors and Access Roads.	Low. Provides mainly for property access.
4. Predominant Purpose	Movement of inter regional and/or cross town/city traffic, e.g. freeways, highways and main roads.	High capacity traffic movements between industrial, commercial and residential areas.	Reduced capacity but high traffic volumes travelling between industrial, commercial and residential areas.	Roads linking significant destinations and designed for efficient movement of people and goods between and within regions.	Movement of traffic within local areas and connect access roads to higher order Distributors.	Provision of vehicle access to abutting properties
<i>Secondary Criteria</i>						
5. Indicative Traffic Volume (AADT)	In accordance with Classification Assessment Guidelines.	Above 8 000 vpd	Above 6 000 vpd	Greater than 100 vpd	Built Up Area - Maximum desirable volume 6 000 vpd. Non Built Up Area - up to 100 vpd	Built Up Area - Maximum desirable volume 3 000 vpd. Non Built Up Area - up to 75 vpd
6. Recommended Operating Speed	60 – 110 km/h (depending on design characteristics)	60 – 80 km/h.	60 – 70 km/h.	50 – 110 km/h (depending on design characteristics).	Built Up Area 50- 60 km/h (desired speed) Non Built Up Area 60 – 110 km/h (depending on design characteristics).	Built Up Area 50 km/h (desired speed). Non Built Up Area 50 – 110 km/h (depending on design characteristics).
7. Heavy Vehicles permitted	Yes.	Yes.	Yes.	Yes.	Yes, but preferably only to service properties.	Only to service properties.
8. Intersection treatments	Controlled with appropriate measures e.g. high speed traffic management, signing, line marking, grade separation	Controlled with appropriate measures e.g. traffic signals.	Controlled with appropriate Local Area Traffic Management.	Controlled with measures such as signing and line marking of intersections.	Controlled with minor Local Area Traffic Management or measures such as signing.	Self controlling with minor measures.
9. Frontage Access	None on Controlled Access Roads. On other routes, preferably none, but limited access is acceptable to service individual properties.	Prefer not to have residential access. Limited commercial access, generally via service roads.	Residential and commercial access due to its historic status. Prefer to limit when and where possible.	Prefer not to have property access. Limited commercial access, generally via lesser roads.	Yes, for property and commercial access due to its historic status. Prefer to limit whenever possible. Side entry is preferred.	Yes.
10. Pedestrians	Preferably none. Crossing should be controlled where possible.	With positive measures for control and safety e.g. pedestrian signals.	With appropriate measures for control and safety e.g. median/islands/refuges.	Measures for control and safety such as careful siting of school bus stops and rest areas.	Yes, with minor safety measures where necessary.	Yes.
11. Buses	Yes.	Yes.	Yes.	Yes.	Yes.	If necessary (see Note 5)
12. On-Road Parking	No (emergency parking on shoulders only).	Generally no. Clearways where necessary.	Not preferred. Clearways where necessary	No – emergency parking on shoulders – encourage parking in off road rest areas where possible.	Built Up Area – yes, where sufficient width and sight distance allow safe passing. Non Built Up Area – no. Emergency parking on shoulders.	Yes, where sufficient width and sight distance allow safe passing.
13. Signs & Linemarking	Centrelines, speed signs, guide and service signs to highway standard. In accordance with Main Roads' Roadside Stopping Places Policy.	Centrelines, speed signs, guide and service signs.	Centrelines, speed signs, guide and service signs.	Centrelines, speed signs and guide signs.	Speed and guide signs.	Urban areas – generally not applicable. Rural areas – Guide signs.
14. Rest Areas/Parking Bays		Not Applicable.	Not Applicable.	Parking Bays/Rest Areas. Desired at 60km spacing.	Not Applicable.	Not Applicable.

Figure 10: Road types and criteria for Western Australia

Source: Main Roads Western Australia D10#10992

As detailed in Figure 11, there is a full-movement T-intersection provided at Weld Street and Brockman Street. Lily King Place forms a 4-way intersection with Brockman Street and Constable Street.

Reference was made to Australian Standard AS1742.2 - *Manual of uniform traffic control devices Part 2: Traffic control devices for general use*, for guidance on appropriate intersection controls (Figure 12). Give Way signs and hold line marking should be installed on the approaches of Lily King Place and Constable Street, at the intersection with Brockman Street.

It is recommended that the Shire of Gingin liaise with MRWA to obtain approval for Give Way signage and Linemarking at the existing 4-way intersection.

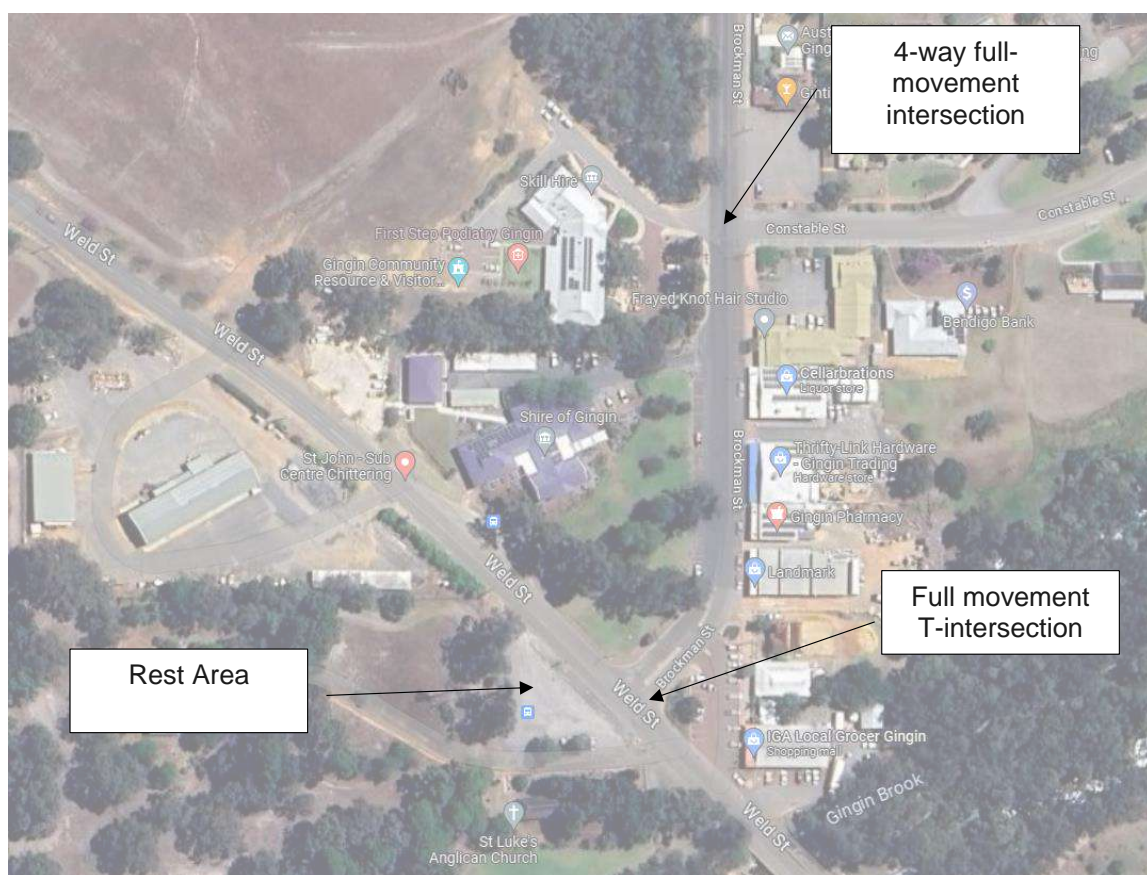


Figure 11: Key local intersections

2.5 CONTROL BY GIVE WAY AND STOP SIGNS

2.5.1 General

GIVE WAY signs and STOP signs are used to control traffic at intersections other than those controlled by means of roundabouts or traffic signals, by allocating priority to traffic on one of the intersecting roads.

These signs are provided as follows:

- (a) GIVE WAY signs shall be provided at all intersections with four or more legs.
- (b) GIVE WAY signs shall be provided at any three-way intersection where the layout is such that it is not clear how or whether the T-intersection rule would operate, for example, at a Y-intersection.
- (c) GIVE WAY signs should be used for road safety reasons at unsignalized T-intersections where the continuing road (i.e. the bar of the T) is an arterial or sub-arterial road, urban or rural.
- (d) STOP signs shall be provided instead of GIVE WAY signs on any controlled approach where intersection sight distance is substandard as determined in accordance with Clause 2.5.4. STOP signs shall not be used where intersection sight distance is adequate for GIVE WAY signs.

In all other cases, GIVE WAY signs are not required if the T-intersection rule operates satisfactorily and there is no requirement for STOP signs due to reduced intersection sight distance.

Figure 12: Intersection control by give way and stop signs

Source: Extracted from AS1742.2

2.3 Existing traffic volumes on roads and major intersections

Traffic volume and speed data obtained from Main Roads WA indicates Weld Street carried average weekday traffic flows of around 2,300 vehicles per day (North of Mooliabeenee Rd) in 2021. The weekday peak hours occur at around 8am to 9am and between 4pm to 5pm, as detailed in Figure 13.

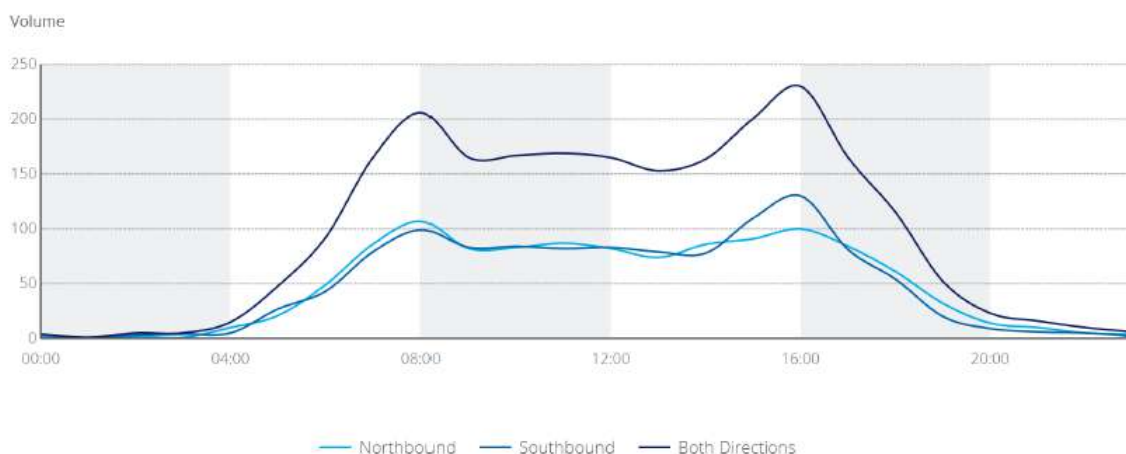


Figure 13: Weekday traffic profile (Weld Street North of Mooliabeenee Rd)

Traffic data obtained from Main Roads WA for the local road network is summarised in Table 1.

Table 1: Existing traffic volume and speed on local roads

Road	Location	Daily traffic	85 th percentile speed
Weld St	North of Mooliabeenee Rd	2,342 vpd	49.5 km/h
Weld St	West of Brockman St	793 vpd	78.1 km/h

To establish existing base traffic flows at nearby intersections, a manual traffic survey was undertaken at the intersection of Weld Street and Brockman Street. The survey was undertaken in August 2023 between 8am and 9am in the morning and 4pm and 5pm in the afternoon.

The base peak hour traffic flows derived for analysis are detailed in Section 7.2 of this report.

2.4 Existing operation of surrounding intersections

The operation of existing intersections is documented in Section 7.5 of this report.



2.5 Heavy vehicles

The roads near the subject site form part of RAV Network 1 which permits 19m semi-trailers to travel on these roads under general access, or “as of right” status. General access vehicles may operate state-wide provided they are:

- not a road train or b-double;
- within regulation axle mass limits;
- 19 metres or less in combination length (or a maximum 12.5 metres for rigid vehicles);
- total combination mass less than 42.5 tonnes;
- width less than 2.5 metres (excluding mirrors and lights); and
- height less than 4.3 metres.

2.6 Public transport access

There are no local public transport options serving the subject site. There are bus stops on Weld Street in front of the Shire offices (Figure 14). These stops are for the TransWA regional coach which stops at Gingin once per day in each direction (Figure 15).

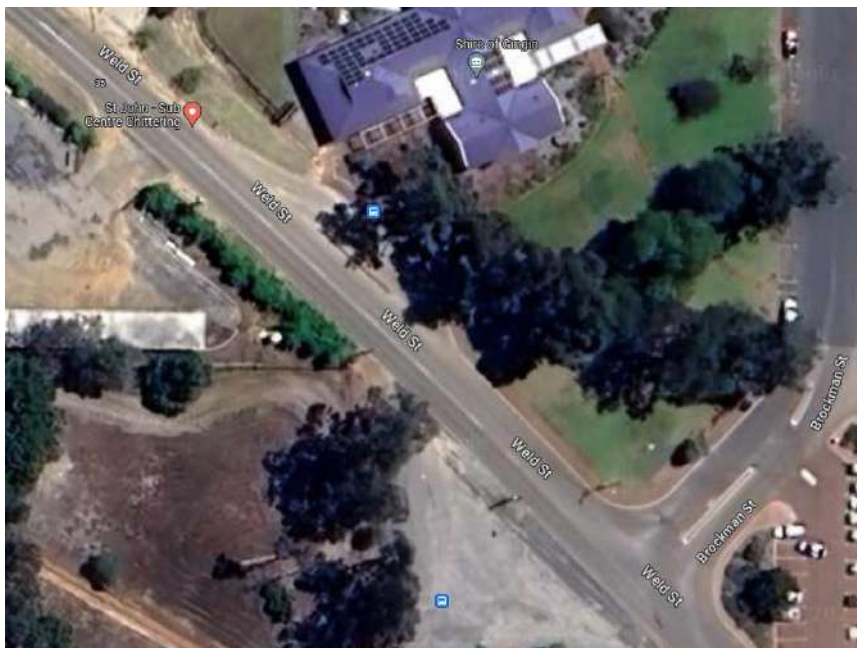


Figure 14: Closest bus stops serving the proposed development

Perth to Kalbarri via Eneabba
Perth to Geraldton via Eneabba **N1**

	879	GPE1		GPE2	860
From Perth	Mon Wed Fri	Tue Thur Sat		Mon to Sat	Tue Thur Sat
	AM	AM			AM
East Perth Terminal	Dep 8:30	8:30	Kalbarri (Motor Hotel)	Dep	7:10
Midland Station (Stand No. 1)	Dep 8:55	8:55	Northampton (Lions bus shelter)	Dep	8:25
Bullsbrook (bus stop)	Dep 9:17	9:17	Geraldton (Railway Station)	Arr AM	9:15
Gingin (Shire Office)	Dep 9:46	9:46		Dep 8:30	9:30
Cataby (Liberty Roadhouse)	Arr 10:43	10:43	Cape Burney turnoff (1km)*	Dep 8:40	9:35
	Dep 11:15	11:15	Greenough (town site)	Dep 8:50	9:50
Badgingarra (information bay)	Dep 11:46	11:46	Dongara (Visitor Centre)	Dep 9:20	10:20
	PM	PM	Port Denison (Point Leander Drive)	Dep 9:25	
Jurien Bay turnoff/Brand Highway (38km)*	Dep 12:00	12:00	Eneabba (Roadhouse)	Dep 10:22	
Warradarge (Roadhouse)	Dep 12:14	12:14	Warradarge (Roadhouse)	Arr 10:45	
Eneabba (Roadhouse)	Dep 12:37	12:37		Dep 11:15	
Port Denison (Point Leander Drive)	Dep 1:34	1:34	Jurien Bay turnoff/Brand Highway (38km)*	Dep 11:29	
Dongara (Visitor Centre)	Dep 1:39	1:39	Badgingarra (information bay)	Dep 11:45	
Greenough (town site)	Dep 2:09	2:09		PM	
Cape Burney turnoff (1km)*	Dep 2:19	2:19	Cataby (Liberty Roadhouse)	Dep 12:15	
Geraldton (Railway Station)	Arr 2:30	2:30	Gingin (Shire Office)	Dep 1:11	
	Dep 2:40		Bullsbrook (bus stop)	Dep 1:40	
Northampton (Lions bus shelter)	Dep 3:22		Midland Station (Stand No. 1)	Dep 2:02	PM
Kalbarri (Motor Hotel)	Arr 4:55		East Perth Terminal	Arr 2:30	4:45

Comfort stop
 Wheelchair accessible toilet facilities available * (km) kilometres from townsite
● Road coach services will only divert to Dongara, Eneabba or Gingin if advance bookings are made.
Amendments may apply on public holidays and during school holidays. Road coaches will only stop at other authorised stopping points if pre-booked.
Passengers are advised to board 15 minutes prior to departure.

Figure 15: TransWA coach timetable

2.7 Pedestrian access

Information from online mapping services, Main Roads WA, Local Government, and site visits was collected to assess the pedestrian access for the proposed development.

Footpaths are provided on portions of Weld Street, Brockman Street and Lily King Place in the locality.

Kerb ramps are provided at some intersections to promote improved access for wheelchairs, prams and bicycles.

2.8 Bicycle access

The Shire of Gingin Trail Map (see Figure 16) shows the existing cycling infrastructure in the locality. There are no dedicated cycling facilities. People cycling may use footpaths where they are provided or will have to cycle on the road to and from the site.



Figure 16: Shire of Gingin Trail Map

2.9 Crash data and safety

The five-year crash history in the vicinity of the site was obtained from Main Roads WA. As detailed in Figure 17, 1 crash was recorded in the immediate locality in the last five years. This crash involved a vehicle colliding with a person crossing Brockman Street and resulted in minor property damage only. The detailed crash history is presented in Table 2.



Figure 17: 5-year crash map in the locality (2018-2022)

Source: MRWA crash mapping tool



Table 2: 5-year crash history in the locality (2018-2022)

Severity	No.	%
Fatal	0	0
Hospital	0	0
Medical	0	0
PDO Major	0	0
PDO Minor	1	100.00

Year	No.	%
2021	1	100.00

Nature	No.	%
Head On	0	0
Hit Animal	0	0
Hit Object	0	0
Hit Pedestrian	1	100.00
Non Collision	0	0
Not Known	0	0
Rear End	0	0
Right Angle	0	0
Right Turn Thru	0	0
Sideswipe Opposite Dirn	0	0
Sideswipe Same Dirn	0	0

Light	No.	%
Dark - Street Lights Not Provided	0	0
Dark - Street Lights Off	0	0
Dark - Street Lights On	0	0
Dawn Or Dusk	0	0
Daylight	1	100.00
Not Known	0	0

Conditions	No.	%
Dry	1	100.00
Not Known	0	0
Wet	0	0

Alignment	No.	%
Curve	0	0
Not Known	0	0
Straight	1	100.00

Total	No.	%
Total	1	

3 Development proposal

A commercial development is proposed for the subject site, which will include complementary uses as detailed in Table 3. The proposed development will deliver a total Gross Floor Area of around 2,100m². Some minor variations in floor area may take place as further plan amendments are made.

Table 3: Proposed uses

Land use	Gross Floor Area (m2)
T1 - Supermarket	1200
T2 - Café	150
T3 - Hair	80
T4 - Pizza	90
T5 - Butcher	100
T6 - Liquor	250
T7 - Post Office	214
Total	2084

The proposed development plans are included in Appendix A.



4 Vehicle access

The proposed vehicular access arrangements have been reviewed for efficient and safe traffic circulation.

The proposed access arrangements are shown in Figure 18. Two crossovers are proposed one Weld Street which will accommodate full-movement, two-way flows for general traffic. A service road will connect to Lily King Place, which will provide one-way access for service, delivery and waste collection vehicles. Staff will also be permitted to enter from Lily King Place.

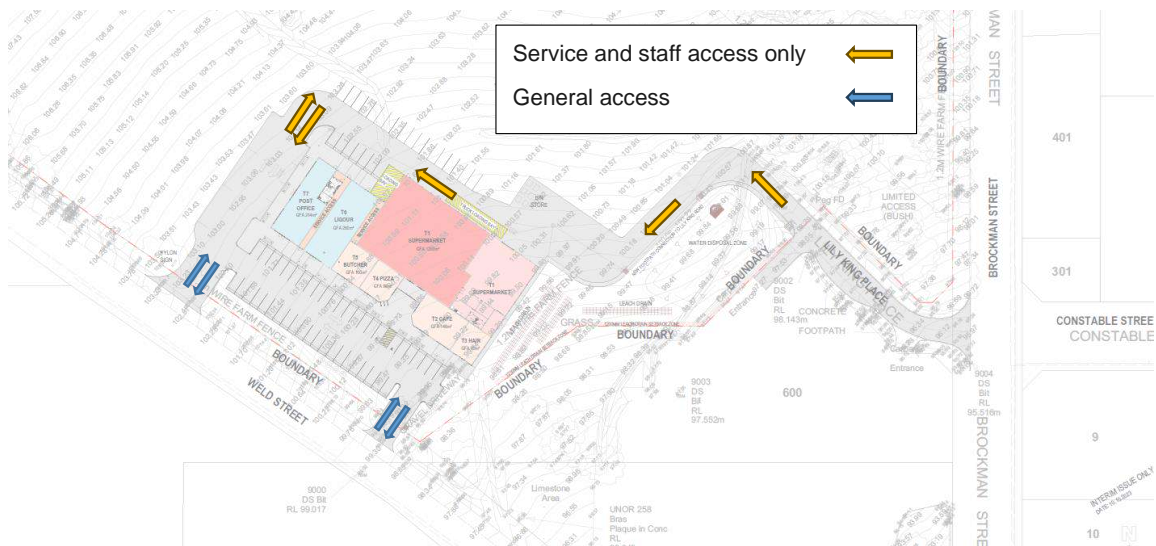


Figure 18: Proposed vehicle access

Some suggested traffic management signage and linemarking has been prepared by Urbii and is included in the swept path diagrams presented in Appendix C.

5 Changes to surrounding transport networks

Based on public information available to Urbii, there are limited changes to the local transport network expected in the next ten years.



6 Integration with surrounding area

The proposed development integrates well with the surrounding area. There could be further complementary development in the Town Centre in future which will be subject to a separate development application.

7 Traffic assessment

7.1 Assessment period

Two time periods are considered in the traffic assessment:

- Weekday AM peak hour: 8am to 9am.
- Weekday PM peak hour: 4pm to 5pm.

The analysis was undertaken for the following scenarios:

- 10yr post-development situation (assumed to be 2036 with development traffic included).

7.2 Existing traffic flows

To establish existing base traffic flows at nearby intersections, a manual traffic survey was undertaken at the intersection of Weld Street and Brockman Street. The survey was undertaken in August 2023 between 8am and 9am in the morning and 4pm and 5pm in the afternoon.

The existing traffic flows are presented in Figure 19.

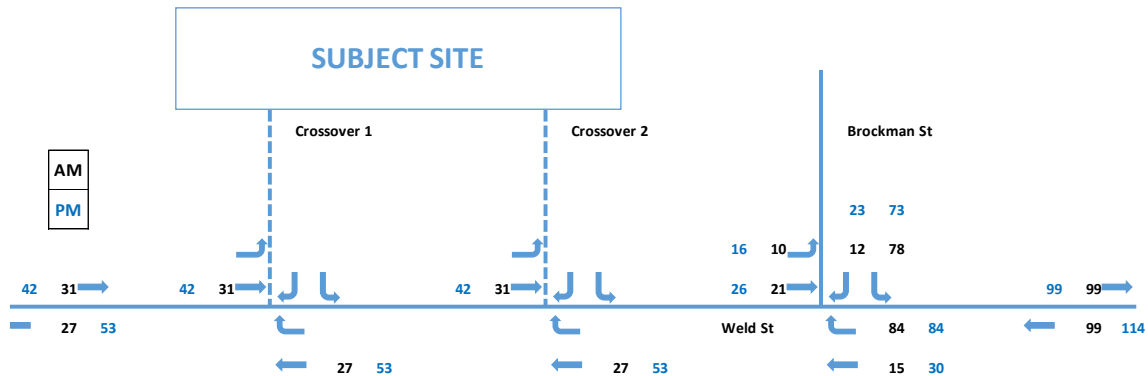


Figure 19: Surveyed existing traffic flows – weekday AM and PM peak hours



7.3 Traffic generation

The traffic volume that will be generated by the proposed development has been estimated using trip generation rates derived with reference to the following sources:

- RTA NSW Guide to traffic generating developments;
- RTA NSW Technical direction TDT 2013/4A; and,
- RTA NSW *Trip Generation and Parking Demand Surveys of Shopping Centre Analysis Report*, September 2011.

The trip generation rates adopted are detailed in Table 4. *Shopping Centres* in the RTA guide include a wide range of land uses integrated in one centre, this includes supermarkets, slow and fast trade retail, food and beverage, medical and other offices. Therefore, the trip rate for *Shopping Centre* is appropriate for the proposed development.

Table 4: Adopted trip rates for traffic generation

Land use	Trip rate source	Daily rate	AM Peak Hour	PM Peak Hour	IN	OUT
Shopping Centre (0 - 20,000m ²)	RTA NSW	61 trips per 100m ²	Assume 50% of PM Peak	6.7 trips per 100m ²	50%	50%

The estimated traffic generation of the proposed development is detailed in Table 5. The proposed development is estimated to generate a total of 1,281 vehicles per day (vpd), 70 vehicles per hour (vph) and 140 vph in the weekday AM and PM peak hours respectively. The net increase in traffic is **+1,025vpd, +56vph** (AM peak) and **+112vph** (PM peak).

These trips include both inbound and outbound vehicle movements. It is anticipated that most of the vehicle types would be small passenger cars and compact SUVs.

Surveys presented in the RTA Shopping Centre Analysis Report recorded an average passing trade rate of 46%. However, as the subject site is in a regional townsite with low traffic on Weld Street, a lower passing trade proportion of 20% was adopted in the analysis.

Table 5: Daily and peak hour traffic generation

Development Traffic	GLFA (m ²)	Daily Trips	AM Peak	PM Peak	AM Peak		PM Peak	
					IN	OUT	IN	OUT
Primary Trips (80%)	-	1025	56	112	28	28	56	56
Passing Trade (20%)	-	256	14	28	7	7	14	14
Total Trips	2100	1281	70	140	35	35	70	70

The traffic analysis is very conservative as the trip rates applied are for urban shopping centres with a higher population density.

7.4 Trip distribution and assignment

The trip distribution for passing trade was assumed to be 57% left-in/left-out on Weld Street and 43% right-in/right-out on Weld Street. The distribution of passing trade development traffic is presented in Figure 20.

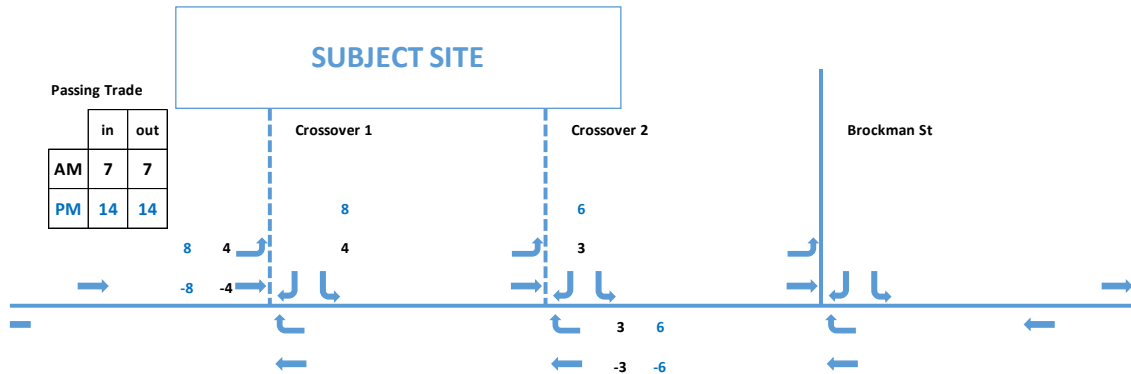


Figure 20: Proposed development passing trade distribution

The distribution of primary trips was assumed with reference to existing turning movements at nearby intersections. The distribution of primary development trips is presented in Figure 21.

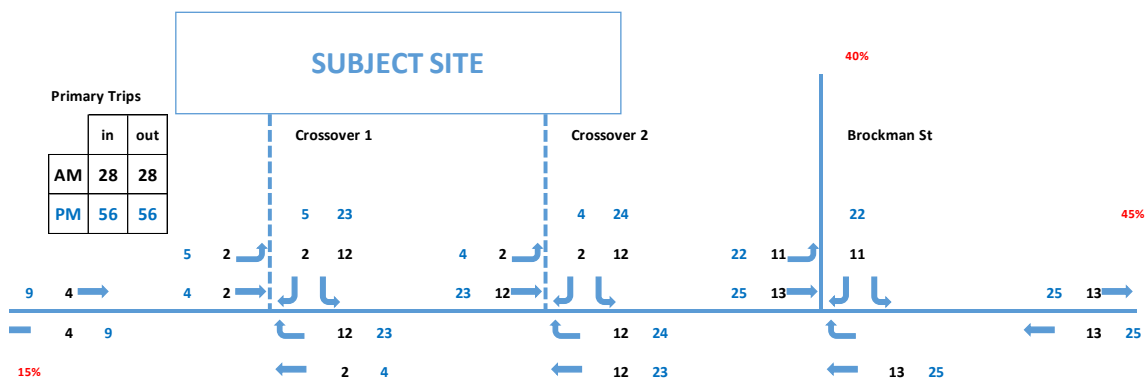


Figure 21: Proposed development primary trips distribution

The total development traffic is presented in Figure 22.

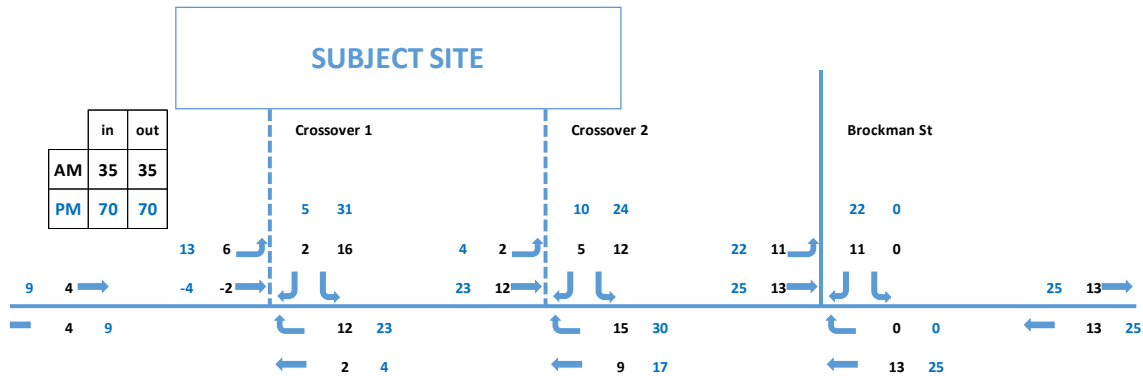


Figure 22: Total development traffic

7.4.1 10-year post development forecasting

The Shire of Gingin had an average growth rate of 1.6% per annum in the estimated resident population from 2007 to 2022 (Figure 23).

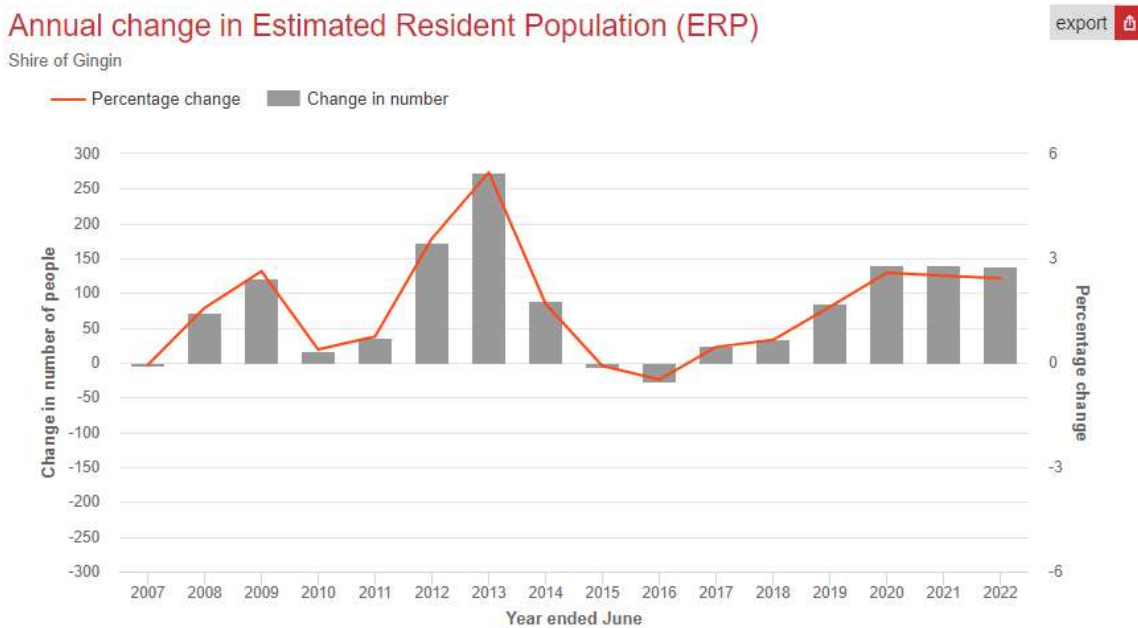


Figure 23: Annual change in resident population

Shire of Gingin 2007 to 2022

This TIA conservatively adopts a compounded traffic growth rate of 2% per annum. Applying this rate for traffic growing from the assessment years of 2023 to 2036 will result in a 29% increase in background traffic volumes.

The total 2036 post development traffic volumes are detailed in Figure 24.

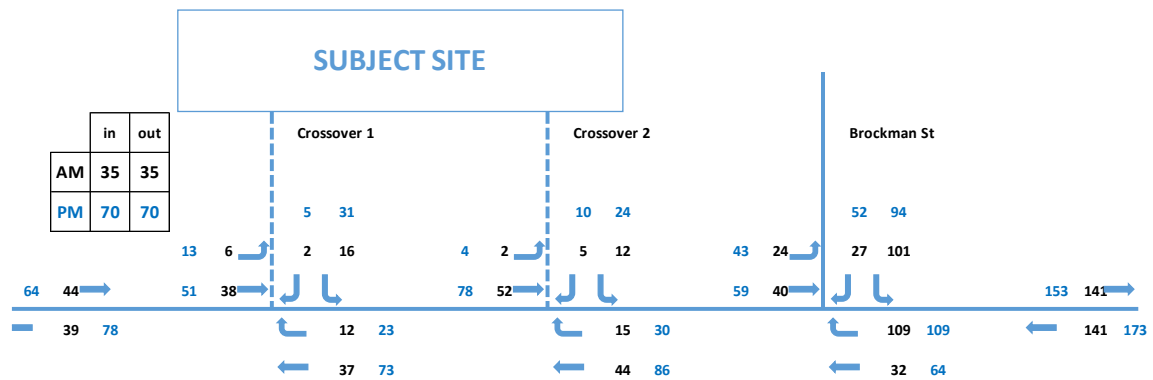


Figure 24: 2036 forecast traffic flows (including development traffic)

7.5 Analysis of intersections and development access

Capacity analysis of intersections was undertaken using the SIDRA 9 computer software package. SIDRA 9 is an intersection modelling tool commonly used by traffic engineers for all types of intersections.

Three intersections were analysed as following:

- Weld St / Brockman St (2036 AM & PM peak hours).
- Site crossover 1 / Weld St (2036 AM & PM peak hours).
- Site crossover 2 / Weld St (2036 AM & PM peak hours).

Overall, the SIDRA results indicate that the proposed development will have minimal impact on the road network. All traffic movements are expected to operate at level of service A with minimal delays and queuing.

Detailed SIDRA outputs for each intersection are provided in Appendix B.

7.6 Impact on surrounding roads

The WAPC Transport Impact Assessment Guidelines for Developments (2016) provides the following guidance on the assessment of traffic impacts:

“As a general guide, an increase in traffic of less than 10 percent of capacity would not normally be likely to have a material impact on any particular section of road but increases over 10 percent may. All sections of road with an increase greater than 10 percent of capacity should therefore be included in the analysis. For ease of assessment, an increase of 100 vehicles per hour for any lane can be considered as equating to around 10 percent of capacity. Therefore, any section of road where development traffic would increase flows by more than 100 vehicles per hour for any lane should be included in the analysis.”

The proposed development will not increase traffic flows on any roads adjacent to the site by the quoted WAPC threshold of +100vph to warrant further analysis. Therefore, the impact on the surrounding road network is minor.

7.7 Impact on neighbouring areas

The traffic generated by the proposed development is not expected to significantly affect surrounding areas and the proposed land uses are in line with planning for the local area. Therefore, there is not expected to be any impact on neighbouring areas that would require any further consideration.

7.8 Traffic noise and vibration

It requires a doubling of traffic volumes on a road to produce a perceptible 3dB (A) increase in road noise. The proposed development will not increase traffic volumes or noise on surrounding roads anywhere near this level to result in any perceptible increase in noise.



8 Parking

8.1 Parking supply

A total of 56 formal car parking bays are proposed for the development. This includes two bays allocated for ACROD parking. Seven bays will be reserved for the exclusive use of staff at the rear of the building. Staff will also be permitted to park informally behind the building, providing an approximate extra 18 parking spaces.

Three caravan or car and trailer parking spaces are also proposed onsite. The total parking capacity onsite is 77 bays.

8.2 Parking requirements

Advice provided by the project Town Planner indicates that the applicable planning scheme requires a total of 80 bays, as detailed in Table 6. This results in an 'on-paper' shortfall of 3 bays. The development is in the town centre, with community, retail, medical, office and civic uses all within two minutes walking distance of the site. Therefore, there will be some reciprocal activity with people visiting or working in the area walking to and from the site. As a conservative estimate, if 5% of visits are from nearby walkable locations, then the parking requirement will be 76 bays. Additionally, there is on-street parking on Brockman Street which may be used by people visiting the town centre for a multi-purpose trip. In consideration of these factors, the parking shortfall is minor and can be supported.

Table 6: Planning scheme parking requirements

Proposed Land Use	Parking Requirement	Number of Bays Required
Shop <ul style="list-style-type: none"> • Supermarket (774sqm excl back of house) • Post Office (214sqm) • Liquor (250sqm) • Butcher (100sqm) • Hair (80sqm) 	1 bay per 20sqm of NLA	71 bays
Restaurant <ul style="list-style-type: none"> • Cafe (148sqm) 	1 bay per 4 persons accommodated	6 bays (based on 24 people at any one time)
Fast Food Outlet <ul style="list-style-type: none"> • Pizza (88sqm) 	1 bay per 4 persons accommodated	3 bays (based on 12 people at any one time)
Total Bays Required		80 bays
Total Bays Provided		77 bays

Source: Dynamic Planning and Developments

9 Provision for service vehicles

The proposed development provides one large loading bay for supermarket deliveries at the rear of the building. A second smaller loading bay is provided for the shared use by other tenancies.

A bin storage and waste collection yard are provided behind the supermarket and is designed to accommodate large 11m front loader waste trucks.

Swept path analysis has been undertaken for the following design vehicles:

- AS2890.2 – 19m Articulated Vehicle (AV).
- AS2890.2 – 8.8m Medium Rigid Vehicle (MRV).
- 11m front loader waste truck.
- Car towing larger luxury caravan.

Swept path analysis confirms satisfactory service vehicle movements and is presented in Appendix C. Service vehicles are able to enter and exit the site in forward gear.

Larger service vehicles such as the 19m AV will use the full width of the road carriageway to turn left from Brockman Street into Lily King Place. Liveable Neighbourhoods permits the full use of road pavement at intersections between access streets:

“...for turns between neighbourhood connector or access street and an access street, the design heavy rigid vehicle (turning path radius 12.5 m), using any part of the pavement...”

Due to the low traffic volume and speed, and access street designation of the roads, turning movements of service trucks are not required to be lane correct at the intersection of Brockman Street and Lily King Place.



10 Public transport assessment

The limited public transport services and low density population over a large catchment area means that most people will drive to the site.

11 Walking assessment

The WAPC Transport Impact Assessment Guidelines for Developments (2016) provide warrants for installing pedestrian priority crossing facilities. This is based on the volume of traffic as the key factor determining if pedestrians can safely cross a road. The guidelines recommend pedestrian priority crossing facilities be considered once the peak hour traffic exceeds the volumes detailed in Table 7.

The traffic volumes in this table are based on a maximum delay of 45 seconds for pedestrians, equivalent to Level of Service E. Traffic volumes on the road network adjacent to the site are below the threshold for safe pedestrian crossing. Therefore, the pedestrian crossing level of service is satisfactory on the adjacent road network.

Table 7: Traffic volume thresholds for pedestrian crossings

Road cross-section	Maximum traffic volumes providing safe pedestrian gap
2-lane undivided	1,100 vehicles per hour
2-lane divided (with refuge)	2,800 vehicles per hour
4-lane undivided*	700 vehicles per hour
4-lane divided (with refuge)*	1,600 vehicles per hour

The proposed development provides a footpath which connects from Lily King Place to the main building entrance, allowing people to walk from Brockman Street to the development.



12 Cycling assessment

12.1 Bicycle parking and end of trip facilities

A total of 6 bicycle parking spaces are provided for the development near the main building entry, to encourage active transport for staff and customers.

13 Conclusion

This Transport Impact Assessment has been prepared by Urbii on behalf of Westerly Developments Pty Ltd with regards to the proposed commercial development, located at Lot 601 Brockman Street, Gingin.

The subject site is situated on the northern side of Weld Street. A commercial development is proposed on a portion of the site, near the Gingin Community Resource Centre and Shire of Gingin offices. The remaining portion of land is subject to future planning. The commercial development is the subject of this TIA.

The site promotes good connectivity with the existing and planned road, cycling and pedestrian network.

The traffic analysis undertaken in this report shows that the traffic generation of the proposed development can be accommodated by the surrounding roads and intersections. The proposed car parking supply is expected to meet the needs of the proposed development.

It is recommended that the Shire of Gingin liaise with MRWA speed zoning branch to extend the existing 50km/h speed zone further west past the subject site.

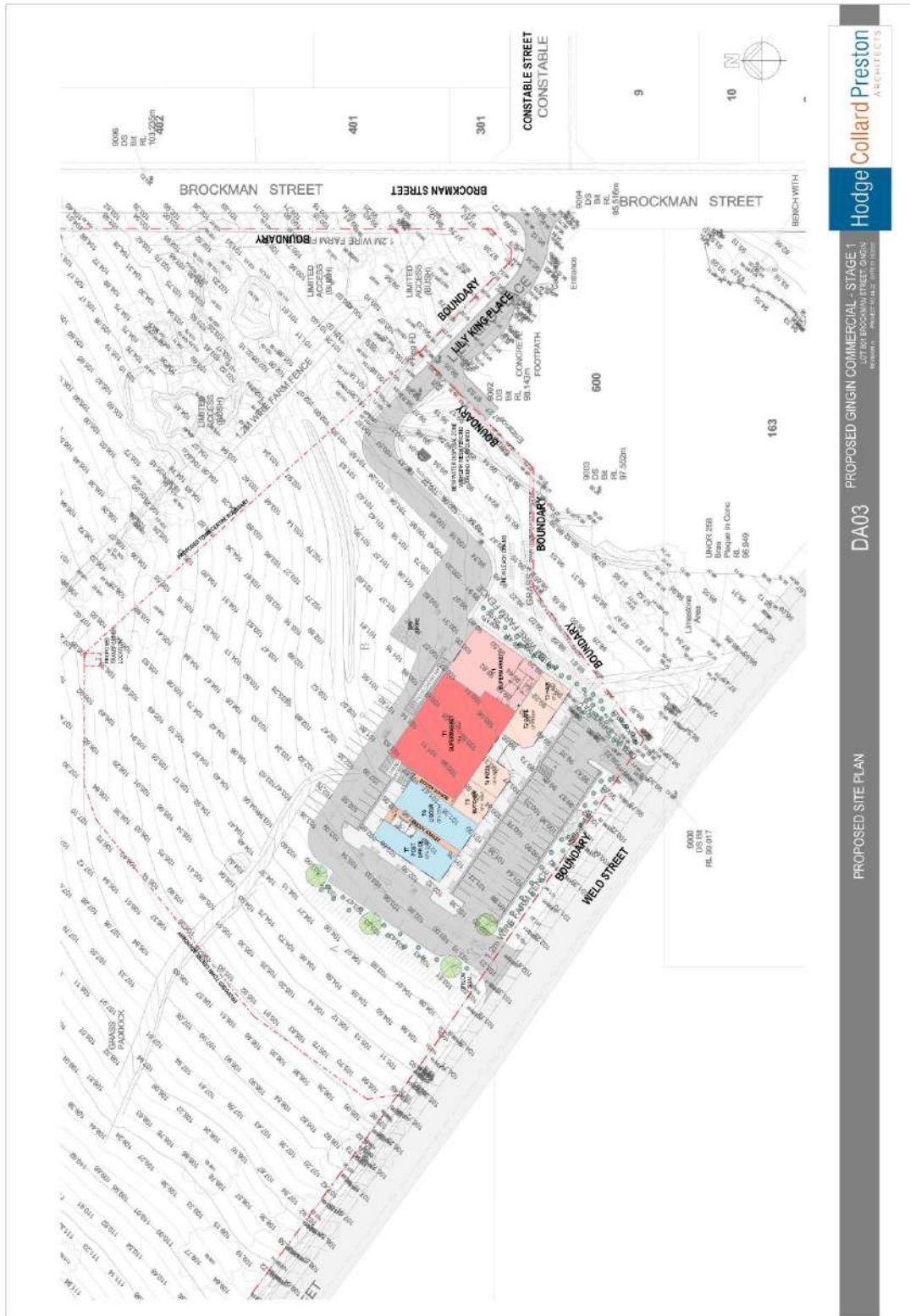
It is recommended that the Shire of Gingin liaise with MRWA to obtain approval for Give Way signage and Linemarking at the existing 4-way intersection.

It is concluded that the findings of this Transport Impact Assessment are supportive of the proposed development.



Appendices

Appendix A: Proposed development plans



Appendix B: SIDRA analysis outputs

SIDRA outputs are presented in the form of Degree of Saturation, Level of Service, Average Delay and 95% Queue. These characteristics are defined as follows:

- **Degree of Saturation (DoS):** is the ratio of the arrival traffic flow to the capacity of the approach during the same period. The Degree of Saturation ranges from close to zero for varied traffic flow up to one for saturated flow or capacity.
- **Level of Service (LoS):** is the qualitative measure describing operational conditions within a traffic stream and the perception by motorists and/or passengers. In general, there are 6 levels of service, designated from A to F, with Level of Service A representing the best operating condition (i.e. free flow) and Level of Service F the worst (i.e. forced or breakdown flow).
- **Average Delay:** is the average of all travel time delays for vehicles through the intersection.
- **95% Queue:** is the queue length below which 95% of all observed queue lengths fall.



Analysis Outputs – Movement Summary Tables

MOVEMENT SUMMARY

▽ Site: 101 [Weld St / Brockman St - 2036 AM PD (Site Folder: General)]

U23.092 - Lot 601 Brockman Street, Gingin
Site Category: (None)
Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES [Total veh/h HV] %		DEMAND FLOWS [Total veh/h HV] %		Deg. Satn v/c	Aver. Delay sec	Level of Service	95% BACK OF QUEUE [Veh. Dist] veh m		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed km/h
East: Weld St														
5	T1	32	12.0	34	12.0	0.090	0.2	LOS A	0.4	3.4	0.18	0.39	0.18	47.3
6	R2	109	12.0	115	12.0	0.090	4.9	LOS A	0.4	3.4	0.18	0.39	0.18	46.6
Approach		141	12.0	148	12.0	0.090	3.8	NA	0.4	3.4	0.18	0.39	0.18	46.8
North: Brockman St														
7	L2	101	12.0	106	12.0	0.100	4.8	LOS A	0.4	3.1	0.12	0.51	0.12	46.2
9	R2	27	12.0	28	12.0	0.100	5.6	LOS A	0.4	3.1	0.12	0.51	0.12	46.2
Approach		128	12.0	135	12.0	0.100	5.0	LOS A	0.4	3.1	0.12	0.51	0.12	46.2
West: Weld St														
10	L2	24	12.0	25	12.0	0.035	4.7	LOS A	0.0	0.0	0.00	0.20	0.00	48.2
11	T1	40	12.0	42	12.0	0.035	0.0	LOS A	0.0	0.0	0.00	0.20	0.00	48.8
Approach		64	12.0	67	12.0	0.035	1.8	NA	0.0	0.0	0.00	0.20	0.00	48.6
All Vehicles		333	12.0	351	12.0	0.100	3.9	NA	0.4	3.4	0.12	0.40	0.12	46.9

MOVEMENT SUMMARY

▽ Site: 101 [Weld St / Brockman St - 2036 PM PD (Site Folder: General)]

U23.092 - Lot 601 Brockman Street, Gingin
Site Category: (None)
Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES [Total veh/h HV] %		DEMAND FLOWS [Total veh/h HV] %		Deg. Satn v/c	Aver. Delay sec	Level of Service	95% BACK OF QUEUE [Veh. Dist] veh m		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed km/h
East: Weld St														
5	T1	64	12.0	67	12.0	0.110	0.4	LOS A	0.5	4.2	0.23	0.32	0.23	47.5
6	R2	109	12.0	115	12.0	0.110	5.1	LOS A	0.5	4.2	0.23	0.32	0.23	46.9
Approach		173	12.0	182	12.0	0.110	3.3	NA	0.5	4.2	0.23	0.32	0.23	47.1
North: Brockman St														
7	L2	94	12.0	99	12.0	0.127	4.9	LOS A	0.5	3.8	0.16	0.52	0.16	46.1
9	R2	52	12.0	55	12.0	0.127	6.0	LOS A	0.5	3.8	0.16	0.52	0.16	46.1
Approach		146	12.0	154	12.0	0.127	5.3	LOS A	0.5	3.8	0.16	0.52	0.16	46.1
West: Weld St														
10	L2	43	12.0	45	12.0	0.056	4.7	LOS A	0.0	0.0	0.00	0.23	0.00	48.0
11	T1	59	12.0	62	12.0	0.056	0.0	LOS A	0.0	0.0	0.00	0.23	0.00	48.7
Approach		102	12.0	107	12.0	0.056	2.0	NA	0.0	0.0	0.00	0.23	0.00	48.4
All Vehicles		421	12.0	443	12.0	0.127	3.7	NA	0.5	4.2	0.15	0.37	0.15	47.1

MOVEMENT SUMMARY

▼ Site: 201 [Weld St / Crossover 1 - 2036 AM PD (Site Folder: General)]

U23.092 - Lot 601 Brockman Street, Gingin
Site Category: (None)
Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES [Total veh/h] HV] %		DEMAND FLOWS [Total veh/h] HV] %		Deg. Satn v/c	Aver. Delay sec	Level of Service	95% BACK OF QUEUE [Veh. Dist] veh m		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed km/h
East: Weld St														
5	T1	37	25.0	39	25.0	0.030	0.0	LOS A	0.1	0.6	0.07	0.14	0.07	48.9
6	R2	12	2.0	13	2.0	0.030	4.7	LOS A	0.1	0.6	0.07	0.14	0.07	47.9
Approach		49	19.4	52	19.4	0.030	1.2	NA	0.1	0.6	0.07	0.14	0.07	48.7
North: Crossover 1														
7	L2	16	2.0	17	2.0	0.013	4.7	LOS A	0.0	0.3	0.12	0.50	0.12	46.3
9	R2	2	2.0	2	2.0	0.013	4.9	LOS A	0.0	0.3	0.12	0.50	0.12	45.9
Approach		18	2.0	19	2.0	0.013	4.7	LOS A	0.0	0.3	0.12	0.50	0.12	46.3
West: Weld St														
10	L2	6	2.0	6	2.0	0.027	4.6	LOS A	0.0	0.0	0.00	0.07	0.00	48.9
11	T1	38	25.0	40	25.0	0.027	0.0	LOS A	0.0	0.0	0.00	0.07	0.00	49.5
Approach		44	21.9	46	21.9	0.027	0.6	NA	0.0	0.0	0.00	0.07	0.00	49.4
All Vehicles		111	17.5	117	17.5	0.030	1.5	NA	0.1	0.6	0.05	0.17	0.05	48.5

MOVEMENT SUMMARY

▼ Site: 201 [Weld St / Crossover 1 - 2036 PM PD (Site Folder: General)]

U23.092 - Lot 601 Brockman Street, Gingin
Site Category: (None)
Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES [Total veh/h] HV] %		DEMAND FLOWS [Total veh/h] HV] %		Deg. Satn v/c	Aver. Delay sec	Level of Service	95% BACK OF QUEUE [Veh. Dist] veh m		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed km/h
East: Weld St														
5	T1	73	25.0	77	25.0	0.059	0.1	LOS A	0.1	1.1	0.09	0.13	0.09	48.9
6	R2	23	2.0	24	2.0	0.059	4.8	LOS A	0.1	1.1	0.09	0.13	0.09	47.9
Approach		96	19.5	101	19.5	0.059	1.2	NA	0.1	1.1	0.09	0.13	0.09	48.6
North: Crossover 1														
7	L2	31	2.0	33	2.0	0.026	4.7	LOS A	0.1	0.7	0.14	0.50	0.14	46.3
9	R2	5	2.0	5	2.0	0.026	5.2	LOS A	0.1	0.7	0.14	0.50	0.14	45.8
Approach		36	2.0	38	2.0	0.026	4.8	LOS A	0.1	0.7	0.14	0.50	0.14	46.2
West: Weld St														
10	L2	13	2.0	14	2.0	0.039	4.6	LOS A	0.0	0.0	0.00	0.11	0.00	48.7
11	T1	51	25.0	54	25.0	0.039	0.0	LOS A	0.0	0.0	0.00	0.11	0.00	49.2
Approach		64	20.3	67	20.3	0.039	0.9	NA	0.0	0.0	0.00	0.11	0.00	49.1
All Vehicles		196	16.6	206	16.6	0.059	1.8	NA	0.1	1.1	0.07	0.19	0.07	48.3



MOVEMENT SUMMARY

▼ Site: 201 [Weld St / Crossover 2 - 2036 AM PD (Site Folder: General)]

U23.092 - Lot 601 Brockman Street, Gingin
Site Category: (None)
Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES [Total veh/h HV] %		DEMAND FLOWS [Total veh/h HV] %		Deg. Satn v/c	Aver. Delay sec	Level of Service	95% BACK OF QUEUE [Veh. Dist] veh m		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed km/h
East: Weld St														
5	T1	44	25.0	46	25.0	0.036	0.1	LOS A	0.1	0.7	0.08	0.14	0.08	48.8
6	R2	15	2.0	16	2.0	0.036	4.8	LOS A	0.1	0.7	0.08	0.14	0.08	47.9
Approach		59	19.2	62	19.2	0.036	1.3	NA	0.1	0.7	0.08	0.14	0.08	48.6
North: Crossover 2														
7	L2	12	2.0	13	2.0	0.013	4.7	LOS A	0.0	0.3	0.14	0.51	0.14	46.3
9	R2	5	2.0	5	2.0	0.013	5.0	LOS A	0.0	0.3	0.14	0.51	0.14	45.8
Approach		17	2.0	18	2.0	0.013	4.8	LOS A	0.0	0.3	0.14	0.51	0.14	46.1
West: Weld St														
10	L2	2	2.0	2	2.0	0.033	4.6	LOS A	0.0	0.0	0.00	0.02	0.00	49.3
11	T1	52	25.0	55	25.0	0.033	0.0	LOS A	0.0	0.0	0.00	0.02	0.00	49.8
Approach		54	24.1	57	24.1	0.033	0.2	NA	0.0	0.0	0.00	0.02	0.00	49.8
All Vehicles		130	19.0	137	19.0	0.036	1.3	NA	0.1	0.7	0.06	0.14	0.06	48.7

MOVEMENT SUMMARY

▼ Site: 201 [Weld St / Crossover 2 - 2036 PM PD (Site Folder: General)]

U23.092 - Lot 601 Brockman Street, Gingin
Site Category: (None)
Give-Way (Two-Way)

Vehicle Movement Performance														
Mov ID	Turn	INPUT VOLUMES [Total veh/h HV] %		DEMAND FLOWS [Total veh/h HV] %		Deg. Satn v/c	Aver. Delay sec	Level of Service	95% BACK OF QUEUE [Veh. Dist] veh m		Prop. Que	Effective Stop Rate	Aver. No. Cycles	Aver. Speed km/h
East: Weld St														
5	T1	86	25.0	91	25.0	0.072	0.1	LOS A	0.2	1.5	0.11	0.14	0.11	48.8
6	R2	30	2.0	32	2.0	0.072	4.9	LOS A	0.2	1.5	0.11	0.14	0.11	47.8
Approach		116	19.1	122	19.1	0.072	1.3	NA	0.2	1.5	0.11	0.14	0.11	48.5
North: Crossover 2														
7	L2	24	2.0	25	2.0	0.027	4.8	LOS A	0.1	0.7	0.18	0.52	0.18	46.2
9	R2	10	2.0	11	2.0	0.027	5.4	LOS A	0.1	0.7	0.18	0.52	0.18	45.7
Approach		34	2.0	36	2.0	0.027	5.0	LOS A	0.1	0.7	0.18	0.52	0.18	46.0
West: Weld St														
10	L2	4	2.0	4	2.0	0.051	4.6	LOS A	0.0	0.0	0.00	0.03	0.00	49.3
11	T1	78	25.0	82	25.0	0.051	0.0	LOS A	0.0	0.0	0.00	0.03	0.00	49.8
Approach		82	23.9	86	23.9	0.051	0.2	NA	0.0	0.0	0.00	0.03	0.00	49.8
All Vehicles		232	18.3	244	18.3	0.072	1.5	NA	0.2	1.5	0.08	0.16	0.08	48.6

Appendix C: Swept path diagrams

Swept path diagrams are included in this section of the report. Different coloured lines are employed to represent the various envelopes of the vehicle swept path, as described below:

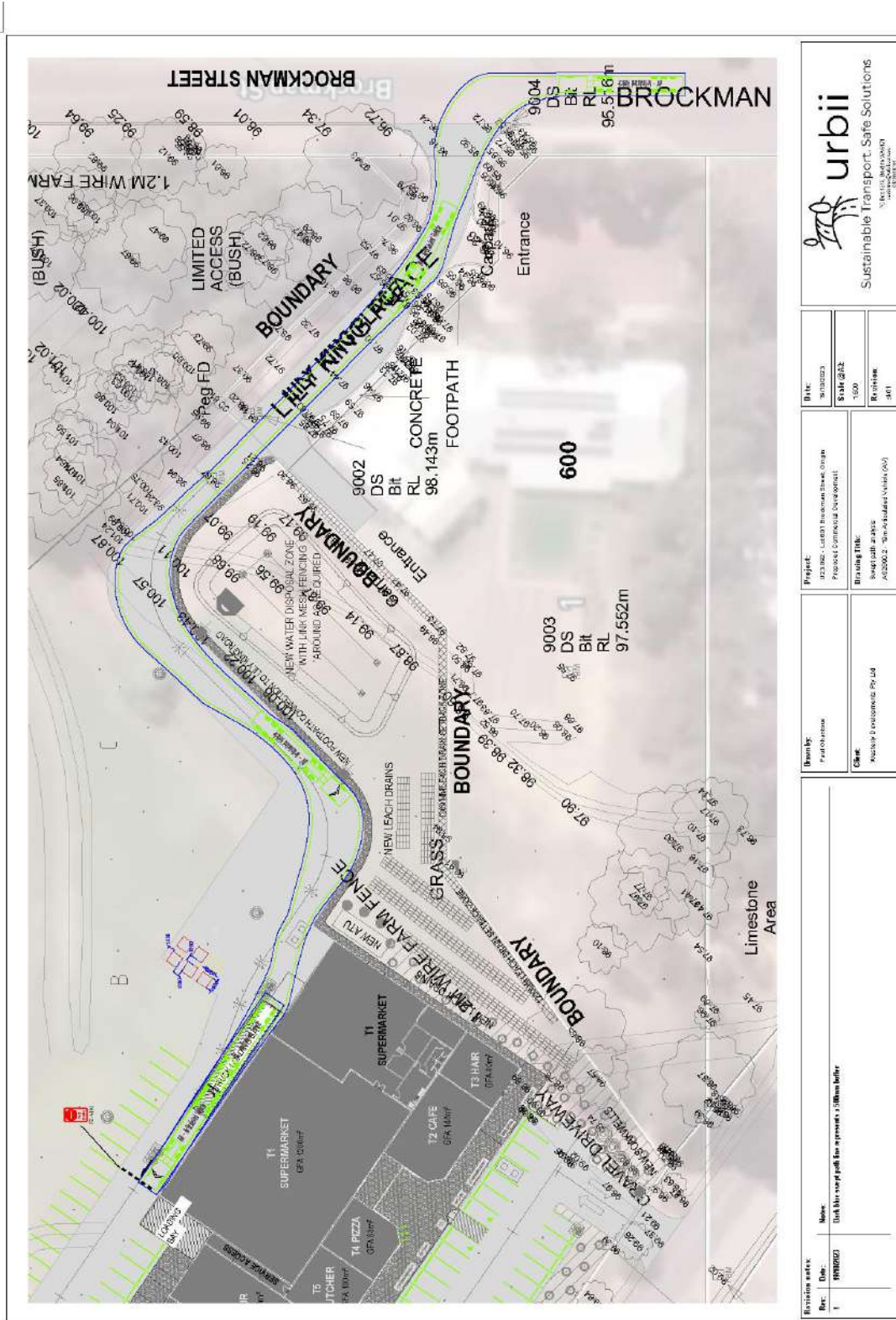
Cyan represents the wheel path of the vehicle

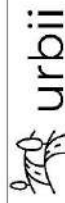
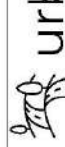
Green represents the vehicle body envelope

Blue represents a buffer 300mm/500mm line, offset from the vehicle swept path

The swept path diagrams are also provided separately in high-quality, A3 PDF format.

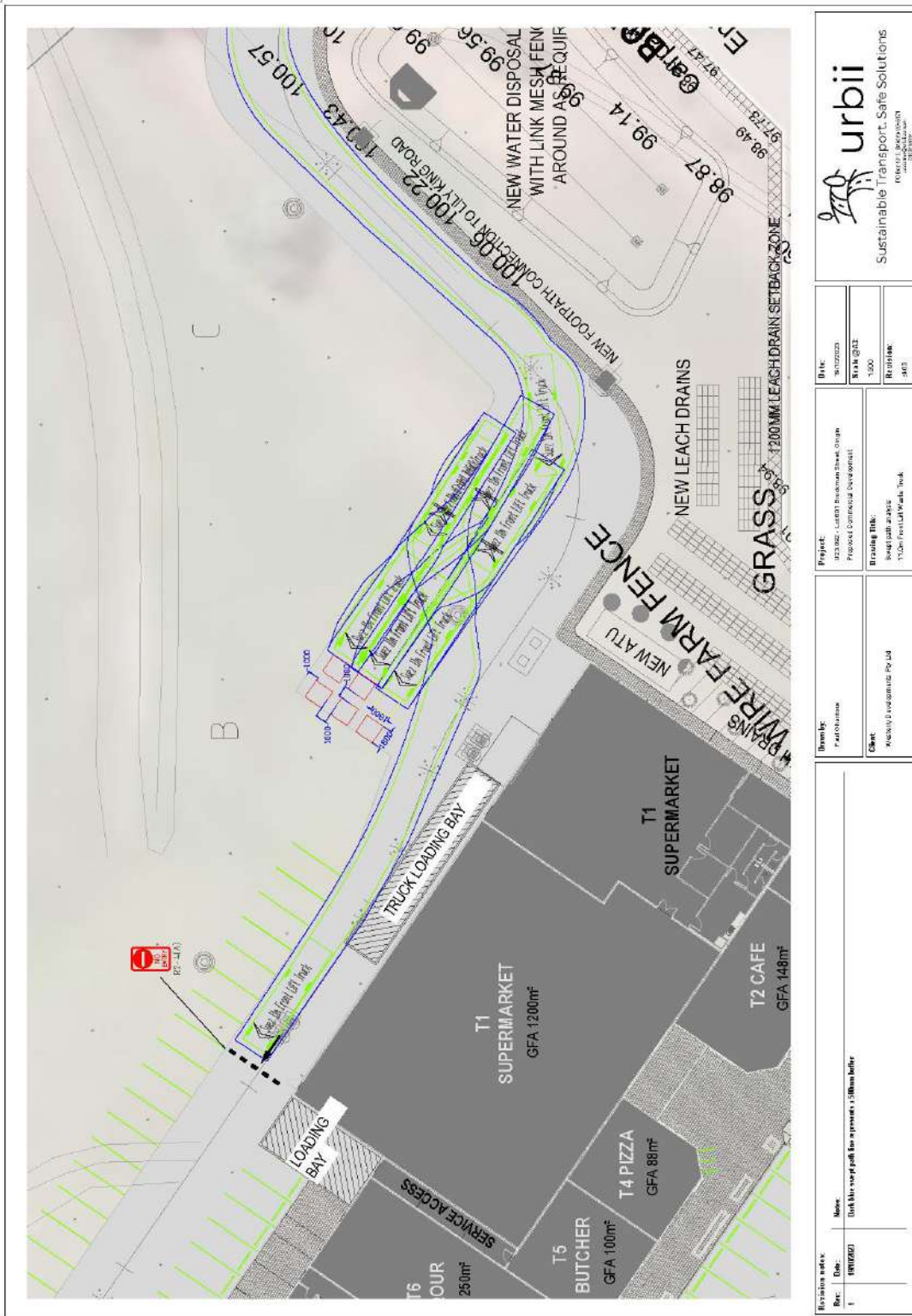




Revision notes: Rev: Date: 1 19/02/23 Note: Dark blue road path for approval + 150mm buffer		Drawn by: P. Robinson		Project: U23.092 - Lot 601 Brockman Street, Gingin Proposed Commercial Development		Date: 19/02/23	
Client: Property Development Pty Ltd		Drawn Title: Site plan analysis A23002 - "Site plan analysis" (V01)		Scale: 1:500		Revision: 1/01	
 Sustainable Transport. Safe Solutions.		 Sustainable Transport. Safe Solutions.		U23.092 - Lot 601 Brockman Street, Gingin Proposed Commercial Development		19/02/23	



Revision notes: Rev: Date: Notes: 1: 19/02/23: Dark blue cycle path for approval + 250mm buffer		Drawn by: P. Robinson		Project: 1033202 - Lister Industrial Estate - Change Proposed Commercial Development		Date: 19/02/23	
Client: Property Development Pty Ltd		Drawling Title: Site plan analysis - 1033202 - Lister Industrial Estate (00)		Scale: 1:500		Revision: 1/01	
urbi Sustainable Transport. Safe Solutions. <small>15 North Street, Southport QLD 4215</small>		DATE: 19/02/23		SCALE: 1:500		REVISION: 1/01	



Revisions table: Rev: 1 Date: 19/01/2023 Note: Dark blue road path for approval + 500mm buffer		Drawn by: P. Robinson		Project: U23.092 - Lot 601 Brockman Street, Gingin Proposed Commercial Development		Date: 19/01/2023	
Client: KENNEDY DEVELOPMENTS PT LTD		Grading file: 110m Footpath/Walks.mxd		Revision: 1/001		Scale: 1:500	
Client: KENNEDY DEVELOPMENTS PT LTD		Project: U23.092 - Lot 601 Brockman Street, Gingin Proposed Commercial Development		Revision: 1/001		Scale: 1:500	
Client: KENNEDY DEVELOPMENTS PT LTD		Project: U23.092 - Lot 601 Brockman Street, Gingin Proposed Commercial Development		Revision: 1/001		Scale: 1:500	





Revision notes: Rev: Date: Notes: 1: 19/02/23: Dark blue road path for improvement + 150mm buffer		Drawn by: P. Robinson		Project: 1023102 - Landed Industrial Development Proposed Commercial Development		Date: 19/02/23	
Client: Property Development Pty Ltd		Grading Title: Road path analysis 90% Car and Car Trailing Capacity		Scale: 1:500		Revision: 001	
urbii Sustainable Transport. Safe Solutions. <small>15 KAYE ST. MELBOURNE VIC 3000</small>							

Urbii



Reduce. Reuse. Recycle

Lot 601 Brockman Street, Gingin Proposed Commercial Development

Waste Management Plan



Prepared for:
Westerly Developments Pty Ltd

October 2023

Lot 601 Brockman Street, Gingin

Prepared for: Westerly Developments Pty Ltd
Prepared by: Paul Ghantous
Date: 19 October 2023
Project number: U23.092

Version control

Version No.	Date	Prepared by	Revision description	Issued to
U23.092.r02	15/10/23	PG	DRAFT	Hodge Collard Preston
U23.092.r02a	19/10/23	PG	FINAL	Hodge Collard Preston



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1 Introduction

This Waste Management Plan has been prepared by **Urbii** on behalf of **Westerly Developments Pty Ltd** with regards to the Proposed Commercial Development, located at Lot 601 Brockman Street, Gingin.

The subject site is situated on the northern side of Weld Street, as shown in Figure 1. A commercial development is proposed on a portion of the site, near the Gingin Community Resource Centre and Shire of Gingin offices. The remaining portion of land is subject to future planning. The commercial development is the subject of this WMP.

The key issues that will be addressed in this WMP include calculation of the waste generation of the site, assessment of waste storage provisions and documentation of the waste collection arrangements.



Figure 1: Subject site



2 Objectives

The objectives of this WMP are adapted from the WALGA *Commercial and industrial Waste Management Plan Guidelines*:

- Ensure that the long-term waste management needs for the development are met in an efficient and sustainable manner.
- Minimise the impact of waste services and facilities on the streetscape and surrounds, in relation to both the footpath/public realm and the frontage of the development.
- Reduce the impact of waste collection services and facilities on the amenity of the locality particularly in terms of noise and odour.
- Maximise safety for both waste collection staff and the public.
- Minimise traffic and footpath obstruction.

3 Referenced documents

The documents referenced in preparing this WMP may include, but are not limited to:

- City of Melbourne *Guidelines for Waste Management Plans* 2021;
- City of Perth *Waste Guidelines for all Developments* 2019;
- WALGA *Commercial and Industrial Waste Management Plan Guidelines*;
- WALGA *Multiple Dwelling Waste Management Plan Guidelines*;
- WALGA *Subdivision Waste Management Plan Guidelines*; and,
- Waste Authority WA *Waste Avoidance and Resource Recovery Strategy for 2030*.



4 Guiding concepts

Urbii adopts the guiding concepts of the State’s Waste Strategy and encourages these concepts to be considered in all developments to the furthest extent feasible.

4.1 Waste hierarchy

The *Waste Avoidance and Resource Recovery Strategy 2030* applies the waste hierarchy (Figure 2), which is a widely accepted decision-making tool. The waste hierarchy ranks waste management options in order of their general environmental desirability. Waste avoidance is the most preferred option in the hierarchy.

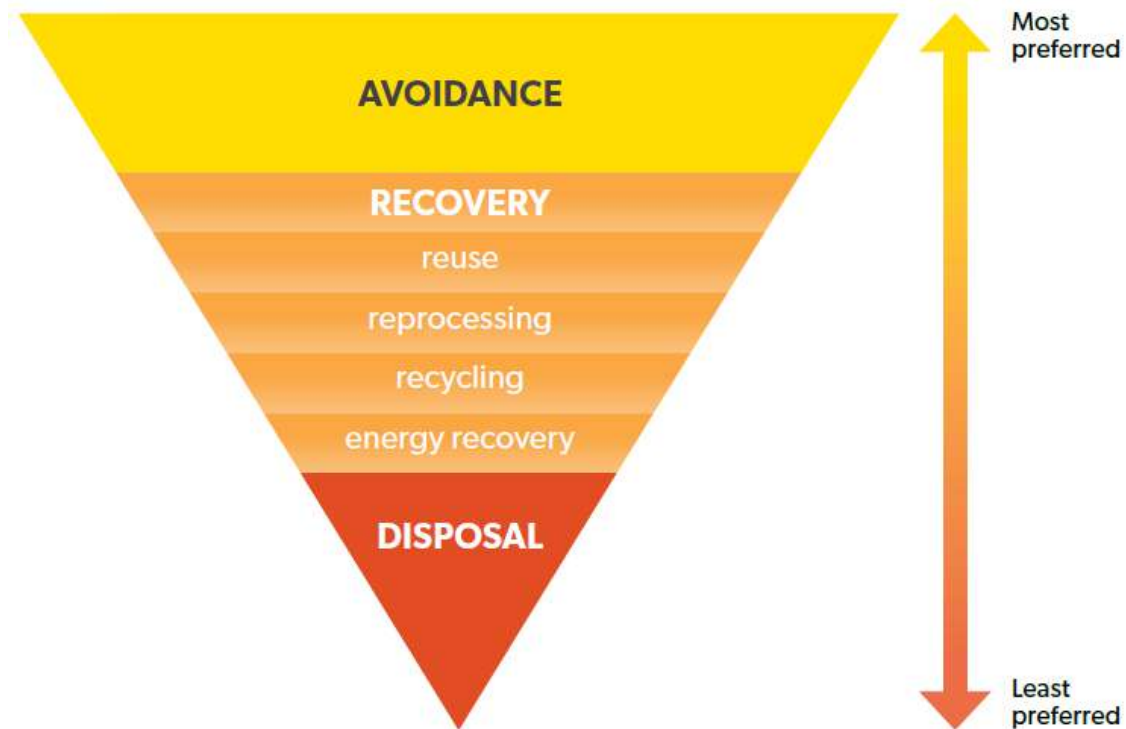


Figure 2: Waste hierarchy

Source: Waste Authority WA *Waste Avoidance and Resource Recovery Strategy for 2030*.

Resource recovery options recover value from materials, thereby offsetting the environmental impacts of extracting and processing raw materials. Energy recovery is the least preferred recovery option. Disposal is the least preferred option. Disposal generally recovers the least value from materials and delivers the least environmental benefit.

4.2 Circular economy

A circular economy (Figure 3) makes use of established sustainability concepts, including life cycle thinking and resource efficiency. A circular economy should consider the flow of both materials and energy. It moves away from the linear ‘take, make, use and dispose’ model, to one which keeps materials and energy circulating in the economy for as long as possible.

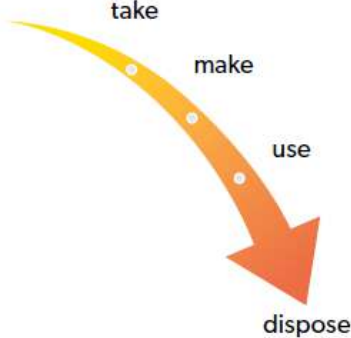

Current approach	Circular economy
	
Linear flow of materials – ‘take, make, use and dispose’ model.	Circular flow of materials – materials sorted and retained in the economy for as long as possible.
Limited use of renewable materials and energy.	Preference for renewable materials and energy.
Significant volumes of materials disposed of and lost to the economy. Loss of embodied materials, energy and water.	Materials recovered as high up the waste hierarchy as possible. Embodied materials, energy and water retained in the economy. Organic materials re-enter and regenerate the environment safely (for example, as compost).
Materials managed locally and globally.	Preference to manage materials locally to reduce the costs and impacts of transport, and to provide local employment and investment opportunities.
Economic value of materials, employment and investment not fully accounted for.	Economic value of materials, employment and investment accounted for.
Limited focus on life cycle thinking.	Products designed and manufactured to minimise environmental impact through whole of life.

Figure 3: Transitioning to a circular economy

5 Proposed development

The anticipated volume of general waste and recyclables is based on the floor area of the proposed development.

A commercial development is proposed for the subject site, which will include complementary uses as detailed in Table 1. The proposed development will deliver a total Gross Floor Area of around 2,100m². Some minor variations in floor area may take place as further plan amendments are made.

Table 1: Proposed uses

Land use	Gross Floor Area (m2)
T1 - Supermarket	1200
T2 - Café	150
T3 - Hair	80
T4 - Pizza	90
T5 - Butcher	100
T6 - Liquor	250
T7 - Post Office	214
Total	2084

The proposed development plans are included for reference in Appendix A.

6 Waste generation

6.1 Waste generation rates

As the proposed development is located in a regional site with low population density, typical waste generation rates for commercial uses are likely to overestimate the waste generation of the development. Waste generation rates are typically derived from surveys of sites in urban areas.

The site operator has provided a reference use case of a comparable site being operated in Two Rocks. The reference Two Rocks Shopping Centre site provides a mix of tenancies, similar to the proposed development, and is larger in size, with a Gross Floor Area of approximately 2,800m².

6.2 Waste generation calculations

As detailed in Table 2, the reference site provides 5 x 3,000L General Waste and 1 x 3,000L Recycling bins. These are front lift bins stored in rear service yards at the site. Waste is collected twice weekly, which provides a total waste capacity of 30,000L of General Waste and 6,000L of Recycling per week.

It is proposed to provide the same number of bins as the reference site, but to upgrade the bin sizes to 4,500L.

The proposed development's total floor area is 25% less than the reference site. However, the weekly collection capacity is higher, at 45,000L of General Waste and 9,000L of Recycling per week.

The site operator has advised this will be more than sufficient for the development. Waste generation will be monitored on an ongoing basis with the option to increase the collection frequency should it be required.

Table 2: Comparison of proposed development with reference site

Site	Area (m2)	Bin size (L)	GW Bins	REC Bins	Collections per week	GW capacity (L/week)	REC capacity (L/week)
Comparison site: Two Rocks Shopping Centre	2800	3000	5	1	2	30000	6000
Proposed development Gingin	2100	4500	5	1	2	45000	9000



7 Waste systems

7.1 Internal bin storage areas

Employed cleaners or staff associated with each tenancy will be responsible for transferring waste generated by individual tenancies to the bin yard at the rear of the site.

7.2 External bin storage areas

A bin storage yard is proposed to be provided on ground level at the rear of the site (Figure 4).

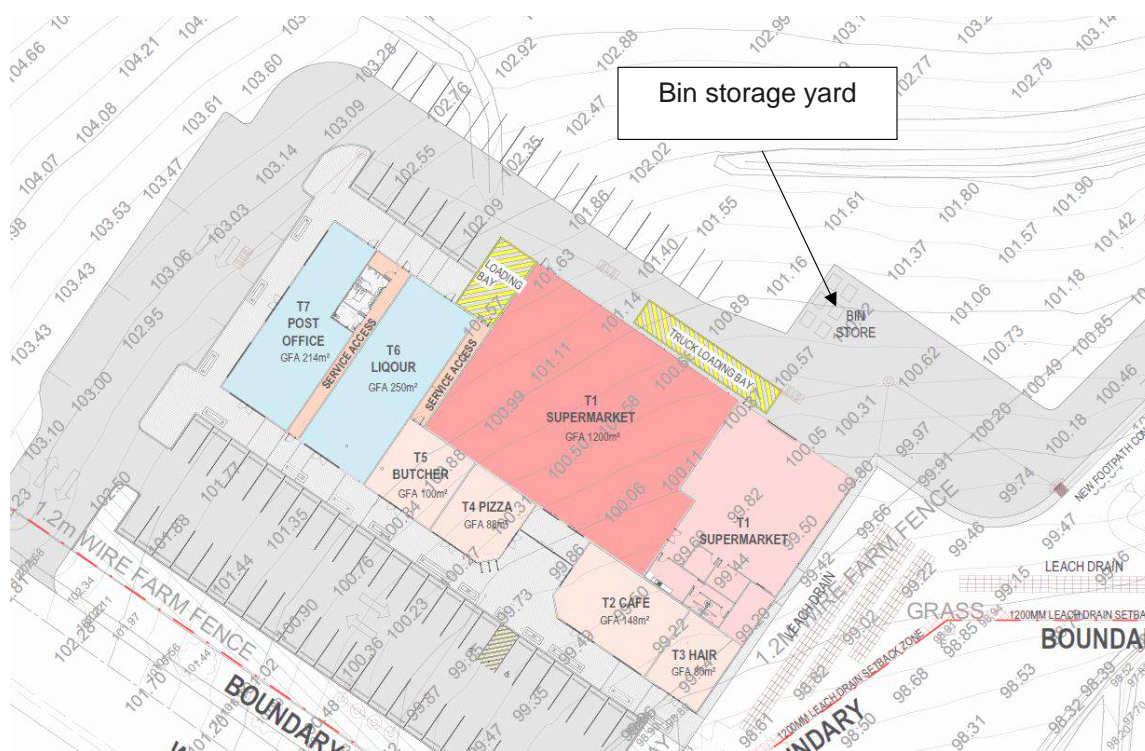


Figure 4: Bin storage location

7.2.1 Bin size, quantity and colour

It is proposed to provide 5 x 4,500L General Waste and 1 x 4,500L Recycling bins. This is based on a collection frequency of two times per week.

8 Waste collection

8.1 Waste vehicle types

This WMP has allowed for a front lift waste truck to service the site. These trucks are typically around 11.0m in length.

8.2 Waste collection frequency

The waste calculations and bin store design have assumed a collection frequency schedule of two times per week for general waste and recycling.

8.3 Waste collection method and presentation points

Waste trucks will enter the site in forward gear from Lily King Place. A bin storage and collection yard is provided at the rear of the site, which provides sufficient space for the waste truck to move and empty bins.

8.4 Vehicle access and maneuvering

The design and checking vehicle for swept paths is an 11m front lift waste truck. The swept path analysis is presented in Appendix B, and confirms that there is satisfactory road and intersection geometry for waste truck access and maneuvering.



9 Additional waste requirements

9.1 Bulk waste

Bulk waste can be stored in the waste yard, loading areas or back of house for a brief time until arrangements can be made for removal.

9.2 E-waste

Storage space for E-waste will be accommodated in designated storage areas or in the back of house areas. E-waste will be disposed of in a suitable manner, such as bulk drop-off to the tip or using public battery recycling boxes.

9.3 FOGO

The site caretaker will manage garden organic waste. Garden waste can be placed in general waste bins if there is space or can be removed by trailer to be disposed offsite in a suitable location.

10 Waste management

Each tenancy will be supplied with small bins for internal waste storage. Employed cleaners will empty bins regularly and transfer waste to the bin storage yard. Waste will be sorted from general waste and recyclables and placed in the correct bins.

Designated staff will be responsible for:

- Cleaning the bin storage areas and facilities; and,
- Regularly cleaning bins.

The appointed facility manager will be responsible to:

- Appoint a staff member for:
 - arranging pick-up times for the bins by the private contractor;
 - arrange for the bins to be cleaned and sanitised; and
 - coordinating the cleaning of the bins and bin storage areas every two (2) to three (3) weeks;
- Deal promptly with any issues or complaints relating to hygiene, noise, odour or other inconvenience; and,
- Provide adequate training for relevant staff regarding waste management.

A copy of the Waste Management Plan will be maintained within the office/administration area of the premises for reference and records.



11 Conclusion

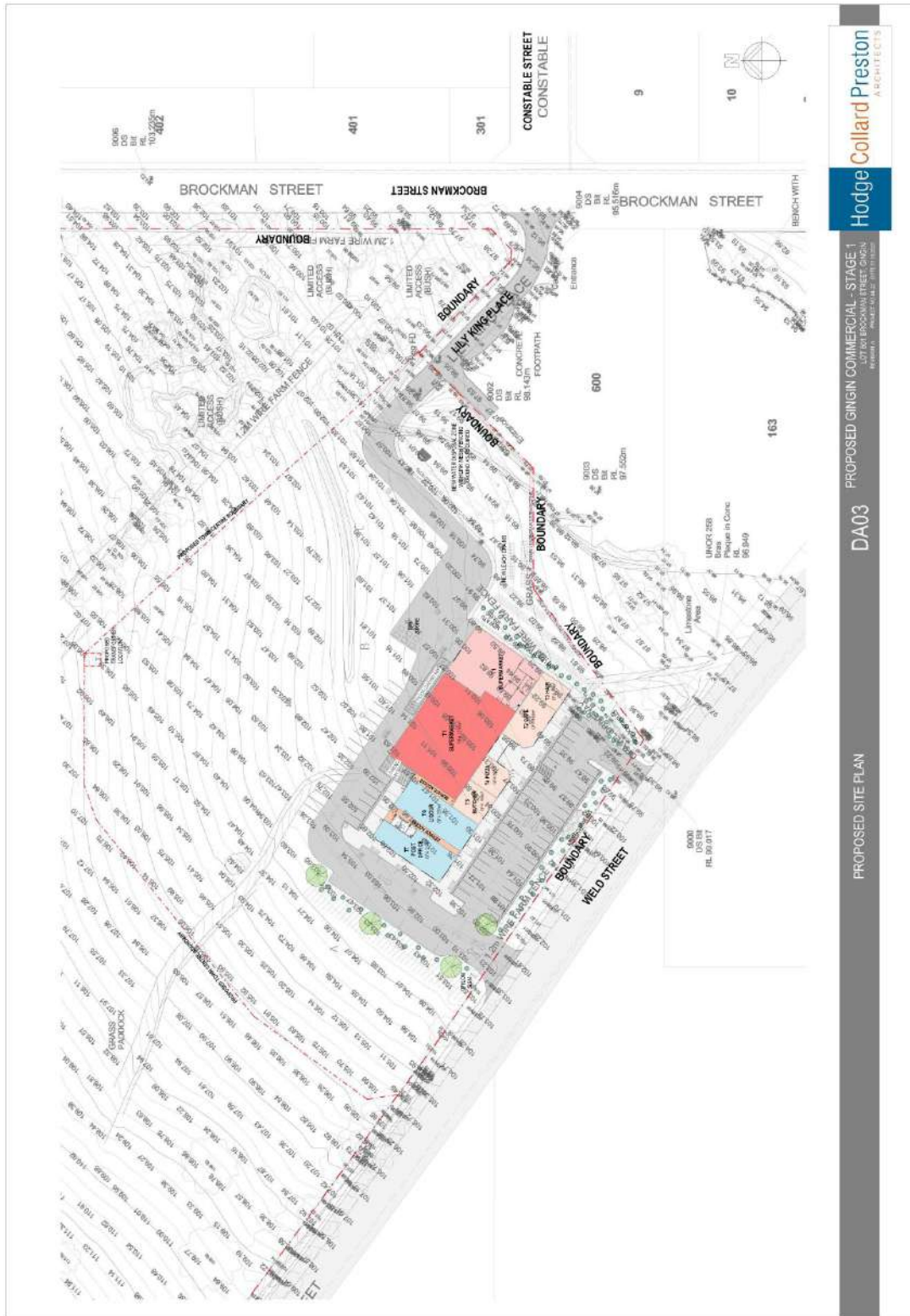
As demonstrated within this Waste Management Plan, the proposed commercial development provides sufficient bin storage and adequate bins to service the site for general waste and recyclables.

Furthermore, the servicing of the bins by private service can be adequately achieved without having an adverse impact on the site and the local street network.

Appendices

Appendix A: Proposed development plans





Appendix B: Swept path analysis

Swept path diagrams are included in this section of the report. Different coloured lines are employed to represent the various envelopes of the vehicle swept path, as described below:

Cyan represents the wheel path of the vehicle

Green represents the vehicle body envelope

Blue represents a 500mm safety buffer line, offset from the vehicle swept path

The swept path diagrams are also provided separately in high-quality, A3 PDF format.

From: Neil Teo
Sent: Tue, 6 Feb 2024 09:43:40 +0000
To: James Bayliss
Cc: Reegan Cake; DPD-Public; Chris Bitmead; Paul Ghantous; Marc Narducci; Nic Preston; john young
Subject: Gingin Shopping Centre Development (Our Ref: 1821)

Hi James,

Many thanks for our discussions earlier this week.

As mentioned, we are in the process of amending the DA plans so that there is no parking shortfall on site. We anticipate that these plans will be issued tomorrow.

We have taken your summary of comments raised and placed them in the below table with our response. This should hopefully assist in your reporting to Council, which we understand you will advise when it will be scheduled. Our client, John, understands that it will be on the 20/2/24. Because of the importance of this proposal, we will want to have our suite of project team consultants attend the meeting so that any questions of Council can be answered. As such, if you could advise of the meeting time at your soonest availability, that would be appreciated so we can diarise accordingly.

Shire Query/Com ment	Proponent response	Image/Scheme for Reference
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<p>1. 'Local Planning Policy 5.2 - Gingin Town Centre' - It was requested that this policy be addressed. It is quite explicit that no development will be supported unless a 'coordinated car parking, vehicle and pedestrian circulation and landscaping form part of a Town Centre Plan. I suppose what you are proposing could represent that for your site, however I the Policy intent is for the</p>	<p>The overall master plan as previously supplied to the Shire clearly indicates the likely layout of further commercial buildings, and parking.</p> <p>As the Commercial lot is part of an overall subdivision (i.e. Brookview Estate), there is no impediment for the submitted DA to be approved. That is, the parent subdivision, the proposed DA and the Concept Master Plan adequately address the Policy Objective of LPP 5.2 by providing a clear layout for the ultimate Town Centre development site.</p>	<div style="border: 1px solid black; padding: 5px;"> <p>SHIRE OF GINGIN LOCAL PLANNING SCHEME NO. 9 LOCAL PLANNING POLICY STATEMENT NO – 5.2 GINGIN TOWN CENTRE</p> <hr/> <p>1. POLICY AREA</p> <p>This Policy applies to the area depicted on the Scheme Map</p> <p>2. POLICY OBJECTIVE</p> <p>To provide guidelines for the development and redevelopment to protect and enhance its character and amenity.</p> <p>3. POLICY STATEMENT</p> <p>3.1 Further development, except for maintenance and minor approved unless in accordance with a Town Centre plan approved</p> <p>3.2 Any Town Centre Plan shall make adequate provision for parking, vehicle and pedestrian circulation, and landscaping.</p> <p>[Adopted 15 January 2013]</p> </div>
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<p>broader town centre to ensure old links new.</p>		
<p>2. Parking Shortfall - My parking calculation, emailed to Reegan on 22 January 2024, identifies a parking shortfall of 21 bays. This entails what may be relatively significant cash-in-lieu contributions. It was requested that this be addressed, and comments be provided.</p>	<p>Regarding the maximum 36 persons for the café, we are of the opinion that for the style and intensity of the café, 36 persons (9 parking bays at a rate of 1 per 4 persons) is of a sufficient nature. Also, the takeaway aspect of the café will reduce to parking demand. Otherwise, the parking calculations provided was correct, in our opinion.</p> <p>Notwithstanding the above, where the 18 crushed limestone staff parking bays are situated, they will be sealed and</p>	

lined
marked with
three (3)
additional
bays to be
added
resulting in
21 total
sealed
parking
bays for
staff.
Therefore
there will be
no shortfall
and no
trigger for
any cash in
lieu
consideratio
n.

We
emphasise
that we
have not
even taken
into account
the
reciprocity
and shared
parking
within our
subject site,
its future, or
other
existing
parking
facilities
provided for
on-street in
the
immediate
surrounds.
That is,
whilst there
is a
suggested
shortfall 'on-
paper', we
do not

	<p>agree that the demand outweighs the supply of the original proposal. In any event, additional parking bays have been provided to satisfy the 'on-paper' parking shortfall.</p>	
<p>3. How will the one-way service vehicle route be managed to avoid being used as a 'shortcut' via Lily King Place?</p>	<p>Lily King Place will have an 'Authorised Vehicles Only' sign installed. Further, our engineers has advised that the three tight 90 degree bends that make up Lily King Place make it a convoluted and undesirable short cut for any standard 'rat run' behaviour. It is a slow speed environment that is suited for delivery vehicles which need</p>	

	<p>to travel at slower speeds.</p> <p>We are of the understanding that using Lily King Place as a short cut (for standard vehicles) is counterproductive as opposed to using the existing street network, simply there is no engineering efficient reason to use Lily King Place as a short cut.</p>	
--	--	--

<p>4. Commentary in relation to the sacrificial turnaround area for towing vehicles.</p>	<p>This was included as a swept paths analysis was undertaken for a car towing a large caravan. The updated swept paths analysis was used to provide a turnaround space for caravans to undertake a U-Turn and there is no issue.</p>	 <p>The map displays a topographic section with contour lines ranging from 102.05 to 106.00. A specific area is highlighted with a green circle and labeled 'INFORMAL TURN AROUND AREA FOR CARAVANS / TRAILERS'. This area is situated on a slope between contour lines 103.60 and 104.13. A dashed line indicates a potential path or boundary. Other contour lines are labeled with values such as 104.07, 104.08, 104.21, 104.37, 104.42, 104.47, 104.48, 104.73, 104.75, 104.93, 105.04, 105.35, 105.51, 105.46, 103.43, 103.47, 103.60, 103.03, 103.06, 103.14, 103.28, 102.55, 102.65, 102.58, 102.05, 103.94, and 104.06. A road or path is visible at the bottom right, with a blue area below it. A north arrow is located in the upper left quadrant of the map area.</p>
<p>5. The connecting footpath has been requested to a width of 2.5m, to be consistent with the Shire's infrastructure on</p>	<p>We consider widening the footpath to 2.5m to be excessive. 2m is to be provided which is well beyond what is required under the Australian Standards, catering for</p>	<p>[This cell is currently blank in the provided image.]</p>

	<p>remove any parking bays that this current DA proposes is a matter for future consideration and should not be a concern for the current proposal before the Shire.</p>	
<p>7. Commentary around the on-site drainage's impact off-site.</p>	<p>Our engineer has reaffirmed that there is no off-site drainage impacts beyond what has been planned and approved for in approved UWMP that has been approved by the Shire and supported by DWER.</p> <p>The important criteria here is that our proposal does not increase pre-development flow. This refers to the</p>	

	<p>peak flows where there is little storage on the site right now therefore as soon as it rains, the water runs off downstream with little to no attenuation. The proposed drainage system captures these peak flows and stores them onsite such that the stormwater can be released slowly into the downstream drainage network. This very common methodology for controlling drainage flows meets the criteria for not increasing pre-development flows. Again, it is reiterated that the drainage proposed</p>	
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	<p>for this development is entirely consistent with the approved UWMP.</p> <p>If there is further concern on the drainage methodology the development has proposed, we ask the Shire to demonstrate where it does not comply with the approved UWMP.</p>	
<p>8. Concerns around the state of the intersection at Lily King Place and Brockman Street.</p>	<p>This has been covered in the TIA which states that the intersection is of a sufficient design and condition to support the development. That is, the development proposed shall have minimal impact on this intersection.</p>	

	<p>Concerns with the condition of the intersection require interrogation from a holistic perspective, as there are many users of Brockman Street of which trucks and farm machinery utilise this road.</p>	
--	--	--

Thank you.

Kind regards,
Neil Teo | Director



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TOWN PLANNING AND PROJECT COORDINATION | CONCEPT THROUGH TO DELIVERY



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SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSE

DEVELOPMENT APPLICATION: RETAIL CENTRE ON LOT 601 BROCKMAN STREET, GINGIN

No.	Submitter	Submission details	Applicants response
1.	Ratepayer	<p>The submitter supports the application and provides the following general comment:</p> <p><i>Long overdue concept. Looking good southwest corner of complex should have some really good views over brook and church.</i></p> <p><i>Just thought it may lend itself to indoor outdoor café taking in outlook. Without standing on exact location view may be interrupted by workshop that being the case it is fine like it is.</i></p> <p><i>Looking forward to the end result.</i></p>	Noted.
2.	Ratepayer	<p>The submitter provides the following general comment:</p> <p><i>On behalf of all owners of Cellarbrations Gingin we believe that parts of the new development may be premature to the needs of Gingin. Understandably there will be some great benefit to a large supermarket and new store outlets in town; however the current population of Gingin will not support duplicates of some of the stores in the proposal. The duplicates proposed such as liquor, hair, cafe and any of the others, will not benefit the town as we will potentially be splitting the local trade. This will definitely hinder the quality of both existing and potential new stores due to the lack of trade; in turn this may eventually force closure of either existing stores or the new stores proposed. We are not against new competition however being in the retail industry for over 25 years we are aware of what this new development can do to businesses in town if we allow competition prematurely without the adequate growth in population. There is clearly projected growth in Gingin with the new residential developments taking place; however these developments will not see major population growth</i></p>	The threat of competition to existing businesses is not a relevant planning consideration. It only becomes a relevant planning consideration if there is a prospect that there will be a reduction in the facilities available to the community. Such a reduction is not anticipated to eventuate.

		<p><i>for another 10+ years on the basis that the developments of marchmont and honeycomb have taken 10 to 15 years to fully develop. Speaking for ourselves, the owners of Cellarbrations Gingin, our business can support the growth of the town for many years to come before competition is necessary, and premature competition will not benefit the town. Residents of Gingin, without the full understanding of retail trade, may believe that competition is always beneficial; however local trade currently will not support multiple stores and we may see closures which will not promote confidence in the growth of Gingin. Further, Gingin is not a tourist location, therefore the proposed town center will not be a major draw for tourism to counteract the loss of local trade. We believe if the proposed town center can create new store outlets for the town and house the stores that wish to move, we can see this benefiting all stores, existing and new. There has been a need in town for takeaway food for a long time, such as the pizza store proposed, a bakery, and a dinner dine-in/take away location such as fish and chips or chinese etc. The 'Town Centre' development can be great for Gingin; new stores such as a bakery and pizza shop will fill a hole in the Gingin market. New developments create excitement around town; however Gingin is a beautiful local town with almost everything this little town needs, currently. Talking to locals everyday I hear a lot of different opinions and most locals do not want to lose that local, small town feel that has been great for so many years. Therefore we advocate for the proposed 'Town Center' on the condition it brings new and exciting retail and food options and does not create premature and unsustainable competition for existing stores that are providing quality service already; it would be reassuring if stipulations are put in place with the developer to ensure this outcome. If the proposed 'Town Center' can not support the existing businesses who have been providing high quality service for decades, we do not support the proposal.</i></p>	
3.	Ratepayer	<p>The submitter provides the following general comment:</p> <p><i>I have looked at the Proposed plans for the Brookview Estate and I realise this is a long-term plan, but I think we</i></p>	<p>It is not for the Shire to approve who will ultimately occupy the floor space, that is a matter for the</p>

		<p><i>need to look at what is already in our town and not advertise doubling up on facilities.</i></p> <p><i>These plans give the illusion that business projected in the proposal will be available within these premisses.</i></p> <p><i>Post Office cannot be duplicated so that is false advertising. Another Liquor store will not be approved within the town and the present one will not be relocating.</i></p> <p><i>We already have two Hairdressers within the townsite that are only just making a living.</i></p> <p><i>Get the developer to promote something that is not already in the town that may give people reasons to settle in Gingin. Perhaps a Bakery or Haberdashery shop.</i></p> <p><i>If you look at the big shopping centres there are vacant shops appearing because there are too many duplicated outlets. Keep our town a thriving place by thinking about already existing and how they will survive and how a new shop will struggle to get off the ground.</i></p> <p><i>My motto is to Build and not destroy.</i></p>	landowner. Existing businesses can make their own decision if they choose to relocate or not.
4.	Ratepayer	<p>The submitter provides the following general comment:</p> <p><i>I have a number of concerns, the first of which is that the positioning of the proposed development is a considerable distance from the existing shops. My concern would be that it will create separate shopping precincts that will require vehicle movement between them. In addition, we already have all the services that are proposed operating in Gingin already and cannot see a benefit to the community. I doubt the current population of Gingin would be able to sustain the additional retail outlets in raising enough income to cover the highly increased rents to what the existing businesses pay.</i></p>	Noted. The land has been set aside for this purpose since the late 1990s. While it does represent a separate shopping precinct, footpath connectivity will be provided which requires a walk of ~250m. In the context of shopping precincts, this is not a significant distance.
5.	Stakeholder	<p>The submitter provides the following general comment:</p>	

		<p><i>I am writing in my capacity as the Manager of the Gingin Community Resource Centre, representing the views of our staff and Committee members. Our input aims to contribute to the ongoing discussions regarding the development planning for the Gingin Town Centre, specifically addressing concerns related to vehicle access. We trust that our suggestions will be given due consideration for the optimal advancement of our community's future.</i></p> <p><i>1. Concerning Lily King Place, we recommend that it be designated as a one-way route after the entry/exit point for the CRC rear car park. This proposal is crucial to ensuring the smooth entry and exit for CRC staff, courier clients, medical centre staff and the medical centre ambulance & paramedic bay accessing the facility from the rear. Additionally, this modification would facilitate convenient entry and exit for all users of the front facilities' car park. It is also imperative to maintain the drop-off zone at the northern end of the medical centre, considering the significance of easy access for the elderly population. We acknowledge the possibility of needing adjustments to this zone should there be a considerable influx of large trucks utilizing the Lily King Drive entry.</i></p> <p><i>2. We advocate for an extension of the CRC rear car park to accommodate the current parking needs of the medical centre vehicles currently stationed at the end of Lily King Place. This expansion would alleviate the existing parking constraints, contributing to a more organized and efficient traffic flow within the Town Centre.</i></p> <p><i>We trust that our recommendations will be thoroughly considered in the planning process, ensuring the implementation of a comprehensive and practical solution that benefits the entire community. We remain committed to actively participating in the development of a sustainable and accessible Town Centre for the residents of Gingin.</i></p>	<p>Noted and generally agreed. The connection to Lily King Place is proposed as 'one-way'.</p> <p>Noted. This is not a matter for the applicant/development proposal to resolve. An extension to the CRC carpark would be a matter for the Shire to consider separately and would logically form part of any design/upgrade to the unsealed Shire staff carpark.</p>
6.	Ratepayer	<p>The submitter supports the application and provides the following general comment:</p> <p><i>I would support the shopping centre as such but am curious why the nominated shops/businesses seem to duplicate the services already in town?</i></p>	<p>The Shire of Gingin does not determine who the landowner leases individual tenancies to, nor does the Shire determine if lessees along the existing retail strip</p>

**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 14.1.11

		<p><i>Are we talking doubling up or planning to leave all the "old buildings empty?</i></p> <p><i>The current business have supported the residents long term and done the hard yards, surely there is no plan to double up on the businesses already there</i></p>	<p>will relocate or not. That is up to the businesses and landowners.</p>
7.	DWER	<p>The submitter provides the following general comment:</p> <p><i>The Department of Water and Environmental Regulation has assessed the below referral and has no objections.</i></p>	<p>Noted.</p>

14.2 PROPOSED AMENDMENT (NO. 25) TO LOCAL PLANNING SCHEME NO. 9 - REZONE LOT 5905 (NO. 1546) COWALLA ROAD, WANERIE FROM GENERAL RURAL (UNCODED) TO GENERAL RURAL (CODED 10)

This matter was brought forward for discussion. See page 11.

File	LND/721
Applicant	Harley Dykstra
Location	Lot 5905 (1546) Cowalla Road, Wanerie
Owner	Anthony Ruse
Zoning	General Rural
WAPC No	NA
Author	James Bayliss – Manager Planning and Building
Reporting Officer	Bob Kelly - Executive Manager Regulatory and Development Services
Refer	Nil.
Appendices	<ol style="list-style-type: none"> 1. Aerial Plan - Lot 5905 (1546) Cowalla Road, Wanerie [14.2.1 - 1 page] 2. Location Plan - Lot 5905 (1546) Cowalla Road, Wanerie [14.2.2 - 1 page] 3. Scheme Amendment Report [14.2.3 - 37 pages] 4. Concept Subdivision Plan [14.2.4 - 1 page] 5. Opportunities and Constraints Plan [14.2.5 - 1 page]

DISCLOSURES OF INTEREST

Nil

PURPOSE

To consider initiating proposed Amendment No. 25 to Local Planning Scheme No. 9 (LPS 9) to rezone Lot 5905 (1546) Cowalla Road, Wanerie from ‘General Rural’ to ‘General Rural –10’ (GR 10).

BACKGROUND

The subject site is 272 hectares in area, located immediately north-west of the existing Rangeview Estate which is zoned ‘General Rural 20’ (GR 20) and which previously formed part of the parent lot. Land to the north and west is zoned General Rural (uncoded) and is used for Agriculture Intensive purposes (market garden and olive grove).

Subdivision approval was granted on 10 September 1996 to subdivide the former parent lot into 31 landholdings, ranging in size from 9.9 hectares along the southern frontage graduating up to 28.7 hectares along the eastern frontage.

The previously approved Subdivision Guide Plan provided for an extension of Rangeview Drive to Cowalla Road, through the subject land. The proposed Amendment will facilitate lodgment of a subdivision application for minimum lot sizes of 10 hectares.

The proposed amendment includes additions to ‘Schedule 10 – General Rural (coded) zones’ as outlined below:

<i>No.</i>	<i>Description of lands</i>	<i>Conditions</i>
3	Lot 5905 (No. 1546) Cowalla Road, Wanerie	<p><u>Environmental Management.</u></p> <p>1. Prior to submission of an application for subdivision approval, the developer shall identify any vegetation worthy of protection and identify the means for protection. Vegetation can be protected through fencing and/or notifications on title.</p> <p><u>Land Use Settlement Pattern.</u></p> <p>2. Lots that share an interface with the gazetted road (Land ID 3148443) require a minimum average lot size of 15ha.</p> <p>3. The subdivision lot layout is to retain remnant vegetation located on the site.</p> <p><u>Land Within 500m of Adjoining Horticultural Land Uses.</u></p> <p>4. Building envelopes are required to be identified as part of subdivision for lots within 500m of adjoining horticultural land uses to ensure future development is appropriately set back from these land uses.</p> <p>5. Building envelopes should be located more than 300m from the edge of adjoining horticulture uses unless the adjoining horticultural uses cease or unless otherwise agreed with the Shire.</p>

Section 75 of the *Planning and Development Act 2005* allows a local government to amend its local planning scheme, subject to the approval of the Minister for Planning.

Regulation 35 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) requires a resolution of a local government to adopt an amendment to a local planning scheme, which must specify if the amendment is a “basic amendment”, “standard amendment” or “complex amendment”.

This amendment is viewed as a “standard amendment”, as the rezoning is somewhat consistent with the Local Planning Strategy and objectives of the zone. Accordingly, the proposed amendment is to be subject to the processes set out in Part 5, Division 3 of the Regulations.

It should also be noted that Scheme amendments are now required to be referred to the Western Australian Planning Commission (WAPC) to review post Environmental Protection Agency (EPA) comments being received and prior to the commencement of the public consultation process.

A location plan and aerial photograph are provided (**see appendices**).

The applicant’s proposal is provided (**see appendices**) and includes the following:

- Scheme Amendment Report
- Opportunities and Constraints Plan
- Concept Subdivision Plan

COMMENT

Stakeholder Consultation

The proposal, if initiated, will be referred to the Environmental Protection Authority (EPA) for review in accordance with section 81 of the *Planning and Development Act 2005*. If no environmental concerns are raised, and consent received from the WAPC, then public notice will be given for a minimum period of 42 days. The matter will then be returned to Council for consideration.

PLANNING FRAMEWORK

Local Planning Scheme No. 9 (LPS 9) Planning Assessment

The subject land is zoned General Rural under LPS 9, the objectives of which are to:

- Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and*

- (d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

The proposed scheme amendment could be viewed as being generally consistent with the objectives of the General Rural zone, however compatibility with objective (d) should be closely scrutinised.

Local Planning Strategy 2012

The Local Planning Strategy ('Strategy') is a planning tool that enables Council to set out its vision for the municipality, and the longer term directions for land use and development. The strategy provides a strategic direction for longer term planning, mainly on the matter of identifying general rural land for subdivision.

The objectives generally relate to protecting rural land from fragmentation through the subdivision process. Rural land is a finite resource in the Shire of Gingin and represents the only land available for diverse, sustainable rural activities. This proposal would ultimately enable subdivision of the land.

Section 2.3.6.1 – Rural Smallholdings states:

A strategic approach to planning for the Shire's rural land resources must acknowledge demand for a variety of rural lot sizes, and ensure that if rural subdivision does occur, it occurs only in defined areas. The historic pattern of rural smallholdings along the Moore River and Gingin Brook provides a logical basis for a strategic approach to rural land sizes. These existing areas of smaller rural holdings are ideally suited for rationalisation and consolidation, based on prevailing lot size, and graduating from smaller to larger at the interface with the broad acre rural/agricultural land and acknowledging the potential for some limited further rural subdivision given that:

- *these areas are already largely fragmented and hence further subdivision would not result in fragmentation of broad acre rural land;*
- *historically, these areas have proven to be attractive for rural small holdings; and*
- *these areas have access to the major road networks in the locality. Rural land outside of these defined areas should be protected from further fragmentation, and there is a general presumption against subdivision of any other rural land in the Shire.*

'Clause 2.3.6.2 – Rural Areas' states:

The Shire is characterised mainly by extensive areas of large unfragmented rural landholdings areas in the hinterland surrounding the Shire's townsites and rural residential settlements. The rural areas include broad area agriculture and more intensive horticulture, several basic raw material sites and other primary production uses.

Rural land is a finite resource in the Shire of Gingin and represents the only land available for diverse, sustainable rural activities and potential non-rural growth and development opportunities in the very long term. The ability of rural land to sustain its primary function and utility is threatened by instances where rural land is seen as a resource for subdivision. The spread of urban development is affecting agricultural areas, which are also experiencing a gradual trend towards more intensive, smaller scale operations. This is raising issues in relation to the compatibility of small scale agricultural and horticulture with larger scale agriculture and grazing, and land clearing restrictions. The fragmentation of rural land undermines the resource in terms of its ability to sustain changing agricultural and other rural uses and provide potential for growth and development in the long term. There is a general presumption against subdivision of rural land in the Shire.

‘Clause 2.5.7 – Key Issues summary’ outlines:

- *Introduction of non-rural land uses, such as rural living, residential, and tourist facilities, adjacent to diversified agricultural land uses may create conflicts between each of the different activities;*
- *Application of recommended buffer distances between rural land uses and sensitive land uses (housing) needs to be carefully considered;*
- *The protection of quality agricultural land is important to ensure the long-term sustainability of agricultural land use as an important economic and employment base for the Shire within its regional context;*
- *Subdivision of rural land can undermine agricultural production by creation of unviable land parcels, increasing land values/rates, and removing areas from production for non-rural uses such as rural living development;*
- *Subdivision can, in certain instances, facilitate the diversification of agriculture through providing appropriate lot sizes for different forms of agriculture;*

Officer comment:

The above outlines that an issue facing the Shire is the potential conflict between sensitive uses (dwellings) permeating into agricultural areas, with objective d) of the GR zone being to limit/avoid this scenario. The amendment indicates that a future subdivision may be able to create building envelopes beyond the EPA’s prescribed separation distances of 300-500m. The Shire’s on-ground experience is that emissions from market gardens (predominantly dust) extend beyond the buffers prescribed by the planning and environmental framework.

It is also noted that Rangeview Estate has largely resulted in lot sizes that are unable to accommodate a viable agricultural use. This has been evident since the artificial rating concessions on agricultural uses were removed and has not necessarily resulted in a diversification of different forms of agriculture being realised.

Producing similar lot sizes, for the purpose of a rural lifestyle, may contribute to the issue of removal of rural land for agricultural production.

‘Clause 3.3.7 – Rural Living, **Rural Small Holdings and Rural Zones**’ states that the objectives for rural living, rural smallholdings and rural zones are to:

- *Ensure that planning for rural living precincts addresses essential and community services, land management, and vegetation fragmentation and loss;*
- *Protect and support existing horticulture and rural small holdings enterprises along the Moore River and Gingin Brook;*
- *Protect the rural land in order to provide for a wide range of land uses associated with primary production; and*
- *Limit new settlement in rural areas.*

The accompanying policy position and actions under cl 3.3. are to:

3. *Oppose subdivision and fragmentation of rural land that is not included within the coding mechanism for rural small holdings under the Local Planning Scheme unless the subdivision is provided for in the relevant WAPC Policy.*
4. *Establish a coding mechanism under the rural zoning of the Local Planning Scheme which:*
 - i) *limits the subdivision of rural land;*
 - ii) *recognises the established settlement pattern of rural small holdings adjacent to the Moore River and Gingin Brook, where limited subdivision and rationalisation may be considered;*
 - iii) *recognises that the full extent of the rural small holdings area under the Local Strategy Plan will not be realised immediately;*
 - iv) *has due regard to prevailing rural lot size in the surrounding locality;*
 - v) *provides for rural lot sizes that graduate generally from smaller to larger at the interface with the broad acre rural/agricultural land;*
 - vi) *has due regard to land capability, physical constraints, the 100 year flood plain and protection/improvement of environmental attributes.*
5. *Where ad-hoc rezoning proposals for rural living or rural smallholdings are made, or in considering proposals for subdivision of rural land, Council will consider whether the proposal:*

- i) is consistent with the objectives and intent of State Planning Policy;*
- ii) is identified in this Strategy as being suitable for rural smallholdings or more intensive subdivision;*
- iii) represents a logical extension of an existing rural residential or GR coded area with similar lot sizes;*
- iv) is supported by demonstrated demand and justified in terms of achieving productive use of rural land and/or net environmental benefit;*
- v) has the ability to provide necessary services to the development cost-effectively;*
- vi) is supported by an Outline Development Plan which satisfactorily resolves issues relevant to the site, including (but not limited to), the following:*
 - a. context considerations including any connectivity or interface requirements*
 - b. waterway, drainage and floodway matters*
 - c. areas required for conservation or vegetation protection*
 - d. bush fire risk and the implications of bushfire hazard reduction measures on vegetation*
 - e. landscape value protection*
 - f. access to community facilities*
 - g. demonstrated access to servicing, including the availability of a feasible potable water supply*
 - h. impact of, or on, adjoining uses such as basic raw material sites, agricultural activities, conservation reserves, scenic tourist routes and any associated buffers*
 - i. the identification of any development and management controls which may include minimum building standards, stocking rate limits or other site specific considerations.*

Officer Comment

It is evident that the Strategy adopts an overarching position to prevent fragmentation of rural land via the subdivision process. An amendment such as this is a precursor to lodgment of a subdivision proposal.

It is noted that the proposal does satisfy various provisions referenced above, while being inconsistent with others.

The land is in close proximity to the existing Rangeview Estate, has a logical extension of Rangeview Drive through the subject land and is identified for rural small holding purposes under the relevant Strategy map.

However, the proposal seeks to create a coding mechanism of 10, meaning a minimum lot size of 10 hectares which represents the lowest coding available for rural zoned land and does not represent a graduation of sizes from the Moore River to the agricultural interface. In other words, the settlement pattern should permeate out from the Moore River, however this proposal does not represent that scenario.

The officer notes that the concept plan demonstrates that lots are able to be located outside of the academic separation distance provided by the EPA and that vegetation is located on the Cowalla Road reserve to an additional buffer measure.

The following points favour support of the proposal:

- The lot sizes indicated on the concept plans are generally consistent with the prevailing lots on the southern portion of Rangeview Estate and does represent an extension to the existing GR coded area.
- The concept plans indicate that building envelopes may be capable of being located outside of the applicable separation distances from the adjoining Irrigated Horticulture Developments.
- The land is identified under the relevant Local Planning Strategy map for potential rural small holding purposes.
- There are no fundamental servicing issues.

The following points do not favour the proposal:

- The Local Planning Strategy outlines a strong presumption against fragmenting rural land, with the resultant lot sizes enabling a minimum of 10 hectares that may result in unviable agriculture land parcels.
- The adjoining Rangeview Estate is coded GR 20, so it may be logical for the same coding to be applied.
- The proposal is not accompanied by any evidence of demand for the lot size proposed.
- The GR 10 coding would introduce several sensitive uses into a locality largely used for Intensive Agricultural purposes, thus creating the potential for land use conflict. The Strategy implies that land use conflict such as this should be avoided. Land use conflict between sensitive uses (dwellings) and Agriculture Intensive development is an issue experienced by the Shire, as evidenced by the recent Waterville Fresh v Shire of Gingin SAT matter and ongoing complaints in relation to dust and spray drift related to the adjacent market garden.

- Notwithstanding compliance with the EPA's generic separation distances, the Shire's experience is that impacts extend beyond the prescribed buffer.
- The GR 10 coding at the interface of agricultural land is not viewed as being consistent with the Strategy position or LPS 9 objectives and subsequently introduces sensitive land uses into a productive agricultural region at the lowest coding available.
- Support for 10 hectare coding on the periphery of the identified area may set an undesirable precedent.
- The land contains various pockets of mature vegetation that, anecdotally, provides for Carnaby Black Cockatoos which has not been addressed as part of the proposal, but rather has been deferred until the subdivision capability has been realised. This comment should nevertheless be balanced by the fact that clearing is not proposed to take place.
- Amendment No. 22 to LPS 9 sought a dual coding of GR20 and GR30 over a 97 hectare land parcel closer to the Moore River, having previously been prevented from a singular GR20 coding under the very same planning framework.

Summary

The officer is of the view that cases both for and against the proposal can be applied. Amendment conditions may resolve some of the concerns raised above. On balance of the information lodged and considering the site specific context, the officer is of the view that initiation is warranted to enable a consultation process to take place.

There may be a basis for the amendment to include a condition under Schedule 10 for lodgment of an Outline Development Plan (ODP) to set provisions in addition to those under LPS 9 to ensure that roof catchments are of a sufficient area to harvest rainwater given lack of potable water access, specify building envelopes, vegetation protection measures and an emphasis on proximity to agricultural activities.

Initiation should not be misconstrued as support of the amendment, or the coding applied for. Determination of the amendment is subject to the consultation process in accordance with Regulation 50 of the Regulations.

STATUTORY/LOCAL LAW IMPLICATIONS

Planning and Development Act (2005)

Planning and Development (Local Planning Schemes) Regulations 2015

Shire of Gingin Local Planning Scheme No.9

Shire of Gingin Local Planning Strategy 2012

POLICY IMPLICATIONS

State Planning Policy No. 2.5 - Rural Planning

State Planning Policy 2.5 – Rural Planning Guidelines

State Planning Policy 3.0 – Urban Growth and Settlement (SPP 3.0)

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	3. Planning & Sustainability - Plan for Future Generations
Strategic Objective	3.3 Planning & Land Use - Plan the use of the land to meet future requirements incorporating economic development objectives and community amenity

VOTING REQUIREMENTS - SIMPLE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson

SECONDED: Councillor Sorensen

That Council:

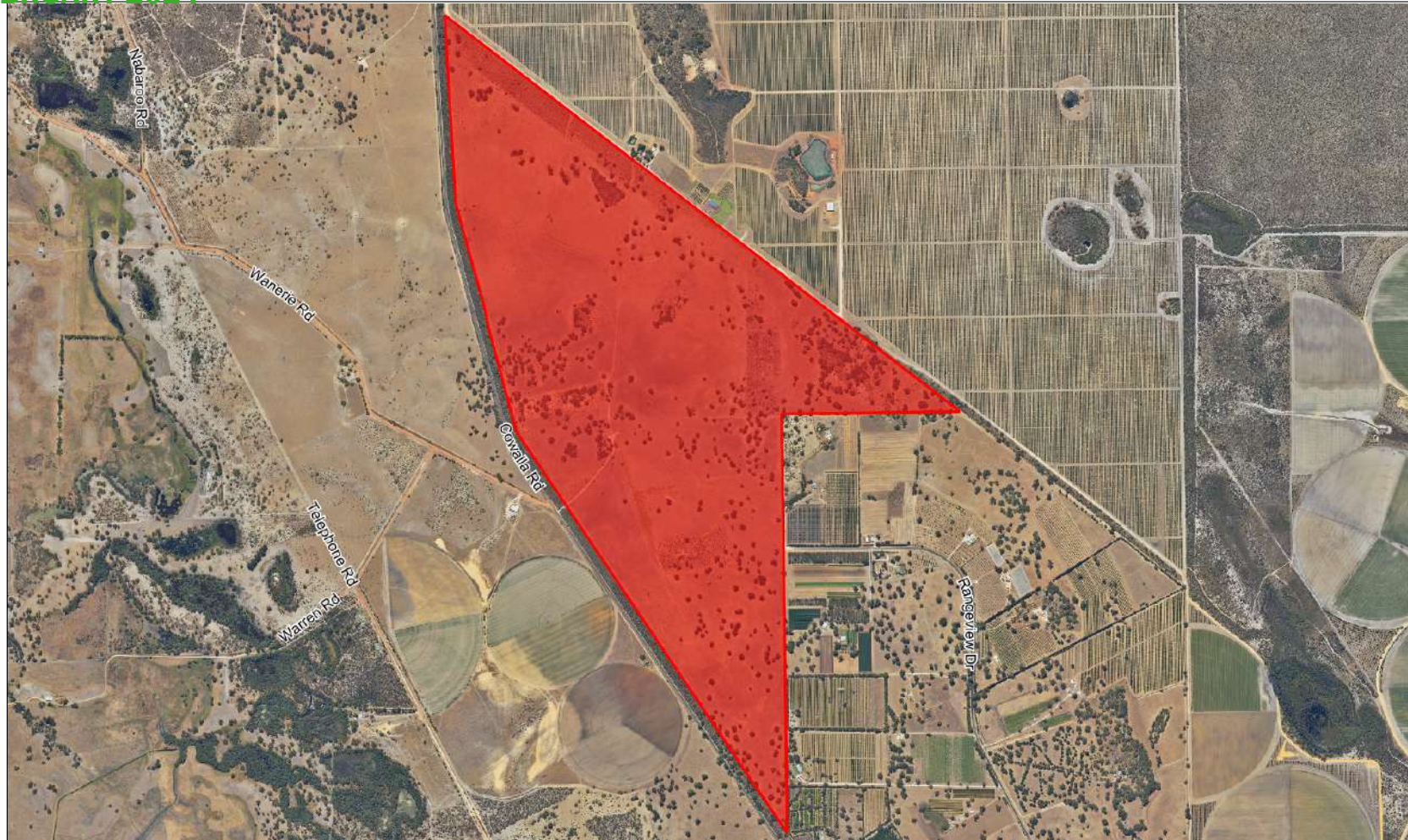
1. Resolve, pursuant to Regulation 35 (2) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, that Local Planning Scheme Amendment No. 25 is a standard scheme amendment as the proposal is generally consistent with the Local Planning Strategy.
2. Pursuant to Section 75 of the *Planning and Development Act 2005*, initiate proposed Amendment No. 25 to the Shire of Gingin Local Planning Scheme No. 9 to rezone Lot 5905 (1546) Cowalla Road, Wanerie from ‘General Rural’ to ‘General Rural 10’) and introduce into ‘Schedule 10 – General Rural (coded) zones the following:



<i>No.</i>	<i>Description of lands</i>	<i>Conditions</i>
3	Lot 5905 (No. 1546) Cowalla Road, Wanerie	<u>Environmental Management.</u> 1. Prior to submission of an application for subdivision approval, the developer shall identify any vegetation worthy of protection and identify the means for protection. Vegetation can be protected through fencing and/or notifications on title.

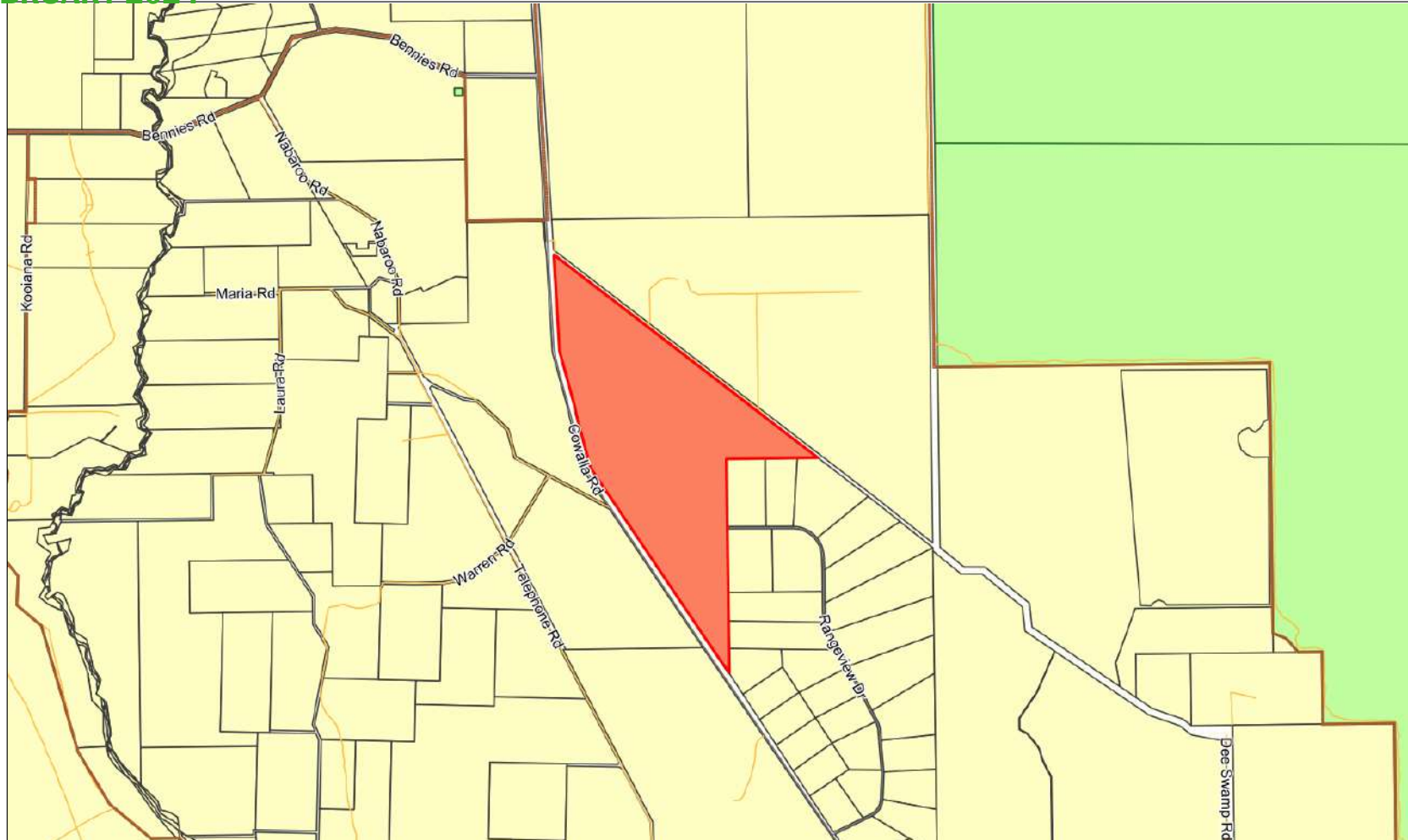
		<p><u>Land Use Settlement Pattern.</u></p> <p>2. Lots that share an interface with the gazetted road (Land ID 3148443) require a minimum average lot size of 15ha.</p> <p>3. The subdivision lot layout is to retain remnant vegetation located on the site.</p> <p><u>Land Within 500m of Adjoining Horticultural Land Uses.</u></p> <p>4. Building envelopes are required to be identified as part of subdivision for lots within 500m of adjoining horticultural land uses to ensure future development is appropriately set back from these land uses.</p> <p>5. Building envelopes should be located more than 300m from the edge of adjoining horticulture uses unless the adjoining horticultural uses cease or unless otherwise agreed with the Shire</p>
<p>3. Pursuant to Section 81 of the <i>Planning and Development Act 2005</i>, refer Local Planning Scheme Amendment No. 25 to the Environmental Protection Authority (EPA);</p> <p>4. In the event no objection is raised by the EPA, pursuant to Regulation 47 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>, refer Local Planning Scheme Amendment No. 25 to the Western Australian Planning Commission (WAPC) for consent to advertise.</p> <p>5. Upon receiving consent to advertise by the Western Australian Planning Commission (WAPC), advertise Local Planning Scheme Amendment No. 25 in accordance with Regulation 47 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>.</p>		
<p style="text-align: right;">CARRIED UNANIMOUSLY 9 / 0</p>		



FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*



 <p>SHIRE OF GINGIN HISTORY BEAUTY PROSPERITY</p>	<p>7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au</p>	<p>Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.</p>	<p>Aerial Plan - Lot 5905 (1546) Cowalla Road, Wanerie</p>	<p>Scale: 1:23014</p>	<p>Date: 22/11/2023</p> 
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 <p>SHIRE OF GINGIN HISTORY • BEAUTY • PROSPERITY</p>	<p>7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au</p>	<p>Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.</p>	<p>Location Plan - Lot 5905 (1546) Cowalla Road, Wanerie</p>	<p>Scale: 1: 44950</p>	<p>Date: 22/11/2023</p> 
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LOCAL PLANNING SCHEME AMENDMENT

Shire of Gingin Local Planning Scheme No. 9

Lot 5905 (No. 1546) Cowalla Road, Wanerie





DOCUMENT CONTROL

Control Version	Date	Status	Distribution	Comment
A	29/10/2023	Draft	HD	For QA
B	01/11/2023	Final	Client	For Comment
C	20/11/2023	Final	External	For Lodgement

Prepared for: Tony Ruse

Date: 30 January 2024

Prepared by: DV

Job No: 23651

Reviewed by: HD

Rev: C

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APPENDIX B – Certificate of Title

APPENDIX C – Concept Plan of Subdivision

APPENDIX D – Opportunities and Constrains Plan

APPENDIX E – Site Images and Context



1 INTRODUCTION

1.1 Purpose

This Scheme Amendment Request (SAR) has been prepared by Harley Dykstra on behalf of the landowner, for Lot 5905 (No. 1546) Cowalla Road, Wanerie, Gingin ('the subject land'). The SAR respectfully requests that the Minister for Planning, Lands and Heritage approve an amendment to the Shire of Gingin's Local Planning Scheme No. 9 (LPS 9) to rezone Lot 5905 from "General Rural" to "General Rural - Coded". On account of this change, the proposed Scheme Amendment addresses a 'density coding amendment' over the lot as opposed to a change in zoning over the land.

The proposed Scheme Amendment Request would formalise a logical extension to an existing 'General Rural - Coded' precinct currently located to the south-east of the subject land. Preliminary correspondence with a planner from the Shire of Gingin indicated general compliance with the adopted Local Planning Strategy and General Rural coding proposed over the land, subject to the demonstration of an appropriate site design which responds to the site's characteristics and existing physical features. This SAR was also presented to the Shire of Gingin Council in a briefing session, where Council provided recommendations on various aspects of the proposal required to be addressed within this Scheme Amendment.

Subdivision approval was granted on 10 September 1996 to subdivide former parent lot 4375 on Plan 62760 into thirty-one (31) new lots (WAPC Ref: 99606). The subdivision approval was implemented to formalise the creation of 31 new lots, ranging in size from 9.8ha-28.7ha. The approved Subdivision Guide Plan (SGP) coordinated the subdivision design and provided opportunity for the subdivision to extend over Lot 5905 to round off the development and provide a through road connection of Rangeview Drive to Cowalla Road. A copy of the Subdivision Guide plan related to WAPC approval 99606 has been included at **Appendix A**. The subdivided land affected by WAPC ref: 99606, is currently zoned 'General Rural 20' upon the adoption and gazettal of the Shire of Gingin Local Planning Strategy and Local Planning Scheme No.9.

The proponent/landowner of the subject site is committed to developing the land on the basis of the Local Planning Strategy, which promotes two corridors of General Rural (GR) smallholdings along the two major rivers within the Shire. The proposed GR10 coding of the land also seeks to complement and complete the existing Subdivision Guide Plan over lot 4375. Future subdivision of this site will be designed to be of a quality commensurate with the physical characteristics of the site, specifically existing vegetation and topography. The ultimate gazettal of this SAR will likely facilitate a twenty-one (21) lot subdivision of the land, featuring a minimum lot size of ten (10) hectares.

1.2 Site Context

The subject site comprises of a land area of 272.2047ha, located on the eastern side of Cowalla Road, approximately 36km north-west of the Gingin town centre. The subject site is adjacent to 'General Rural 20' (GR 20) zoned land to the south-east (parent lot 4375) and 'General Rural (uncoded)' zoned land directly to the north-east and west. The Moore River Nature Reserve is located further east of the subject land, while 'General Rural - Coded' precincts are located further north, south and west



of the Subject land. A *Context and Zoning Plan* depicting the subject site in its cadastral context is included at **Figure 1** below. A *Context Aerial Image* has been included in **Figure 2** while an overview of the site and its physical characteristics taken from aerial imagery, is portrayed in **Figure 3**.

The subject site comprises a single rural lot with a total area of 272.2047 hectares. The land contains an existing dwelling with a number of associated outbuildings. The balance of the site comprises of various clumps of scattered vegetation located over undulating topography, and grasslands previously used for grazing and the keeping of livestock. The Lot currently derives its access by an existing crossover onto Cowalla Road, along the south western boundary, with a fire emergency access to Rangeview Drive located east of the subject land. An unconstructed Gazetted Road borders the north eastern boundary of the lot, providing access to Lot 5904 (No. 1770) Cowalla Road, north of the subject site. **Appendix E** includes various images taken over the site, including a reference plan identifying the location and direction of each image.

The subject site is located adjacent to a General Rural coded precinct south-east of the site, and 'General Rural' landholdings located north and west of the subject land. The Shire of Gingin Local Planning Strategy has designated the subject site as Rural small holdings.

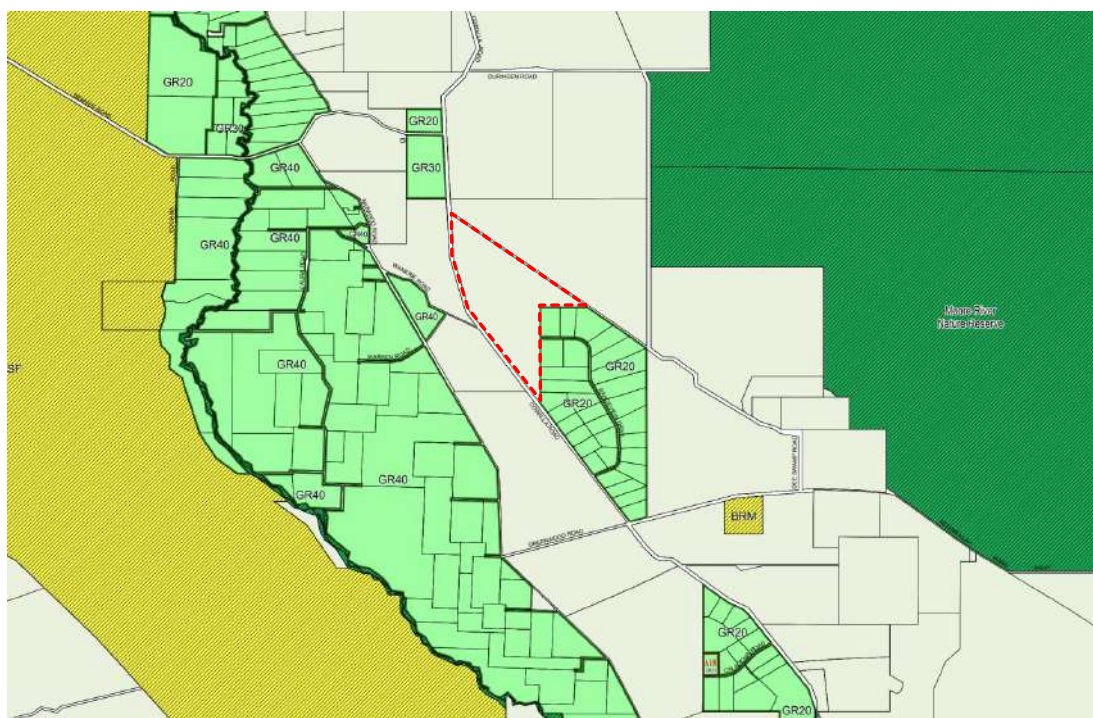


FIGURE 1 – CONTEXT AND ZONING PLAN (SUBJECT SITE OUTLINED IN RED)



FIGURE 2 - CONTEXT AERIAL IMAGE



FIGURE 3 - AERIAL IMAGE OF SITE WITH CONTOURS (SUBJECT SITE OUTLINED IN RED)



1.3 The Subject Site

The landowner of the subject land currently manages a self-replenishing Merino sheep flock which graze the land. The elderly sheep are sold as exports for meat and other uses, replaced by lambs, born and bred on site. Due to the size of the land the landowner has indicated that the current scale of agriculture is not economically self-sustainable and are required to be supported by additional parcels of land or other forms of income to generate a profitable outcome over the lot. Given that the land is not considered economically viable in association with the current use, the landowner wishes to develop the lot to promote a diversity of rural smallholding lots in accordance with the existing development to the south-east of the subject site. The proposed rural small holding lots will create housing opportunities to support rural lifestyle living and expanding cottage, horticultural and regional tourism industries.

Table 1 below provides a summary of the legal description of the land. A copy of the Certificates of title has been included at **Appendix B**.

LOT NUMBER:	DIAGRAM:	VOLUME/FOLIO:	LOT AREA:	REGISTERED PROPRIETOR:
5905	164777	334/160A	272.2047ha	ANTHONY LEIGHTON RUSE

TABLE 1



2 PROPOSED SCHEME AMENDMENT

2.1 Overview of Proposal

This SAR seeks to facilitate the rezoning of the subject land from “General Rural” to “General Rural - coded (GR 10)”. The proposal represents an appropriately located ‘General Rural - coded’ precinct which aligns with the objectives of the Shire of Gingin Local Planning Strategy and seeks a logical extension to the existing Rangeview Drive Estate. The allocation of the ‘General Rural - coded’ Precinct aims to protect the landscape and environmental value of the locality while ensuring General Rural land is preserved and remains unfragmented in accordance with the objectives of the Local Planning Strategy. Future subdivision and development could potentially be in accordance with the Concept Plan of Subdivision provided, with lots to be established with a minimum lot size of 10ha as determined at subdivision stage.

Subsequent to this SAR, the land could be subdivided generally in accordance with the Concept Subdivision Plan attached at **Appendix C**. This permutation of subdivision design facilitates an extension of Rangeview Drive, through to Cowalla road, completing a through road connection, resolving current fire access arrangements. A secondary road extends from Rangeview Drive, servicing the northern portion of the lot. This road is considered a no-through-road, with a Fire Service Access Route extending through to Cowalla Road, ensuring two-way access is achievable for all lots.

2.2 Type of Amendment

Pursuant to regulation 34 of the Planning and Development (Local Planning Schemes) Regulations 2015 (as amended), the proposed Scheme Amendment represents a ‘Standard Amendment’. The relevant clauses defining a Standard amendment are as follows:

Standard amendment means any of the following amendments to a local planning scheme –

- (a) an amendment relating to a zone or reserve that is consistent with the objectives identified in the scheme for that zone or reserve;
- (b) an amendment that is consistent with a local planning strategy for the scheme that has been endorsed by the Commission;
- (c) an amendment to the scheme so that it is consistent with a region planning scheme that applies to the scheme area, other than an amendment that is a basic amendment;
- (d) an amendment to the scheme map that is consistent with a structure plan or local development plan that has been approved under the scheme for the land to which the amendment relates if the scheme does not currently include zones of all the types that are outlined in the plan;
- (e) an amendment that would have minimal impact on land in the scheme area that is not the subject of the amendment;
- (f) an amendment that does not result in any significant environmental, social, economic or governance impacts on land in the scheme area;
- (g) any other amendment that is not a complex or basic amendment.



The relevant definition of a ‘Standard amendment,’ considered relevant to the proposal, is:

(b) *“an amendment that is consistent with a local planning strategy for the scheme that has been endorsed by the Commission.”*

The requested change of zoning from ‘General Rural’ to ‘General Rural – Coded (GR 10)’ is consistent with the Shire of Gingin Local Planning Strategy and therefore should be considered a ‘Standard Amendment’.

2.3 Proposed Scheme Changes

Subject to the finalisation of this proposed Scheme Amendment, the subject land will be eligible for further subdivision. To ensure any future subdivision is in accordance with the intent of the Local Planning Strategy and consistent with proper and orderly planning a number of provisions are proposed within Schedule 10 of the Shire of Gingin Local Planning Scheme. The proposed additions to Schedule 10 are outlined below:

Schedule 10 – General Rural (Coded) Zones		
No.	Description of Land	Conditions
3	Lot 5905 (No. 1546) Cowalla Road, Wanerie AMD XX GG XX/XX/XX	<p><u>Environmental Management.</u></p> <ul style="list-style-type: none"> Prior to submission of an application for subdivision approval, the developer shall identify any vegetation worthy of protection and identify the means for protection. Vegetation can be protected through fencing and/or notifications on title. <p><u>Land use Settlement Pattern.</u></p> <ul style="list-style-type: none"> Lots that share an interface with the gazetted Road (Land ID 3148443) require a minimum average lot size of 15ha. The subdivision lot layout is to retain remnant vegetation located on the site. <p><u>Land Within 500m of Adjoining Horticultural Land Uses.</u></p> <ul style="list-style-type: none"> Building envelopes are required to be identified as part of subdivision for lots within 500m of adjoining horticultural land uses to ensure future development is appropriately setback from these land uses. Building envelopes should be located greater than 300m from the edge of adjoining horticulture uses unless the adjoining horticultural uses cease or else otherwise agreed with the Shire.



3 PLANNING CONTEXT

3.1 State Planning Policies

3.1.1 State Planning Policy 2.5 – Rural Planning (SPP2.5)

State Planning Policy 2.5 *Rural Planning* (SPP 2.5) guides the requirements and controls for land use planning in rural areas within Western Australia. The intent and purpose of the policy is to “*protect and preserve Western Australia’s rural land assets due to the importance of their economic, natural resource, food production, environmental and landscape values. Ensuring broad compatibility between land uses is essential to delivering this outcome.*”

SPP 2.5 provides a number of policy measures to assist decision makers in achieving the objectives of the policy which are summarised as:

- 5.1 *Protection of Rural Land / Rural Uses;*
- 5.3 *Rural Living;*
- 5.10 *Managing and Improving Environmental and Landscape Attributes; and*
- 5.12 *Preventing and Managing Impacts in Land Use Planning*

The SAR is consistent with the Policy Measures of SPP2.5, given the site has been identified as part of the Rural Smallholdings precinct within the Shire of Gingin Local Planning Strategy enabling potential for further detailed planning and subdivision of the land. Given the land has been earmarked for Rural smallholdings under the Shire of Gingin Local Planning Strategy, the SAR is considered consistent with Section 5.3, providing rural living style lots in a planned and coordinated manner.

The Concept Subdivision design, attached at **Appendix C**, demonstrates each lot is able to accommodate a sufficient land area to accommodate a dwelling with appropriate separational distance to nearby industrious horticultural land uses, and be outside of areas designated bushfire prone. An environmental assessment of the impact of the existing neighbouring horticultural uses will be conducted and submitted as part of a subdivision application, following the successful gazettal of this SAR.

3.1.2 State Planning Policy 3.0 – Urban Growth and Settlement (SPP 3)

SPP 3.0 promotes appropriately located settlements to provide for sustainable patterns of urban growth to enable the efficient, economic and timely provision of infrastructure and services to urban areas.

In considering the objectives of SPP 3 in relation to this SAR, the proposal is considered to appropriately locate a General Rural Coded precinct in accordance with the Shire of Gingin Local Planning Strategy and providing opportunity for rural living without fragmenting larger rural landholdings within the Shire.

3.1.3 State Planning Policy 3.7 – Planning in Bushfire Prone Areas (SPP3.7)

State Planning Policy 3.7 *Planning in Bushfire Prone Areas* (SPP3.7) guides the development requirements for any proposed development of land or infrastructure within designated bushfire



prone areas. The intent of the policy is to implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure.

The Guidelines for Planning in Bushfire Prone Areas Version 1.4, provide further detail and supporting information to assist decision makers and proponents in determining the appropriate land use in relation to bushfire prone areas, and ensuring that the necessary required measures are incorporated in development relating to bushfire protection.

Section 2.6 within the *Guidelines for Planning in Bushfire Prone Areas Version 1.4*, details discretionary decision making where exemptions may be sought from the requirements of SPP 3.7. The guidelines state that where there is no intensification of land-use and/or the proposal does not result in an increase to the bushfire threat, proponents can apply for an exemption from SPP3.7 requirements.

The Subject land only accommodates small portions of the site designated Bushfire Prone, identified by the Department of Fire and Emergency Services (DFES)(**Figure 4** refers). A Bushfire Management Plan has not been prepared in support of this Scheme Amendment, given the Opportunities and Constraints Plan (**Appendix D**) demonstrates each lot has a suitable portion of land located outside Bushfire prone areas. It is acknowledged that a future subdivision application will require a bushfire assessment to be undertaken to demonstrate compliance with the requirements of SPP 3.7.

3.1.4 Development Control Policy 3.4 - Subdivision of Rural Land (DCP 3.4)

Development Control Policy 3.4- *Subdivision of Rural Land* (DCP3.4) sets out the policy requirements for planning in rural zoned land. DCP 3.4 is an operational policy to assist in guiding subdivision in accordance with the provisions of State Planning Policy 2.5 *Rural Planning*.

The Policy indicates that subdivision of rural land should be consistent with the provisions of a local planning scheme/strategy and be undertaken in a proper and orderly fashion to avoid the fragmentation of rural zoned land and the creation of smaller ad-hoc rural lots.

The proposed Scheme Amendment seeks to formalise and progress the provisions outlined within the Local Planning Strategy, which identifies the subject land as 'Rural smallholdings.' The allocation of the Rural Smallholdings zone indicates the potential for further development of the land. The proposed Scheme Amendment seeks to amend the zoning of the lot from 'General Rural' to 'General Rural – Coded'. The Strategy highlights that a number of existing 'General Rural -Coded' precincts are dispersed throughout the region identified as 'Rural Smallholdings' in accordance with the Local Planning Strategy. The Strategy further indicates that an infill of 'Rural Smallholding' lots within the specified locations will not contribute to the additional fragmentation of 'Rural' zoned land, given that the land is considered to already be largely fragmented.

3.1.5 Government Sewer Policy 2019 (GSP)

The Government Sewerage Policy (GSP) sets the State Government's position on how sewerage services are to be provided in Western Australia through the planning and development of land. Given that there is no reticulated sewer within the area and reticulated sewer cannot be feasibly

extended to service the site, onsite effluent disposal will need to be addressed as a part of any future subdivision.

Figure 5 provides an extract of the Government Sewerage Policy Mapping and identifies areas classified as 'Sewer Sensitive.' As evidenced by **Figure 5**, the site is not identified as sewer sensitive neither is it located within a public drinking water area.

Section 4 of the GSP indicates the policy applies to subdivision applications which result in the creation of lots lesser than 4ha. Given that the future subdivision of land will accommodate lot sizes aligned with the GR10 coding (minimum lot size of 10ha), this Scheme Amendment and probable subsequent subdivision application is considered exempt from the requirements dictated within the Government Sewerage Policy 2019.



FIGURE 4 – DFES BUSHFIRE PRONE MAPPING



FIGURE 5 – GOVERNMENT SEWERAGE POLICY 2019 MAPPING

3.2 Local Planning Framework

3.2.1 Shire of Gingin Local Planning Scheme No. 9 (LPS 9)

The subject site is currently zoned 'General Rural' under the Shire of Gingin Local Planning Scheme No. 9 (LPS 9) (Figure 1 refers). This SAR proposes the subject land be coded to accommodate a 'General Rural Coded' zone, specifically GR10.

The objectives of the 'General Rural' zone as detailed within LPS 9 are as follows:

- a) manage land use changes so that the specific local rural character of the zone is maintained or enhanced;
- b) encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;
- c) maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and
- d) provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.

This SAR proposes a change in density coding within the current zone, ensuring the preservation of the rural character and amenity of the area. The zoning density modification is commensurate with the provisions within the Shire of Gingin Local Planning Strategy, which promotes rural smallholding



lots agglomerating along the major River systems within the Shire. A successful outcome of the SAR will likely result in a subdivision generally in accordance with the concept subdivision plan, attached at **Appendix C**, which demonstrates minimal vegetation will be required to be removed to facilitate both this scheme amendment and likely future subdivision. The concept subdivision plan also demonstrates each lot is able to locate a dwelling which achieves adequate separational distances from the adjoining horticultural land uses.

LPS 9 further dictates zone-specific development standards within the 'General Rural' zone. Subdivision within the 'General Rural' zone should consider the protection of natural vegetation, the provision of services to any future lot, access, building location, bushfire management and the impact on the amenity of the area. Subdivision should also correspond with the General Rural zone lot sizes, specified in Section 4.8.6.1. of LPS 9 and summarised as follows:

Code	Minimum Lot Size
GR10	10ha
GR20	20ha
GR30	30ha
GR40	40ha
UNCODED	<i>Further subdivision will not be supported unless it meets the exceptional circumstance requirements for subdivision under WAPC Development Control Policy 3.4.</i>

On account of the change from 'General Rural' to 'General Rural – coded (GR10),' the proposed Scheme Amendment addresses a 'density coding amendment' over the lot, rather than a change in the zoning over the land.

3.2.2 Shire of Gingin Local Planning Strategy (2012)

The Shire of Gingin has adopted a Local Planning Strategy which sets out the longer-term planning direction for the Shire over a 15–20-year planning horizon. The document provides the opportunity to assist decision makers in producing strategic decisions which align with the future intent and development of the Shire. One function of the Local Planning Strategy is to outline a plan that forms the basis of land use zoning, subdivision and development throughout the Shire.

The Local Planning Strategy was developed on the premise to protect rural land from fragmentation. The Strategy seeks to confine the subdivision of rural land along two major corridors centred along the Gingin Brook and Moore River. The Strategy was implemented to prevent ad-hoc subdivision of rural land on the basis of horticultural capabilities and focus the development of land along two major corridors promoting a diversity of Rural Smallholdings in an area which has been historically proven to be attractive for this type of landholding.

The subject land forms a portion of the 'Rural Small Holdings' precinct which agglomerates along the Moore River corridor. An excerpt of the Shire of Gingin Local Planning Strategy Map, demonstrating the subject land in its context has been included in **Figure 6**. The Strategy explicitly outlines that historically subdivision was considered on the basis of land capability for horticulture under the previous Gingin Local Rural Strategy 1994. The method of basing subdivision and development of land was identified as conflicting with the principles of proper and orderly planning, resulting in the fragmentation of large rural landholdings. In response to these concerns the Shire



developed a strategic approach to planning for the Shires rural resources which responds to existing major physical features within the Shire. This strategic approach formalised the creation of two Rural Smallholding corridors centralised along the Gingin Brook and Moore River. These areas were observed to accommodate an extensive pattern of existing rural smallholding lots and fragmented rural lots. Given the existing fragmentation, the Strategy indicates that further controlled subdivision and marginal expansion of these areas will not contribute to the further fragmentation of broad-acre rural land, but rather will provide an attractive location for smaller rural landholdings in an area directly serviced by major access routes, providing linkages to nearby rural and coastal townsites.

The Strategy indicates that the further subdivision of Rural Smallholding lots should only occur within the areas identified on the Local Planning Strategy map. The subject land has been identified to be within the 'Rural Smallholdings' area, therefore being capable of accommodating a future zoning/coding amendment under the Shire of Gingin Local Planning Scheme No. 9. This SAR is further considered to be a logical extension to the existing 'GR20' precinct directly south-east of the subject land.

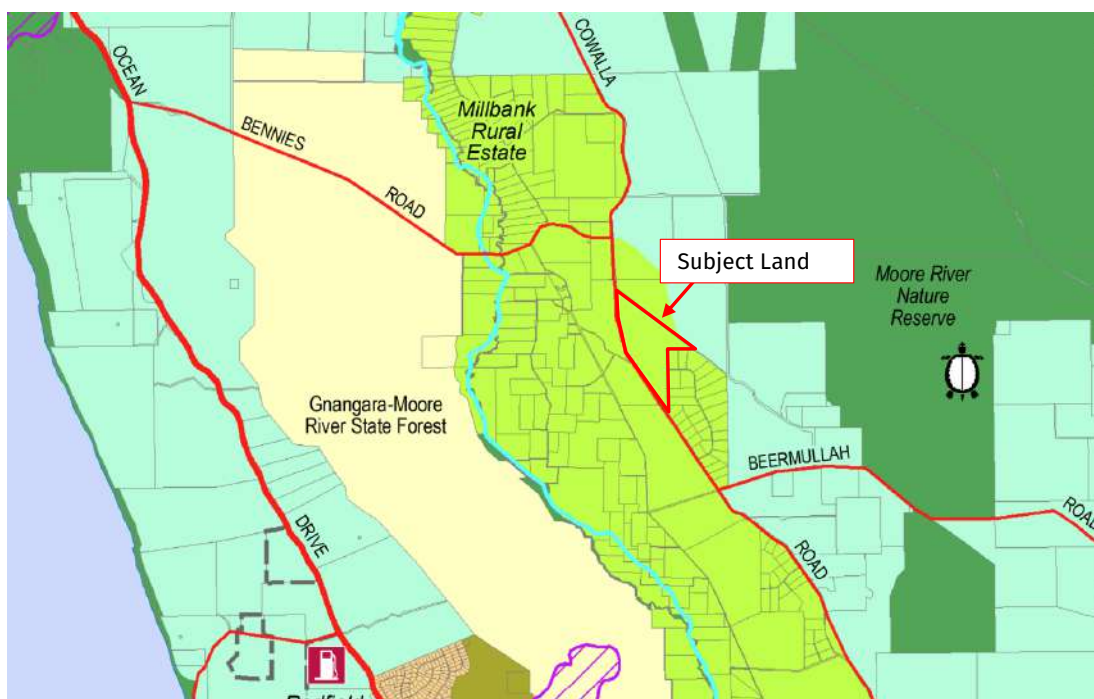


FIGURE 6 – LOCAL PLANNING STRATEGY MAP EXTRACT

4 SITE ANALYSIS

4.1 Landform & Topography

The topography of the subject site is demonstrated as per the Conceptual Plan of Subdivision attached as **Appendix C**. The subject site accommodates one major peak located in the north western portion of the lot with a height of 128m AHD. A saddle is located in the southern portion of the lot featuring two peaks, with an approximate height of 100m AHD. The western portion of the lot features a gully with a minimum height of 64m AHD. The site generally slopes upward from Cowalla road and is screened by a 40m wide vegetation buffer along Cowalla Road.

4.2 Geomorphic Wetlands

A detailed review of the department of Biodiversity Conservation and Attractions Geomorphic Wetlands of the Swan Coastal Plain mapping dataset indicate that no geomorphic wetlands are located within close proximity of the subject site as outlined within **Figure 7** below.



Figure 7 – Geomorphic Wetland Mapping of the Swan Coastal Plain (DBCA)



4.3 Land Use Conflict

The Subject land is located within proximity to horticultural and market garden land uses, specifically olive groves north of the subject land, and horticultural pivots located west of the subject land. The Environmental Protection Authority has drafted a guide providing recommended separation distances between industrial and sensitive land uses. The recommended separation distance from Market Gardens, without any studies undertaken, ranges from 300m-500m, depending on the scale and intensity of the Market Garden. In consultation with the Shire of Gingin Council at a briefing session, it was recommended that a 300m buffer would be acceptable between sensitive land uses and the existing olive plantation to the north, while it was recommended that a separation distance nearing 500m would be acceptable from the Horticultural pivots located west of the site.

The Opportunities and Constraints Plan attached at **Appendix D**, provides an indication of the relevant separation distances from the adjoining industrious land uses. As evidenced on the plan, it is possible that almost every lot achieves a portion of land located outside of the 500m Buffer from the Horticultural pivots and 300m from the Olive Plantation, in accordance with the recommendations from the Shire Council. It is acknowledged that Lot 22 located on the Concept Subdivision Plan is the only lot which does not contain such a portion of land outside the 500m buffer. It is expected that as part of a subsequent subdivision application environmental studies will be undertaken to assess the relevant buffer distances to ensure this lot can achieve compliance with the relevant separational distances from industrious land uses.

4.4 Water

Historically within the Shire of Gingin the provision of water and allocation of ground water has been a contentious resource, limiting the expansion of water intensive agricultural and rural uses. While it is acknowledged the provision of water is identified as a planning consideration, it should not be the basis upon which planning decisions should be made. A successful Scheme Amendment is likely to result in the subdivision of land in accordance with the amended zoning. The Shire of Gingin Council also highlighted the need to consider the distribution and allocation of groundwater resources and licencing during the initial briefing session.

Given the likelihood that there will be additional landholdings over the land, it is expected that there will be a greater demand for the provision of potable drinking water. While specific details will be provided during subdivision stage, it can be concluded that each lot will be able to provide an adequate supply of potable water through the harvesting and storage of rainfall in rainwater tanks. Section 4.8.6.4 of the Shire of Gingin Local Planning Scheme No.9 (LPS 9) indicates that a water tank of not less than 90,000L should be installed where lots cannot be connected to a reticulated water supply. Should the Council consider it necessary, additional policy measures can be included in Schedule 10 of LPS 9, dictating specific requirements of General Rural coded areas. These specific policy measures could stipulate the need for adequate provision of potable water supply and specify the minimum size for rain water tanks. Alternatively, it is expected that a condition of a future subdivision approval would dictate this requirement.

The licencing and access to groundwater resources has also been considered in conjunction with this Scheme Amendment request. It is noted that numerous landholdings located within the neighbouring development south-east of the subject land operate uses over their lot without the



need for access to groundwater connections or licences. It is expected that future lots resulting from subdivision, following a successful outcome of a Scheme Amendment, will also be able to operate a range of land uses which do not require a connection to the underground aquifers or water licences. A number of land uses, which do not require access to groundwater resources include: the keeping of bees, Extensive Agriculture, Educational Establishment, Hydroponics, Chalet, Staff/Workers Accommodation, Community Purpose and various rural and/or cottage industries. It is expected that due to the extensive progression of technology and innovation in relation to various industries, the proposed lot sizes and the targeted landowner groups, future landholdings will have the opportunity to operate rural land uses without the need for a connection to local groundwater aquifers within the area. If groundwater is desired to be accessed the relevant approvals and licences will be required prior to access and usage.

4.5 Existing Vegetation

The subject land comprises of largely cleared rural land used for the grazing of animals and hay production. The site accommodates various scattered trees throughout, comprising of Redgum, Tuart trees, Banksia trees, Blackboy, Blackbutt, and Tagasaste species. Given the site has been used for grazing of animals and livestock the existing vegetation is generally scattered and degraded. The site accommodates various clusters of more dense vegetation, which will be retained as part of this Scheme Amendment request. The land owner is committed to preserving existing vegetation over the site, reflected through the Concept Subdivision Plan (**Appendix C**) which provides sufficient areas within each lot suitable for the development of a single dwelling without the need to remove any existing vegetation. Additionally, the road layout has been designed to avoid the removal of any significant vegetation.

4.6 Land Capability

No detailed land capability studies have been completed in support of this SAR at this stage. Subject to Council recommendations, Geotechnical studies can be undertaken to determine the site land capability as part of any future application for specific land use and development on lots. Given the subject site adjoins already subdivided and developed 'General Rural 20' zoned land, it is considered that the subject land is capable of supporting development as proposed.

4.7 Bushfire Hazard

The objective of State Planning Policy 3.7, Planning in Bushfire Prone Areas, is to implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure.

Figure 4, and the Opportunities and Constraints Plan Attached at **Appendix D** demonstrate only small portions of the lot designated as bushfire prone identified by the Department of Fire and Emergency's Bushfire Prone mapping. Any application which results in the intensification of the land within a bushfire prone area requires a Bushfire Assessment to be undertaken to identify the bushfire risk posed to future development opportunities on the site.

As evidenced in the Concept Subdivision Plan, each lot has the capability to accommodate a single dwelling outside of any area designated bushfire prone. Therefore, given each lot can accommodate a dwelling outside of areas designated bushfire prone, and subject to advice previously received



from the DPLH a Bushfire Management Plan has not been prepared in support of this Scheme Amendment Request. It is expected that a Bushfire Assessment will be required in support of a future subdivision application.

4.8 Servicing

4.8.1 Power

Three phase aerial power lines currently traverse the site, providing power connections to the existing house on the lot. Aerial power on the site will need to be redirected along the road reserve as part of the subdivision implementation process to provide a suitable power connection to each newly subdivided.

4.8.2 Water

Reticulated water services are not available within proximity to the site and cannot be feasibly extended to service the Lot. Therefore, water will need to be provided via the capture and storage of rainfall through rainwater tanks. It is expected that a future subdivision may require a tank suitable for firefighting purposes. Further, the Scheme provisions require that a water tank of not less than 90,000L should be installed where lots cannot be connected to a reticulated water supply.

4.8.3 Sewer

A sewer connection is not available within proximity of the subject site. Therefore, effluent will need to be disposed of onsite. Given each lot exceeds 4ha in size, this scheme amendment and future subdivision application are considered to be exempt from the requirements of the Government Sewerage Policy 2019, and each lot is considered capable of accommodating effluent on site.



5 CONCLUSION

In conclusion, this SAR seeks support to enable a re-coding of Lot 5905 (No. 1546) Cowalla Road, Wanerie to 'General Rural – Coded (GR10)'. This SAR is considered to be consistent with the intent and purpose of State Planning policy 2.5 - Planning in Rural Areas, 3.7 Planning in Bushfire Prone Areas, Shire of Gingin Local Planning Scheme and the Shire of, Gingin Local Planning Strategy which identifies the site as 'Rural Smallholdings'. The General Rural Coded proposal will be consistent with the adjoining General Rural coded land south-east of the subject land, comprising of lots ranging from 9.8ha-28.7ha, appropriately rounding off the Rangeview estate in a logical manner. This 'rounding-off' will also complete existing fire access issues currently present within the Rangeview Drive Estate.

Future subdivision of the land will allow for an extension to Rangeview Drive, and an extension to the Rangeview Estate, whilst maintaining the rural character and amenity of the area. The extension to Rangeview Drive will also finalise fire access arrangements which to date remain incomplete as part of the current Rangeview estate, rectifying existing bushfire hazards for the locality.

The environmental opportunities identified onsite can appropriately be managed due to the 10ha and larger lot sizes proposed through this SAR. Each lot will have the capability to construct a dwelling without the removal of vegetation and in a suitable location in terms of site management and separation from surrounding horticultural activities.

It is therefore respectfully requested on the basis of the above justified rationale, that the Minister for Planning, Lands and Heritage approve the amendment to the Shire of Gingin Local Planning Scheme No.9 to recode Lot 5905 Cowalla Road, Wanerie from "General Rural" to "General Rural – Coded (GR 10)".



APPENDIX A

WAPC APPROVAL 99606 – SUBDIVISION GUIDE PLAN

4/4

SUBDIVISION GUIDE PLAN Swan Loc.4375 Rural Conservation Area No.1

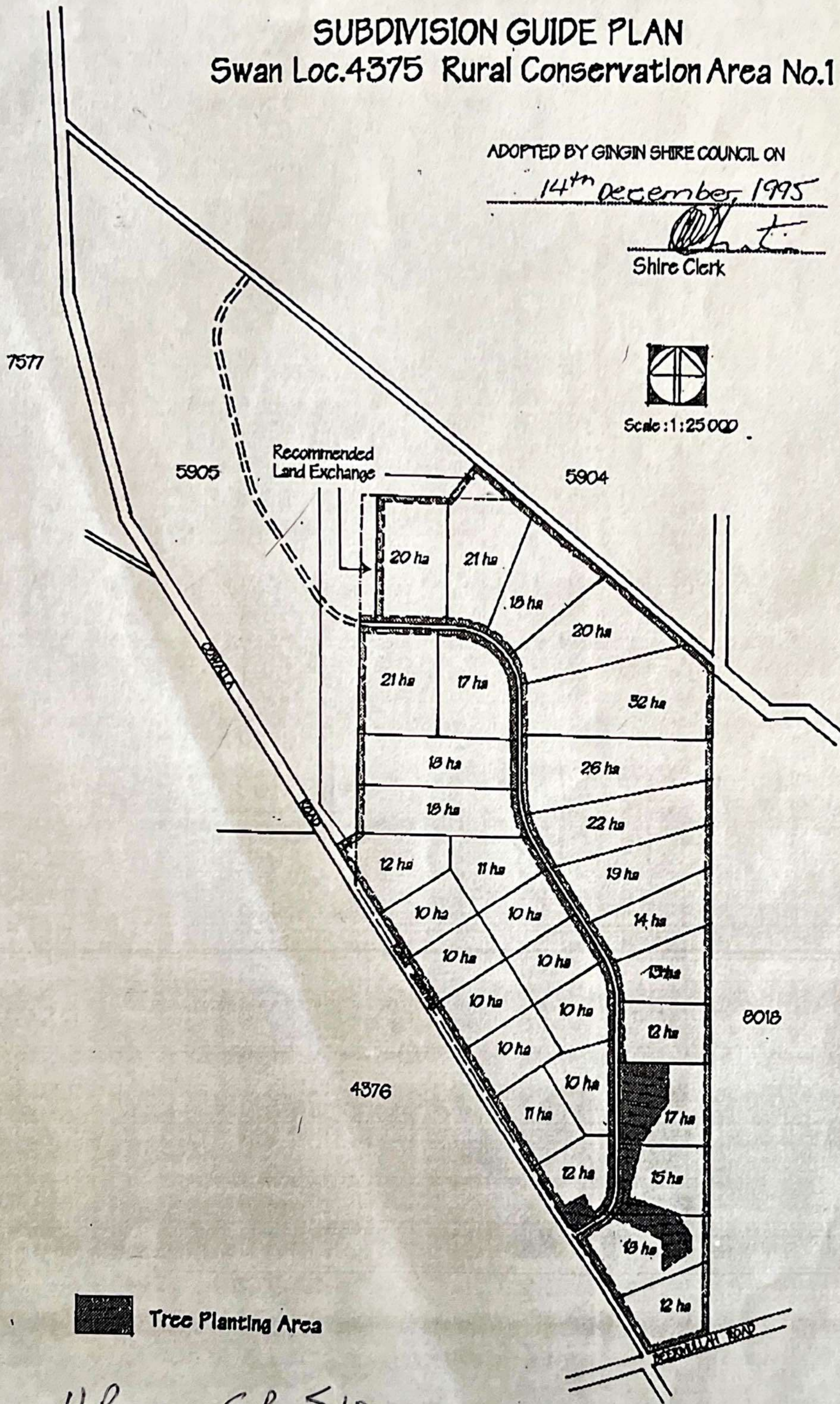
ADOPTED BY GINGIN SHIRE COUNCIL ON

14th December, 1995

[Signature]
Shire Clerk



Scale: 1:25 000



HP - GR < 10



APPENDIX B
CERTIFICATE OF TITLE

WESTERN



AUSTRALIA

TITLE NUMBER

Volume Folio

334 160A

**RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 5905 ON DEPOSITED PLAN 164777

**REGISTERED PROPRIETOR:
(FIRST SCHEDULE)**

ANTHONY LEIGHTON RUSE OF 154 ADELMA ROAD, DALKEITH

(T A928758) REGISTERED 25/2/1975

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)**

1. A928760 MORTGAGE TO NATIONAL BANK OF AUSTRALASIA LTD REGISTERED 25/2/1975.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

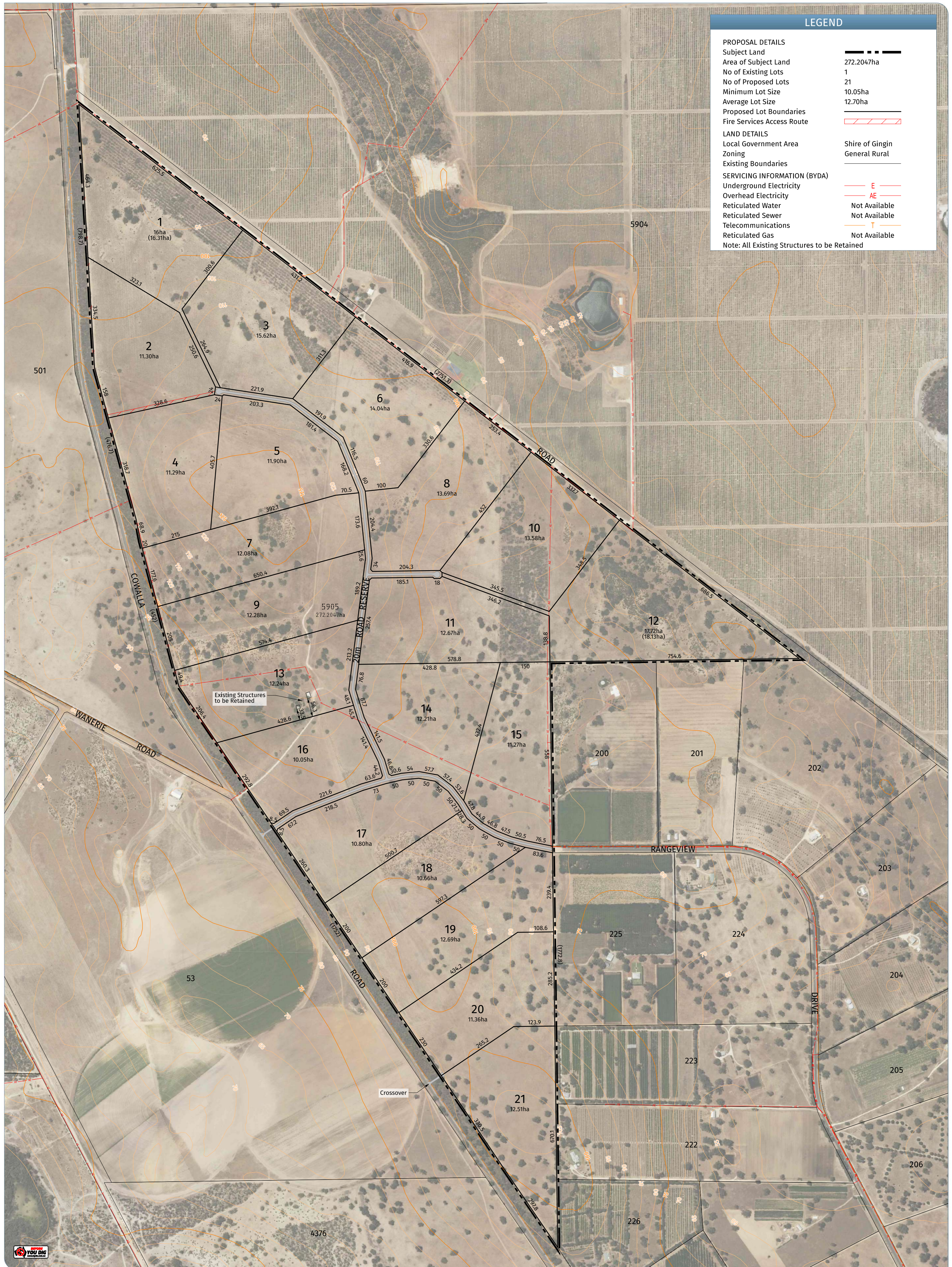
The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 334-160A (5905/DP164777)
PREVIOUS TITLE: 334-160A
PROPERTY STREET ADDRESS: 1546 COWALLA RD, WANERIE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF GINGIN



APPENDIX C

CONCEPT PLAN OF SUBDIVISION



LEGEND	
PROPOSAL DETAILS	
Subject Land	272.2047ha
Area of Subject Land	1
No of Existing Lots	21
No of Proposed Lots	10.05ha
Minimum Lot Size	12.70ha
Average Lot Size	
Proposed Lot Boundaries	
Fire Services Access Route	
LAND DETAILS	
Local Government Area	Shire of Gingin
Zoning	General Rural
Existing Boundaries	
SERVICING INFORMATION (BYDA)	
Underground Electricity	E
Overhead Electricity	AE
Reticulated Water	Not Available
Reticulated Sewer	Not Available
Telecommunications	
Reticulated Gas	Not Available
Note: All Existing Structures to be Retained	

CONCEPT SUBDIVISION

Lot 5905 (No. 1546) Cowalla Road,
WANERIE

Plan No. | 23561-03
Date | 24/01/24
Drawn | NP
Checked | DV
Revision | D

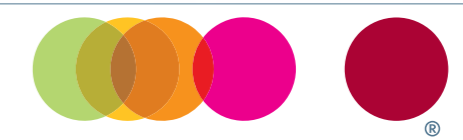
PERTH & FORRESTDALE:
Lot 1, 252 Fitzgerald St
PERTH, WA 6000
12/2 Hensbrook Loop,
FORRESTDALE, WA 6112
T: 08 9495 1947
E: metro@harleydykstra.com.au
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Scale | 1:5000 @ A1
1:10000 @ A3



NOTE: This plan has been prepared for planning purposes. Areas, Contours and Dimensions shown are subject to survey



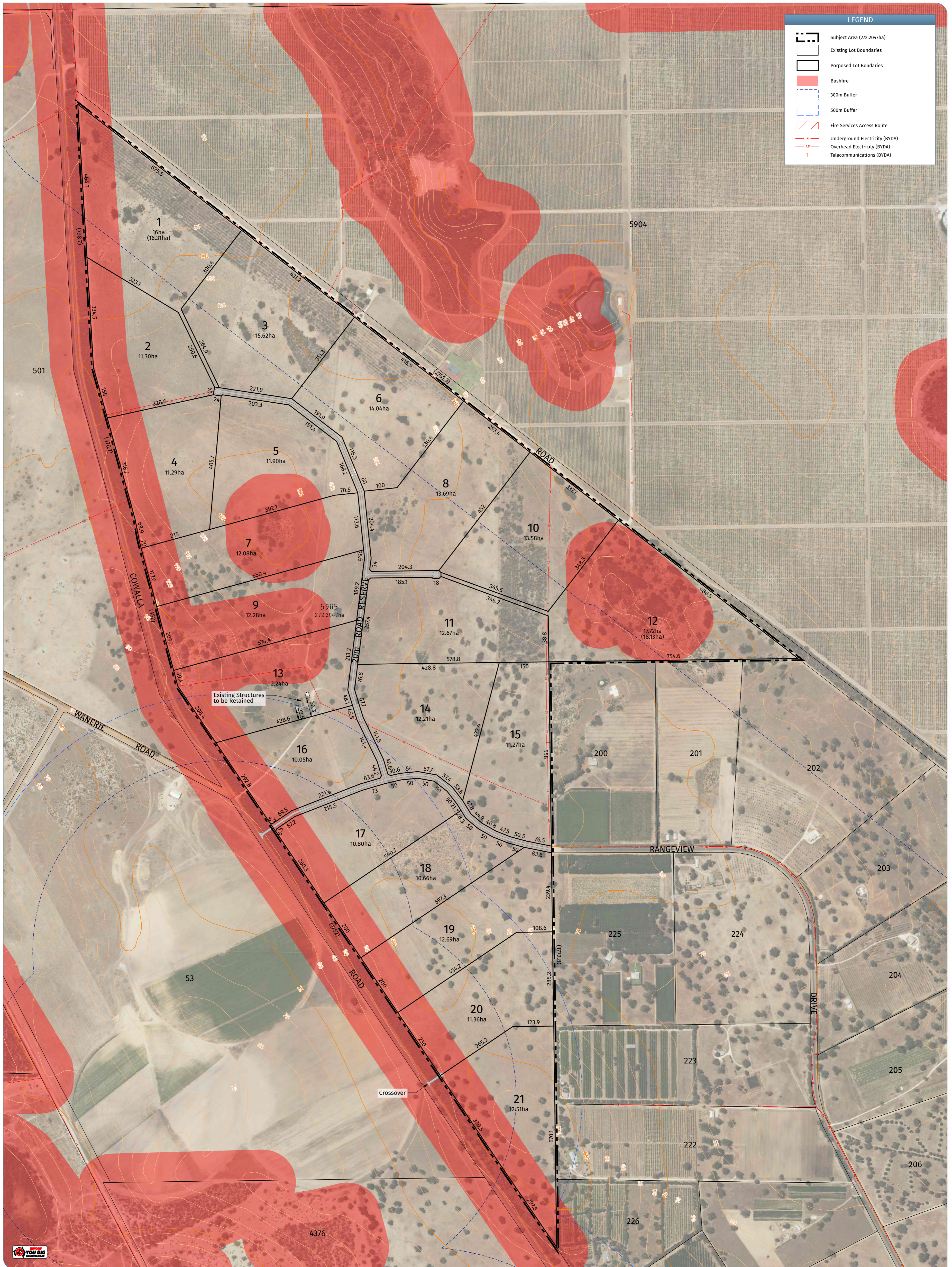
Harley Dykstra

PLANNING & SURVEY SOLUTIONS



APPENDIX D

OPPORTUNITIES AND CONSTRAINTS PLAN



OPPORTUNITY & CONSTRAINTS PLAN

Lot 5905 (No. 1546) Cowalla Road,
WANERIE

Plan No. | 23561-01
Date | 30/01/24
Drawn | NP
Checked | DV
Revision | D

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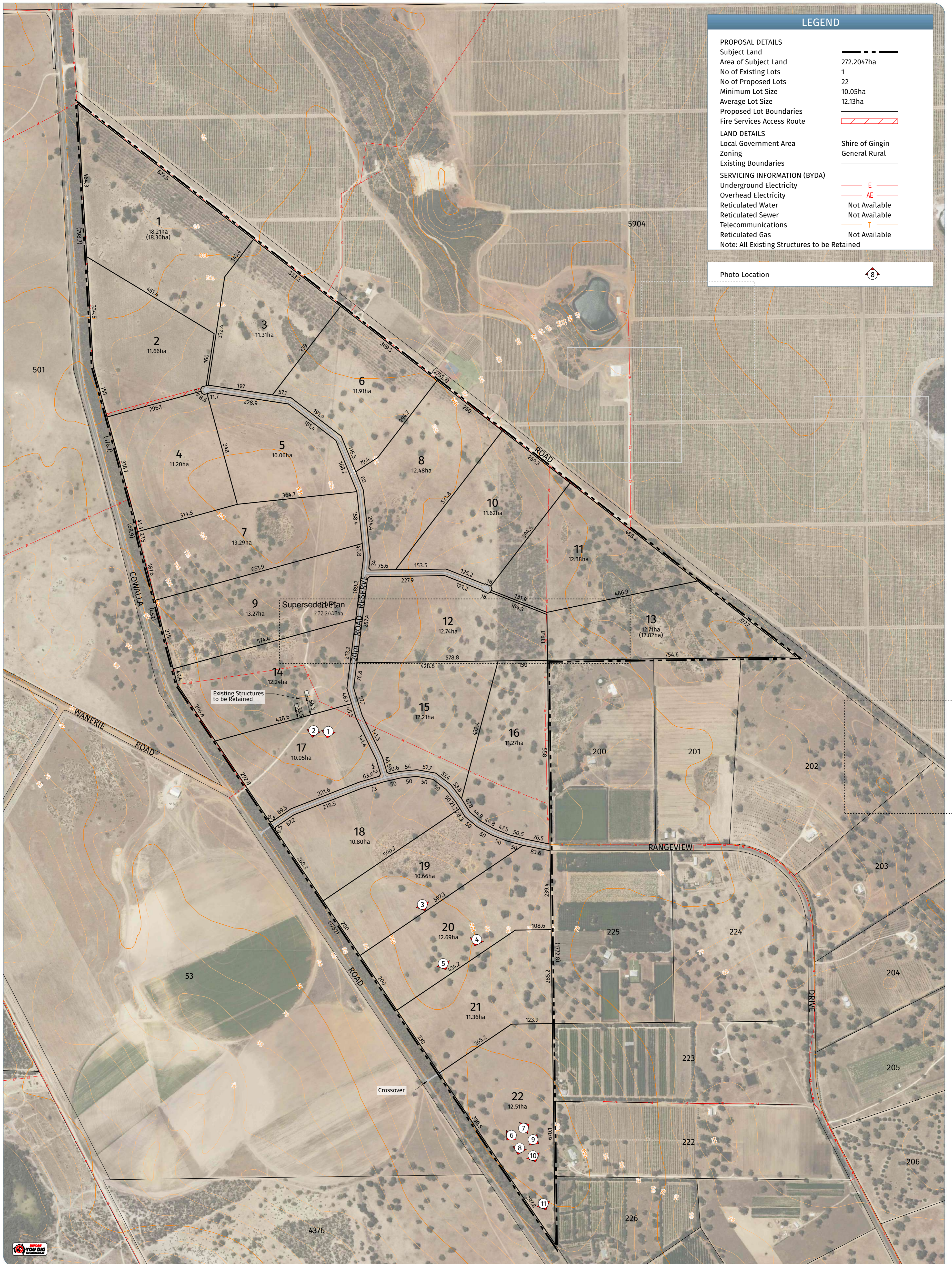
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APPENDIX E

SITE IMAGES AND CONTEXT



LEGEND	
PROPOSAL DETAILS	
Subject Land	272.2047ha
Area of Subject Land	1
No of Existing Lots	22
No of Proposed Lots	10.05ha
Minimum Lot Size	12.13ha
Average Lot Size	
Proposed Lot Boundaries	
Fire Services Access Route	
LAND DETAILS	
Local Government Area	Shire of Gingin
Zoning	General Rural
Existing Boundaries	
SERVICING INFORMATION (BYDA)	
Underground Electricity	E
Overhead Electricity	AE
Reticulated Water	Not Available
Reticulated Sewer	Not Available
Telecommunications	T
Reticulated Gas	Not Available
Note: All Existing Structures to be Retained	
Photo Location	

CONCEPT SUBDIVISION

Lot 5905 (No. 1546) Cowalla Road,
WANERIE

Plan No. | 23561-03
Date | 01/11/23
Drawn | NP
Checked | DV
Revision | C

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FORRESTDALE, WA 6112
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Scale | 1:5000 @ A1
1:10000 @ A3

Scale bar: 0m, 50m, 100m, 150m

NOTE: This plan has been prepared for planning purposes. Areas, Contours and Dimensions shown are subject to survey

Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8



Image 9

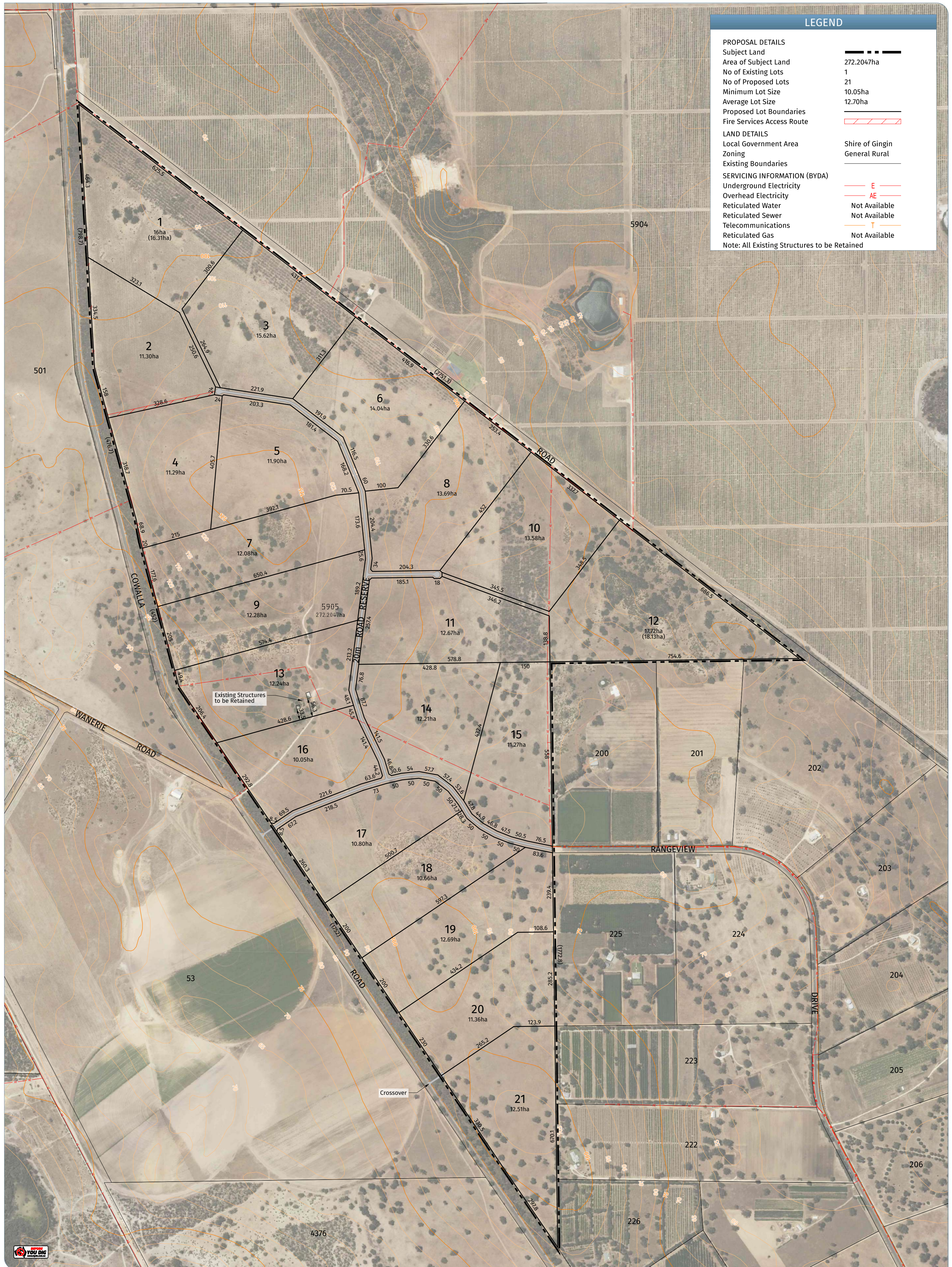


Image
10



Image
11





LEGEND	
PROPOSAL DETAILS	
Subject Land	272.2047ha
Area of Subject Land	1
No of Existing Lots	21
No of Proposed Lots	10.05ha
Minimum Lot Size	12.70ha
Average Lot Size	
Proposed Lot Boundaries	
Fire Services Access Route	
LAND DETAILS	
Local Government Area	Shire of Gingin
Zoning	General Rural
Existing Boundaries	
SERVICING INFORMATION (BYDA)	
Underground Electricity	E
Overhead Electricity	AE
Reticulated Water	Not Available
Reticulated Sewer	Not Available
Telecommunications	
Reticulated Gas	Not Available
Note: All Existing Structures to be Retained	

CONCEPT SUBDIVISION

Lot 5905 (No. 1546) Cowalla Road,
WANERIE

Plan No. | 23561-03
Date | 24/01/24
Drawn | NP
Checked | DV
Revision | D

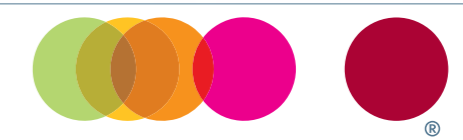
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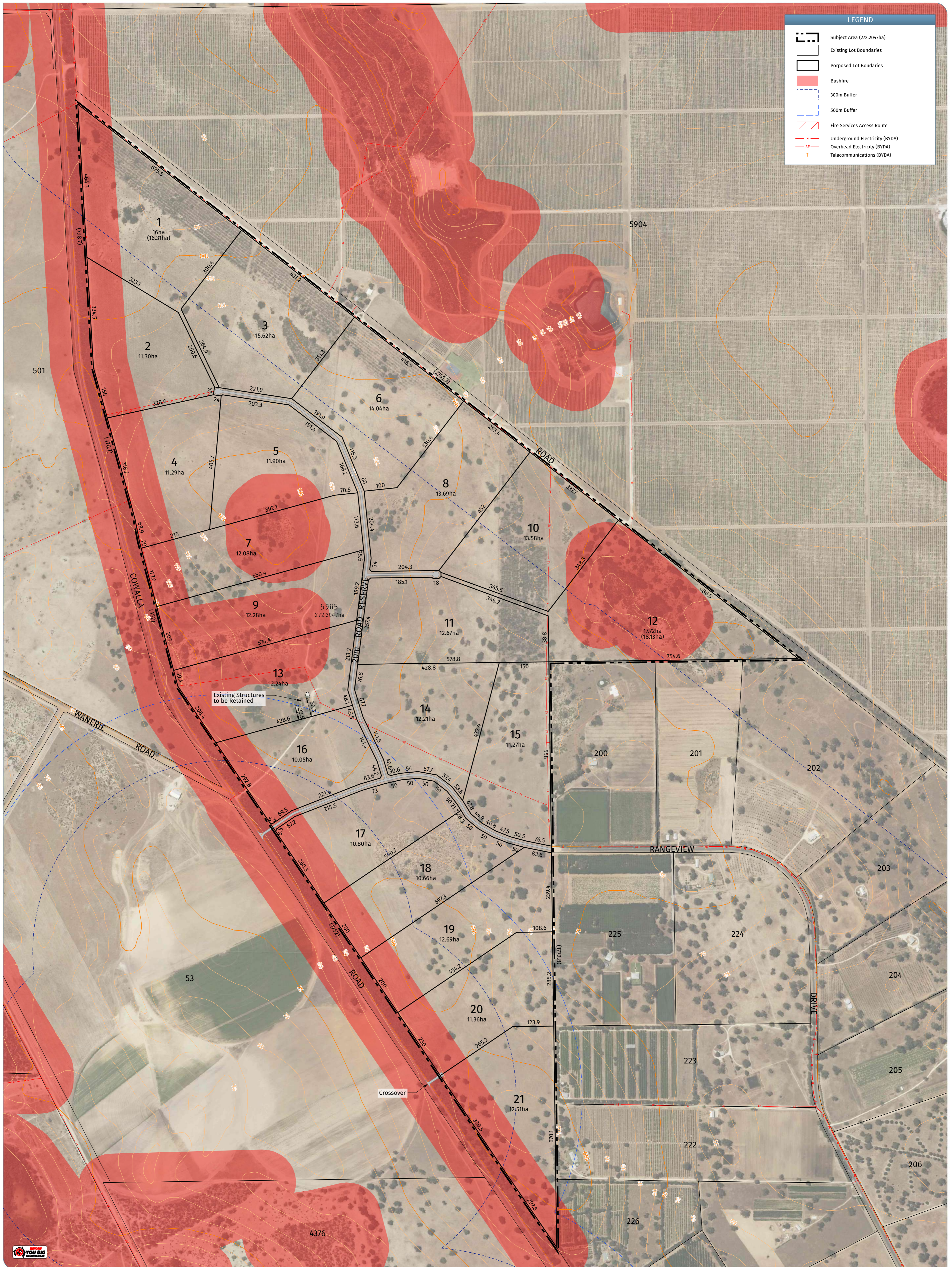


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Harley Dykstra

PLANNING & SURVEY SOLUTIONS



LEGEND	
	Subject Area (272.2047ha)
	Existing Lot Boundaries
	Proposed Lot Boundaries
	Bushfire
	300m Buffer
	500m Buffer
	Fire Services Access Route
	Underground Electricity (BYDA)
	Overhead Electricity (BYDA)
	Telecommunications (BYDA)

OPPORTUNITY & CONSTRAINTS PLAN

Lot 5905 (No. 1546) Cowalla Road,
WANERIE

Plan No. | 23561-01
Date | 30/01/24
Drawn | NP
Checked | DV
Revision | D

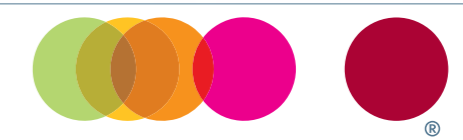
PERTH & FORRESTDALE:
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PERTH, WA 6000
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PLANNING & SURVEY SOLUTIONS

14.3 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED SECOND DWELLING ON LOT 6 (7) IOPPOLO ROAD, BREERA

File	BLD7681
Applicant	Tristan Smith
Location	Lot 6 (7) Ioppolo Road, Breera
Owner	Nicholas Smith
Zoning	General Rural
WAPC No	NA
Author	Ross Harper – Planning Officer
Reporting Officer	Bob Kelly - Executive Manager Regulatory and Development Services
Refer	Nil
Appendices	<ol style="list-style-type: none"> 1. Location Plan – Lot 6 (7) Ioppolo Road, Breera [14.3.1 – 1 page] 2. Aerial Plan – Lot 6 (7) Ioppolo Road, Breera [14.3.2 – 1 page] 3. Application for Development Approval – Second Dwelling – Lot 6 (7) Ioppolo Road, Breera [14.3.3 – 1 page]

DISCLOSURES OF INTEREST

Nil

PURPOSE

To consider an Application for Development Approval for a proposed second dwelling on Lot 6 (7) Ioppolo Road, Breera.

BACKGROUND

The application seeks the addition of a second dwelling intended for accommodating family members actively involved in the operations of the current farm. The owner, currently managing the farm, wishes to retire and plans to reside in the existing dwelling. Subsequently, the farm management responsibilities will be assumed by the owner’s son. As there is currently only one dwelling, the need for extra accommodation arises to ensure a continuous and constant presence of family members on the property.

The subject lot is located at the southern end of the Shire with frontage to Ioppolo Road along its western and southern boundaries. The land is 315 hectares in area and is used for cattle grazing.

There is an existing dwelling located at the northwest corner of the property, and the proposed second dwelling will be located at the southeast corner of the property.

A location plan and ariel photograph are provided (**see appendices**).

A copy of the applicant's proposal is attached as (**see appendices**).

Stakeholder Consultation

No advertising was required to be undertaken in this instance.

PLANNING FRAMEWORK

Local Planning Scheme No. 9 (LPS 9) Planning Assessment

The subject land is zoned General Rural (GR) under LPS 9, the objectives of which are to:

- a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and water course systems from damage; and*
- d) *Provide for the operation and development of existing, future, and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

The proposal is not viewed as being inconsistent with the above objectives. With reference to objective d) the assessment focuses on clause 4.8.6.2 of LPS 9 which states:

No more than one single dwelling house shall be erected on a lot zoned General Rural unless the Local Government is satisfied that an additional house is necessary or desirable for the continuation of a bona fide agricultural activity and is satisfied that the land can be adequately serviced, surrounding amenity is not adversely impacted on or any other consideration it considers relevant.

Officer comment

The existing operator seeks to retire whilst remaining onsite and occupying the existing dwelling.

In order for the Agriculture Extensive (cattle grazing) enterprise to continue operating, an additional dwelling is desirable to ensure that an employee is located onsite. While the landholding is not particularly large, it does contain dual frontage to the road network and ample room to ensure that the surrounding amenity of the locality remains unaffected.

Setbacks

In accordance with Table 2 – Site Requirements of LPS 9, the dwelling is located greater than 20m from all lot boundaries. The structure will be set back approximately 420 metres from the southern boundary (Ioppolo Road) and 113 metres from the eastern (side) boundary.

CI 4.8.6 - General Rural	Officer Comment
<p>4.8.6.2 No more than one single dwelling house shall be erected on a lot zoned General Rural unless the Local Government is satisfied that an additional house is necessary or desirable for the continuation of a bona fide agricultural activity and is satisfied that the land can be adequately serviced, surrounding amenity is not adversely impacted on or any other consideration it considers relevant.</p>	<p>Provision addressed above.</p>
<p>4.8.6.3 The presence of more than one dwelling unit on a lot in the General Rural zone shall not be considered by itself to be sufficient grounds for subdivision.</p>	<p>This has been reflected as an advice note.</p>
<p>4.8.6.4 No dwelling shall be erected unless the lot is connected to a reticulated water supply or the local government is satisfied that there is an adequate potable water supply consisting of a roof water tank of not less than 90,000 litres, a bore, well, spring, soak, or dam.</p>	<p>Condition has been imposed to this effect.</p>
<p>4.8.6.5 Fencing shall conform to the standard of rural fencing in the district, and the use of solid panel fencing except in the immediate vicinity of the residence will only be permitted with the approval of local government.</p>	<p>No fencing proposed.</p>

<p>4.8.6.6 No natural vegetation shall be removed without prior written approval of local government, unless its removal is necessary for construction of a building, firebreak or boundary fence.</p>	<p>No vegetation proposed to be removed.</p>
<p>4.8.6.7 The siting and design of any buildings on any lot should not significantly impact on the natural vegetation or visual landscape amenity of the site.</p>	<p>Setbacks are sufficient and as such no amenity impact is envisaged.</p>
<p>4.8.6.8 The keeping of horses, sheep, goats and other grazing animals, where permitted, shall not exceed the stocking rates recommended by Agriculture Western Australia for the applicable pasture types.</p>	<p>Not applicable.</p>
<p>4.8.6.9 Local government may, at its discretion, permit the land uses "retirement village" and "aged persons accommodation" in the General Rural zone, but only within the Gingin townsite (as defined by the suburb boundary), and subject to appropriate zoning of the site at a later stage.</p>	<p>Not applicable.</p>

Summary

In view of the above, it is recommended that the Council approve the proposed second dwelling subject to conditions.

STATUTORY/LOCAL LAW IMPLICATIONS

Planning and Development (Local Planning Scheme) Regulations 2015
Schedule 2 – Deemed Provisions for Local Planning Schemes

Local Planning Scheme No. 9

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	3. Planning & Sustainability - Plan for Future Generations
Strategic Objective	3.3 Planning & Land Use - Plan the use of the land to meet future requirements incorporating economic development objectives and community amenity

VOTING REQUIREMENTS - SIMPLE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Kestel **SECONDED:** Councillor Johnson

That Council grant Development Approval for a second dwelling on Lot 6 (7) Ippolo Road, Breera subject to the following conditions:

1. The land use and development shall be undertaken in accordance with the approved plans and specifications, including the directions written in red ink by the Shire, unless otherwise conditioned in this Approval.
2. This approval is for a second dwelling only as indicated on the approved plans.
3. The second dwelling is not to be used for any form of short-stay accommodation.
4. The approved development is to be serviced by an adequate potable water supply consisting of a roof water tank of not less than 90,000 litres, a bore, well, spring, soak, or dam.

Advice Notes

Note 1: If you are aggrieved by the conditions of this approval, you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.

Note 2: If the development subject to this approval is not substantially commenced within a period of 2 years, the approval shall lapse and have no further effect.

Note 3: Where an approval has so lapsed, no development must be carried out without further approval of the local government having first been sought and obtained.

Note 4: Further to this approval, the applicant may be required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and *Health Act 1911*, which are to be approved by the Shire of Gingin.

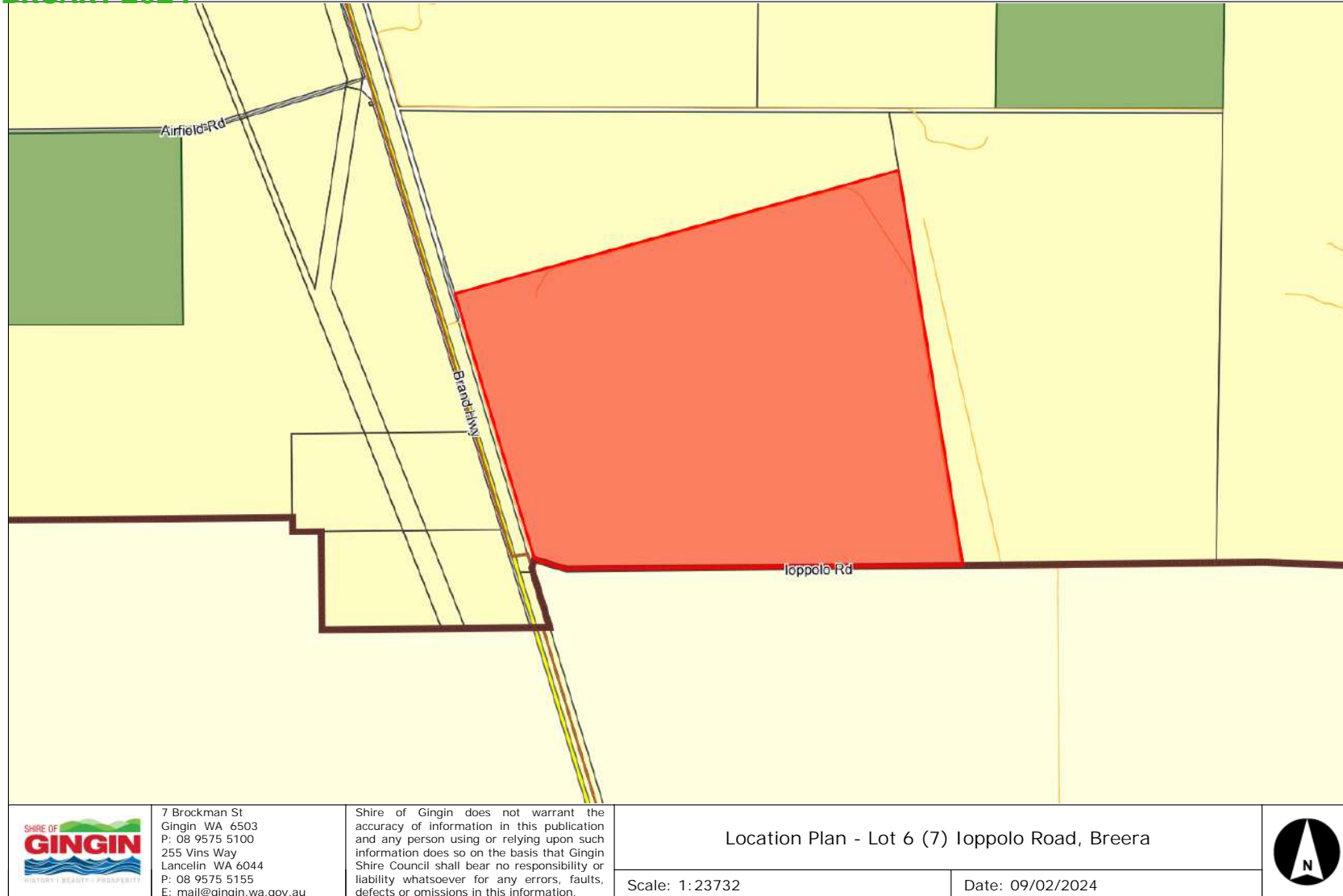
Note 5: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment.

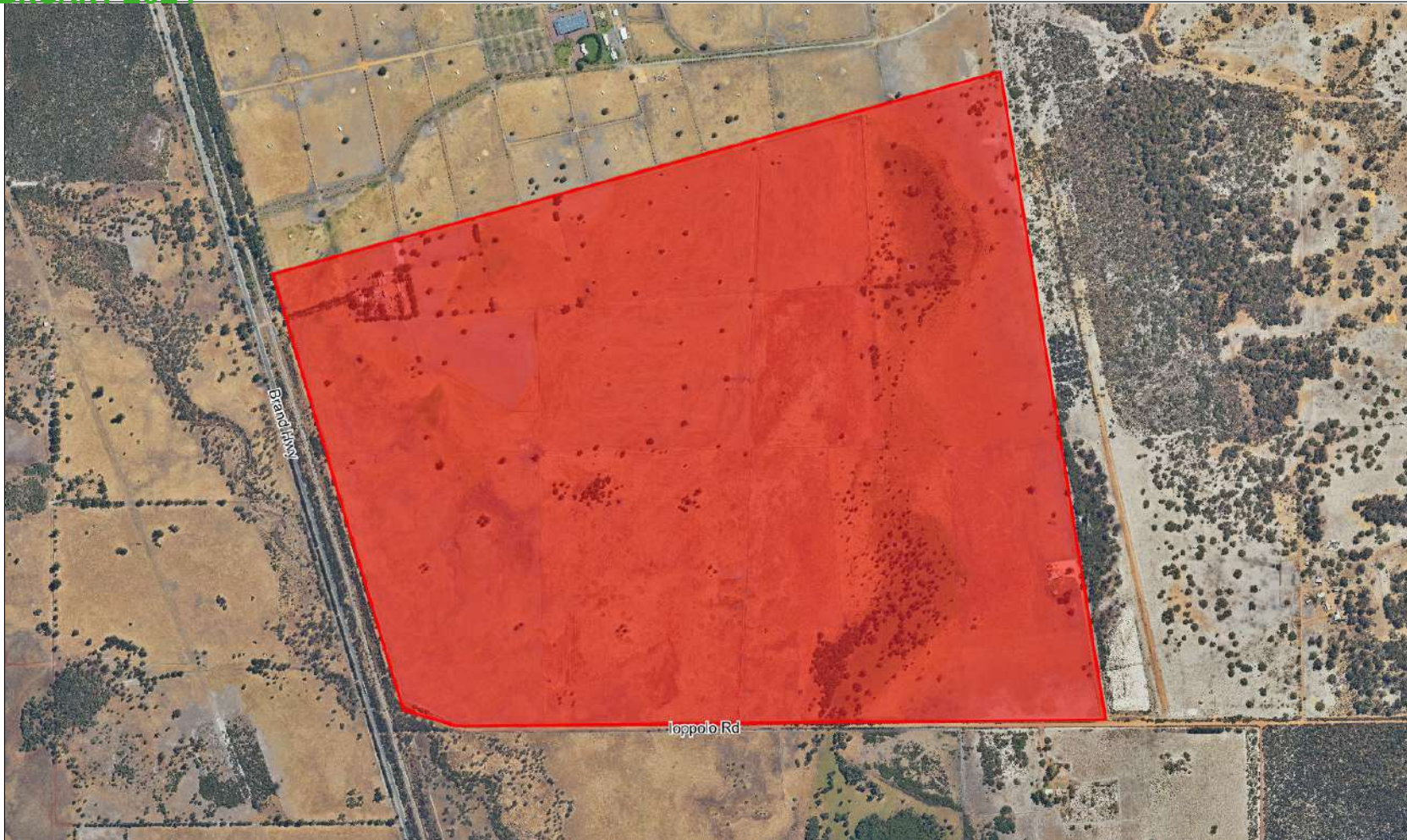
Note 6: This planning approval shall not be construed as an approval or support of any kind for any other planning related application (including subdivision) on the subject land. The presence of more than one dwelling on the Lot is not a basis for future subdivision on the land.



CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*





 <p>SHIRE OF GINGIN HISTORY • BEAUTY • PROSPERITY</p>	<p>7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au</p>	<p>Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.</p>	<p>Aerial Plan - Lot 6 (7) Ioppolo Road, Breera</p>	<p>Scale: 1:15189</p>	



23 January 2024

Archi Creations
4 Stratford Place
KINGSLEY WA 5026

Via email: cwdesigndrafting@gmail.com, jodie@peterkin.com.au

Dear Sir,

**DEVELOPMENT APPLICATION: RETAINING WALL
ADDRESS: LOT 35 (59) GORDON STREET, GUILDERTON**

I refer to your Application for Development Approval, received by the Shire on 12 January 2024 for the abovementioned development.

Acting under the authority of Council, I have considered your proposal and I am pleased to advise that your application has been approved, subject to the conditions outlined on the attached Notice of Determination in accordance with Clause 70 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

If you are aggrieved with the conditions of this approval you have the right to request the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*. A review application must be lodged to SAT within 28 days of the Shires determination. Enquiries or review applications should be made to SAT on (08) 9219 3111 or visit www.sat.justice.wa.gov.au.

Please note you may also be required to lodge a separate application and obtain a Building Permit pursuant to the *Building Act 2011* prior to commencing work.

Should you require any further information on this matter, please contact the Planning Department on (08) 9575 5100 or email mail@gingin.wa.gov.au.

Yours sincerely,

**ROSS HARPER
PLANNING OFFICER**

RH
Our Ref: BLD/7687 P2622
Enc: Notice of Determination & Approved Plans



A: PO Box 510, Gingin WA 6503
T: (08) 9575 5100
E: mail@gingin.wa.gov.au
ABN: 85 697 704 946
W: www.gingin.wa.gov.au

14.4 PROPOSED AMENDMENT TO DEVELOPMENT APPLICATION - WORKFORCE ACCOMMODATION - LOT 201 (3550) BRAND HIGHWAY, GINGINUP

File	BLD/1804
Applicant	Tecon Australia
Location	Lot 201 (3572) Brand Highway, Ginginup
Owner	Western Sun Nominees Pty Ltd – David Moffat
Zoning	General Rural
WAPC No	NA
Author	James Bayliss – Manager Planning and Building Ross Harper – Planning Officer
Reporting Officer	Bob Kelly - Executive Manager Regulatory and Development Services
Refer	20 June 2019 - Item 11.3.7 1 December 2020 - Item 11.3.3
Appendices	<ol style="list-style-type: none"> 1. Location Plan – Lot 201 (3550) Brand Highway, Ginginup [14.4.1 - 1 page] 2. Aerial Plan – Lot 201 (3550) Brand Highway, Ginginup [14.4.2 - 1 page] 3. Development Application – Workforce Accommodation – Lot 201 (3550) Brand Highway, Ginginup [14.4.3 – 11 pages] 4. Schedule of Submissions and Recommended Responses (1) [14.4.4 - 2 pages] 5. Schedule of Submissions and Recommended Responses - Applicant Responses [14.4.5 – 3 pages]

DISCLOSURES OF INTEREST

Nil

PURPOSE

To consider an Application for Amended Development Approval for Workforce Accommodation on Lot 201 (3550) Brand Highway, Ginginup.

BACKGROUND

Council at its Ordinary Meeting on 17 April 2018 resolved to issue temporary development approval for 'Workforce Accommodation' on the subject site. Two further extensions to the original approval period were issued, concurrent with the applicant applying for an amendment to Local Planning Scheme No. 9 (LPS 9) to enable the use to be considered on a longer term basis.

The Minister for Planning ultimately approved Amendment No. 21 to LPS 9 in accordance with section 87(2)(a) of the *Planning and Development Act 2005*. The amendment was published in the Government Gazette on 15 September 2020. Amendment No. 21 introduced 'Additional Use 27' into LPS 9 and imposed a suite of conditions which this proposal seeks to vary.

The development consists of 10 transportable dwellings located on the eastern portion of the subject lot, which is 7.1 hectares in area. Each transportable dwelling caters for up to four workers each with their own bedroom and bathroom facility. Communal kitchen, dining and laundry facilities are provided.

The development would effectively operate as it currently does, however would enable occupants of different workforces to reside in the facility as opposed to current restrictions limiting occupation to employees to the mineral sands mine. The overall occupancy number will depend on the industry/industries that take up use of the facility. The amendment also seeks to double the number of occupants, from 40-80 persons, as horticultural workers are able to accommodate 2 persons per bedroom.

No additional transportable buildings would be required on site to facilitate 80 persons, however an upgrade of the existing septic system arrangement will be required.

A location plan and aerial image are provided (**see appendices**).

The applicant's proposal including development plans is provided (**see appendices**).

COMMENT

Stakeholder Consultation

The application was advertised to surrounding landowners for a period of 28 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*. The Shire received one general comment during the consultation period.

The application was also advertised to relevant government agencies for a period of 42 days in accordance with clause 66 of the *Planning and Development (Local Planning Scheme) Regulations 2015*. The Shire received responses from the Department of Planning, Lands and Heritage (DPLH) and Department of Primary Industries and Regional Development (DPIRD), neither of which raised an objection to the development.

A copy of the Schedule of Submissions and Recommended Responses is provided (**see appendices**).

A copy of the Schedule of Submissions and Applicants Responses is provided (**see appendices**).

PLANNING FRAMEWORK

Local Planning Scheme No. 9 (LPS 9)

The subject land is zoned General Rural under LPS 9, the objectives of which are to:

- (a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- (b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- (c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and*
- (d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

Amendment No. 21 enables 'workforce accommodation' to be considered as a 'D-discretionary' use over the northern portion of the site and previous approval confirms general observance with the objectives of the zone.

Additional Use 27

No.	Description of lands	Additional use	Conditions
27	<p>Portion of Lot 201 Brand Highway, Ginginup, as identified on the Scheme Map.</p> <p>AMD 21 GG 15/09/2020</p>	<p>Workforce Accommodation (D)</p> <p>Workforce accommodation means premises, which may include modular or relocatable buildings, used -</p> <p>(a) <i>primarily for the accommodation of workers engaged in construction, resource, agricultural or other industries on a temporary basis; and</i></p>	<p><i>The purpose of this additional use is to provide workforce accommodation directly related to the Boonanarring mineral sands mine.</i></p> <p>1. <i>Development is not permitted unless the local government has exercised its discretion by granting development approval.</i></p> <p>2. <i>Development is to be generally in accordance with the development approval issued by the local government on 30 November 2018.</i></p>

		<p><i>(b) for any associated catering, sporting and recreation facilities for the occupants and authorised visitors.</i></p>	<p><i>3. Access and egress to Brand Highway is to be consistent with the design standards of Main Roads WA.</i></p> <p><i>4. The workforce accommodation shall only accommodate workers and/or contractors directly associated with the mining and processing of mineral sands at the Boonanarring mine site, for the extraction of mineral sands in the time frame and spatial extent set out in amended licence L9177/2018/1 issued by the Department of Water and Environmental Regulation on 26 September 2019.</i></p> <p><i>5. The development is limited to accommodating a maximum of 40 persons at any one time.</i></p> <p><i>6. Within 6 months of the cessation of the mining and processing of mineral sands at the Boonanarring mine site, the workforce accommodation shall be decommissioned, and the site rehabilitated to pre-development condition, to the satisfaction of the Shire of Gingin, with approval of the workforce accommodation to be revoked.</i></p>
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The proposal seeks to amend conditions of earlier Development Approval (P2075) by removal of conditions 4 - 6 of A27 which state:

4. *The workforce accommodation shall only accommodate workers and/or contractors directly associated with the mining and processing of mineral sands at the Boonanarring mine site, for the extraction of mineral sands in the time frame and spatial extent set out in amended licence L9177/2018/1 issued by the Department of Water and Environmental Regulation on 26 September 2019.*
5. *The development is limited to accommodating a maximum of 40 persons at any one time.*
6. *Within 6 months of the cessation of the mining and processing of mineral sands at the Boonanarring mine site, the workforce accommodation shall be decommissioned, and the site rehabilitated to pre-development condition, to the satisfaction of the Shire of Gingin, with approval of the workforce accommodation to be revoked.*

Clause 4.5 - Variations to Site and Development Standards and Requirements

CI 4.5 of LPS 9 enables Council to approve an application for a development that does not comply with a standard or requirement prescribed under the Scheme. It is therefore open to Council to support the requested variations outlined above.

Officer Comment

It is relevant to outline that the officer was undecided on how to provide a recommendation on this proposal, given it has been made explicitly clear to the landowner and the applicant, by exhaustive discussions in the earlier approval and amendment process, that the development was temporary.

Conditions imposed by the Minister (not the Shire) via Amendment No 21 restricted occupancies to the nearby mineral sands mine, placed a cap on occupancy numbers and outlined a need to decommission the facility. It seems that the mineral sand mine is nearing its life expectancy and decommissioning would therefore be approaching.

The proposed variations are therefore in conflict with the intent of Amendment No. 21. The perception is that the landowner 'got their foot in the door' by obtaining an approval, a subsequent amendment and now seeks to disregard the basis that the amendment was supported under. There is a case to refuse the proposed development for these reasons.

On the other hand, the Shire does have many industries that rely on transient workers and continued availability of accommodation of this nature would fill a void in a limited supply. The development has operated generally without incident.

The applicant advises that the landowner has been approached by Chalice Mining (38 minutes from the subject site) with regard to accommodating their employees when they exit the exploration stage and enter the mining stage, estimated to commence in 18 months' time for an ongoing period of ~5 years. This mine is located in the Julimar area. This serves no benefit to easing accommodation pressures for workforces located within the Shire of Gingin. However, it could be argued that the benefit to industries within the Shire is not relevant, and planning considerations should be confined to impacts on surrounding properties.

While the doubling of occupant numbers may not trigger any need for additional buildings (and therefore have no impact on the built form of the site), it nevertheless doubles the intensity of the operation, the consequences (if any) of which on surrounding properties are unknown. It would result in increased vehicle movements etc. If Council is of a mind to support the proposal as is, then it is suggested that a further time limit be placed on the development.

Servicing

The development is currently serviced by an Anaerobic Treatment Unit (ATU). The owner has commenced the process of obtaining quotes and specifications to increase the capacity of the system to accommodate up to 100 persons.

Summary

The position of the Department of Planning has shifted since the introduction of Amendment No. 21, which is likely a reflection of the pressures to adequately accommodate workforces. Development provisions in this space are likely to be relaxed in any updated omnibus amendments to LPS 9. The officer is therefore of the view that the development should be approved subject to conditions.

STATUTORY/LOCAL LAW IMPLICATIONS

Planning and Development (Local Planning Schemes) Regulations 2015

Local Planning Scheme No. 9

POLICY IMPLICATIONS

State Planning Policy No. 2.5 – Rural Planning

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	3. Planning & Sustainability - Plan for Future Generations
Strategic Objective	3.3 Planning & Land Use - Plan the use of the land to meet future requirements incorporating economic development objectives and community amenity

VOTING REQUIREMENTS - SIMPLE MAJORITY

SUBSTANTIVE MOTION/OFFICER RECOMMENDATION

MOVED: Councillor Kestel SECONDED: Councillor Sorensen

That Council grant approval for an Amended Development Approval for Workforce Accommodation on Lot 201 (3572) Brand Highway, Gingin subject to the following conditions:

1. The land use and development shall be undertaken in accordance with the approved plans and specifications, including the directions written in red ink by the Shire, unless otherwise conditioned in this Approval;
2. This approval is for 'Workforce Accommodation' only as indicated on the approved plans and is limited to a period of 5 years, expiring on 20 February 2029.
3. Within 6 months of the approval lapsing, the Workforce Accommodation and all associated structures shall be decommissioned, and the site rehabilitated to pre-development condition, to the satisfaction of the Shire of Gingin;
4. The approved development is limited to accommodating a maximum of 80 persons at any one time.
5. The landowner/operator shall keep up to date records of workers and/or contractors residing in the Workforce Accommodation and provide the Shire of Gingin with a copy of such records within 14 days of receiving a written request to do so.
6. Prior to an increase in occupant numbers, the landowner/applicant shall demonstrate to the Shire of Gingin that relevant approvals have been obtained and an upgraded effluent disposal system has been installed.
7. The landowner/operator is responsible for ongoing maintenance of the crossover/driveway at their expense to the satisfaction of the Shire of Gingin and on advice from Main Roads Western Australia.

8. The internal access way, parking and vehicle manoeuvring areas shall be maintained by the landowner/operator to the satisfaction of the Shire of Gingin.
9. Stormwater run-off from all roofed and hardstand areas shall be collected and contained onsite to the satisfaction of the Shire of Gingin.

Advice Notes

- Note 1: If you are aggrieved by the conditions of this approval, you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: Where an approval has lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.
- Note 3: This planning approval shall not be construed as an approval or support of any kind for any other planning related application on the subject land.
- Note 4: All noise from the development and associated equipment is required to comply with the *Environmental Protection (Noise) Regulations 1997*.
- Note 5: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment; and
- Note 6: In relation to the limited term approval, decommissioning and rehabilitation works, pre-development condition comprises of a bare earth site, free of any buildings, rubble or remnants of the approved development. The transportable buildings are to be removed from the property and shall not remain as part of any existing land use approval.

AMENDMENT MOTION

MOVED: Councillor Balcombe SECONDED: Councillor Johnson

That Condition 5 of the substantive motion be amended to include at the start of the condition, the following:

The workforce accommodation shall only accommodate workers directly associated with industries being undertaken within the district of the Shire of Gingin. Accommodating workers for industries beyond the district of the Shire of Gingin is prohibited.

CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

The amendment was incorporated into the Substantive Motion, which was then put to the vote.

COUNCIL RESOLUTION

MOVED: Councillor Kestel

SECONDED: Councillor Sorensen

That Council grant approval for an Amended Development Approval for Workforce Accommodation on Lot 201 (3572) Brand Highway, Gingin subject to the following conditions:

1. The land use and development shall be undertaken in accordance with the approved plans and specifications, including the directions written in red ink by the Shire, unless otherwise conditioned in this Approval;
2. This approval is for 'Workforce Accommodation' only as indicated on the approved plans and is limited to a period of 5 years, expiring on 20 February 2029.
3. Within 6 months of the approval lapsing, the Workforce Accommodation and all associated structures shall be decommissioned, and the site rehabilitated to pre-development condition, to the satisfaction of the Shire of Gingin;
4. The approved development is limited to accommodating a maximum of 80 persons at any one time.
5. The workforce accommodation shall only accommodate workers directly associated with industries being undertaken within the district of the Shire of Gingin. Accommodating workers for industries beyond the district of the Shire of Gingin is prohibited. The landowner/operator shall keep up to date records of workers and/or contractors residing in the Workforce Accommodation and provide the Shire of Gingin with a copy of such records within 14 days of receiving a written request to do so.
6. Prior to an increase in occupant numbers, the landowner/applicant shall demonstrate to the Shire of Gingin that relevant approvals have been obtained and an upgraded effluent disposal system has been installed.
7. The landowner/operator is responsible for ongoing maintenance of the crossover/driveway at their expense to the satisfaction of the Shire of Gingin and on advice from Main Roads Western Australia.
8. The internal access way, parking and vehicle manoeuvring areas shall be maintained by the landowner/operator to the satisfaction of the Shire of Gingin.

9. Stormwater run-off from all roofed and hardstand areas shall be collected and contained onsite to the satisfaction of the Shire of Gingin.

Advice Notes

- Note 1: If you are aggrieved by the conditions of this approval, you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: Where an approval has lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.
- Note 3: This planning approval shall not be construed as an approval or support of any kind for any other planning related application on the subject land.
- Note 4: All noise from the development and associated equipment is required to comply with the *Environmental Protection (Noise) Regulations 1997*.
- Note 5: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment; and
- Note 6: In relation to the limited term approval, decommissioning and rehabilitation works, pre-development condition comprises of a bare earth site, free of any buildings, rubble or remnants of the approved development.
The transportable buildings are to be removed from the property and shall not remain as part of any existing land use approval.

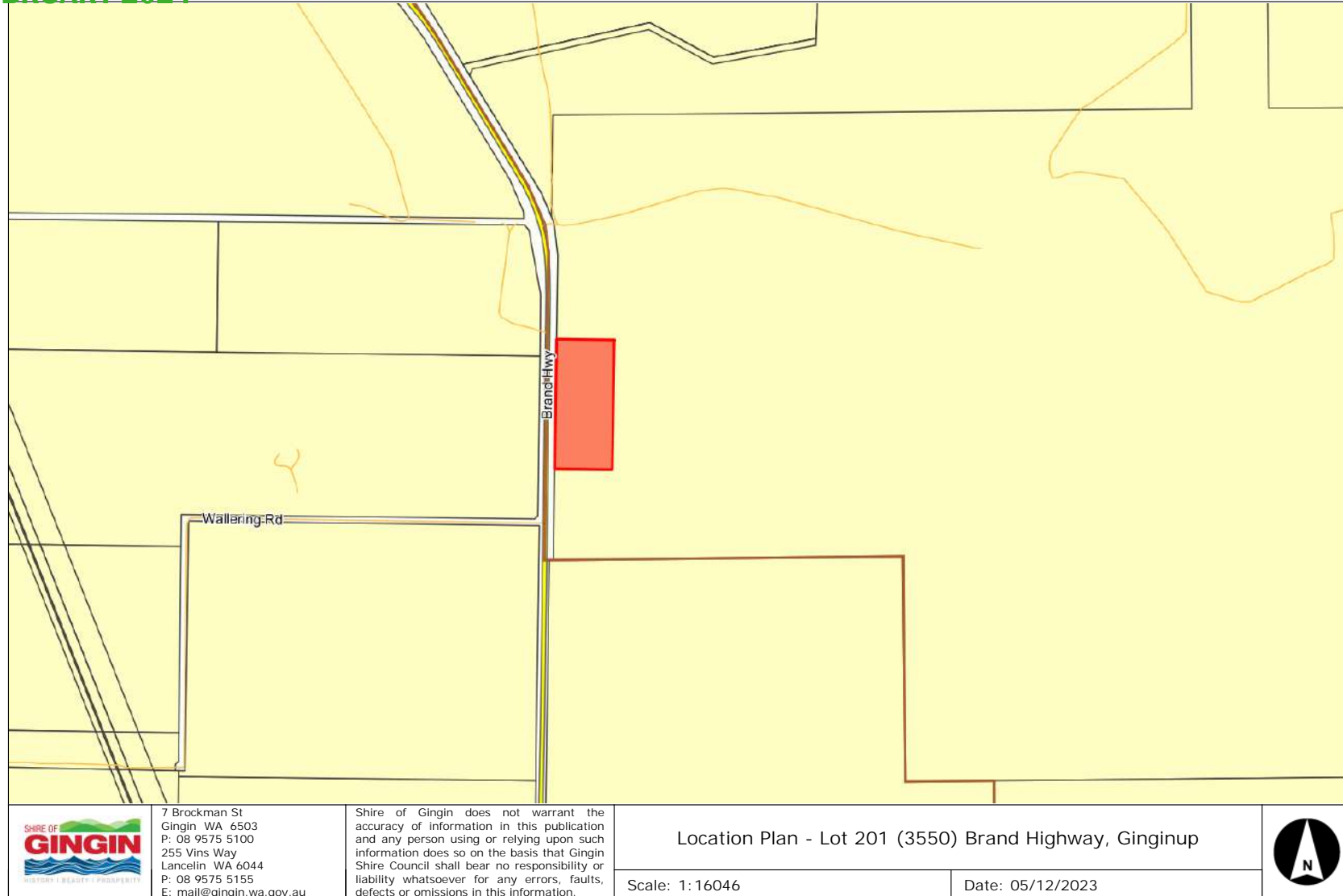
CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*



AGAINST: *Nil*

Reason for Amendment

It is generally accepted that the Shire of Gingin has a limited supply of workforce accommodation for the transient workers associated with the agricultural resource sector (and other industries) that operate within the Shire. The Shire's Local Planning Strategy highlights the economic importance of the agricultural resource sector and transient workers enabling this economic benefit to be realised and should be catered for. In the exercise of discretion, to depart from the A27 conditions, there must be assurance that continuation of the workforce accommodation will fill a void in the limited accommodation supply to industries that operate within the district of the Shire of Gingin, as opposed to filling a void for other municipalities or Industries operating under a mining tenement. In the absence of such assurance that the revised condition provides for, the merits of the proposal are otherwise flawed in the context of LPS 9 provisions.





	<p>7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au</p>	<p>Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.</p>	<p>Aerial Plan - Lot 201 (3550) Brand Highway, Ginginup</p>		
			<p>Scale: 1: 3000</p>	<p>Date: 05/12/2023</p>	



**Lot 201 Brand Highway, Ginginup
Development Application**

1.0 INTRODUCTION

Development Approval is sought for ‘workforce accommodation’ on portion of Lot 201 Brand Highway, Ginginup, which varies the conditions of “Additional Use A27” as it applies to the site via development approval P2075 (1st December 2020).

The landuse, ‘workforce accommodation’ is still proposed and will effectively run on ground as it currently does, the application simply seeks to vary the ability of different occupants to utilise the facility due to the ongoing housing and rental accommodation crisis and the ability for industry to find suitable accommodation for workers in the region.

2.0 SITE LOCATION AND CONTEXT

2.1 Location and Description

The site is within the locality of Ginginup, within the Shire of Gingin Local Government area. The property contains an area of 7.1 ha and is located on Brand Highway approximately 6km north of the townsite of Gingin.

2.2 Existing and Surrounding Land Uses

The site currently contains an existing single house, holiday accommodation and a number of transportable dwellings associated with an approved transport depot use.

The site is also the subject of a Development Approval for a ‘workforce accommodation’ as per approval issued on the 1st December 2020 and subject to a number of conditions. The workers camp caters for employees associated with the mineral sands mine located 20 kilometres north of the Gingin townsite.

The surrounding area is largely rural land. Minimal pockets of vegetation exist on the property.

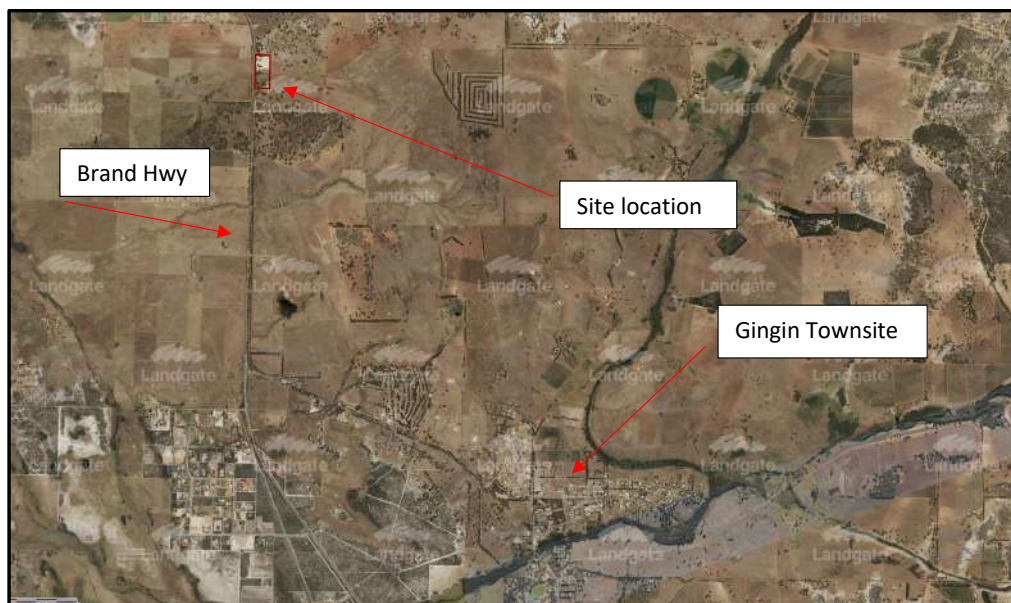


Figure 1: Site Context

2.3 Property Details

Table 1 below provides a summary of the land ownership details at the time of preparing this Development Application

Lot Number / Street Address	Volume/Folio	Landowner	Lot Area (ha)
Lot 201 (No.3572) Brand Highway, Ginginup	2223/408	Western Sun Nominees Pty Ltd	7.1

Table 1: Land Ownership



Figure 2: Subject Lot

3.0 PLANNING CONTEXT

3.1 Shire of Gingin Local Planning Scheme No. 9

The aims of the Shire of Gingin Local Planning Scheme include —

- (k) Ensure that agricultural and urban land uses can be co-located efficiently with minimal conflict.*
- (l) Promote processing and value adding industries to be located within the Shire.*
- (n) Facilitate increased demand and diversification of local service industries.*
- (o) Promote Gingin Shire as an opportune location for regional development of industry, infrastructure and other specialised regional facilities.*

The landuse has effectively been operating on the site for over four years. No complaints have been received in relation to the land use which demonstrates that it has been effectively co-located with no land use conflict.

Broadening the additional use to allow for workers outside of the mining activity assists in promoting Gingin Shire as an opportune location for regional development of industry, infrastructure and other specialised regional facilities as it makes these industries viable to locate within the district.

...the way forward.

The support of this DA and the provision of a defined site suitable for providing workforce accommodation (generally), ultimately assists the Shire in promoting the regional development of the area, supports diversification of landuses and value adds to the town by way of bringing additional people into the town. This ultimately supports the aims of the Local Planning Scheme.

Zoning

Lot 201 Brand Highway is zoned 'General Rural' by the Shire of Gingin Local Planning Scheme No 9 with an "Additional Use" overlay being related to the workforce accommodation which is a 'D' use.

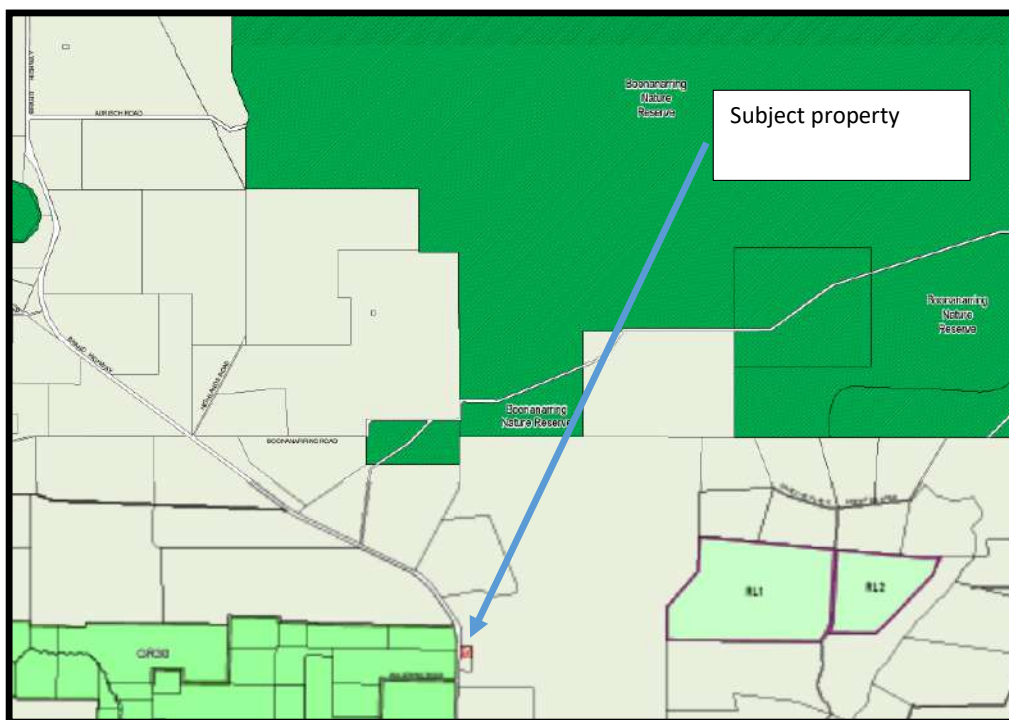


Figure 3: Excerpt from Shire of Gingin LPS No.9

The objectives of the General Rural zone are to:

- (a) Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;
- (b) Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;
- (c) Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and
- (d) Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.

The proposed workforce accommodation landuse, although not a broad acre agricultural activity, will not impede the site from continuing to operate as it is currently.

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3.2 Shire of Gingin Local Planning Strategy (LPS)

The Shire of Gingin LPS is a planning tool that sets out the longer term direction for land use and development within the municipality of Gingin.

The Strategy was adopted in 2012 and is intended to express Council’s vision for the Shire over a 15-20 year period.

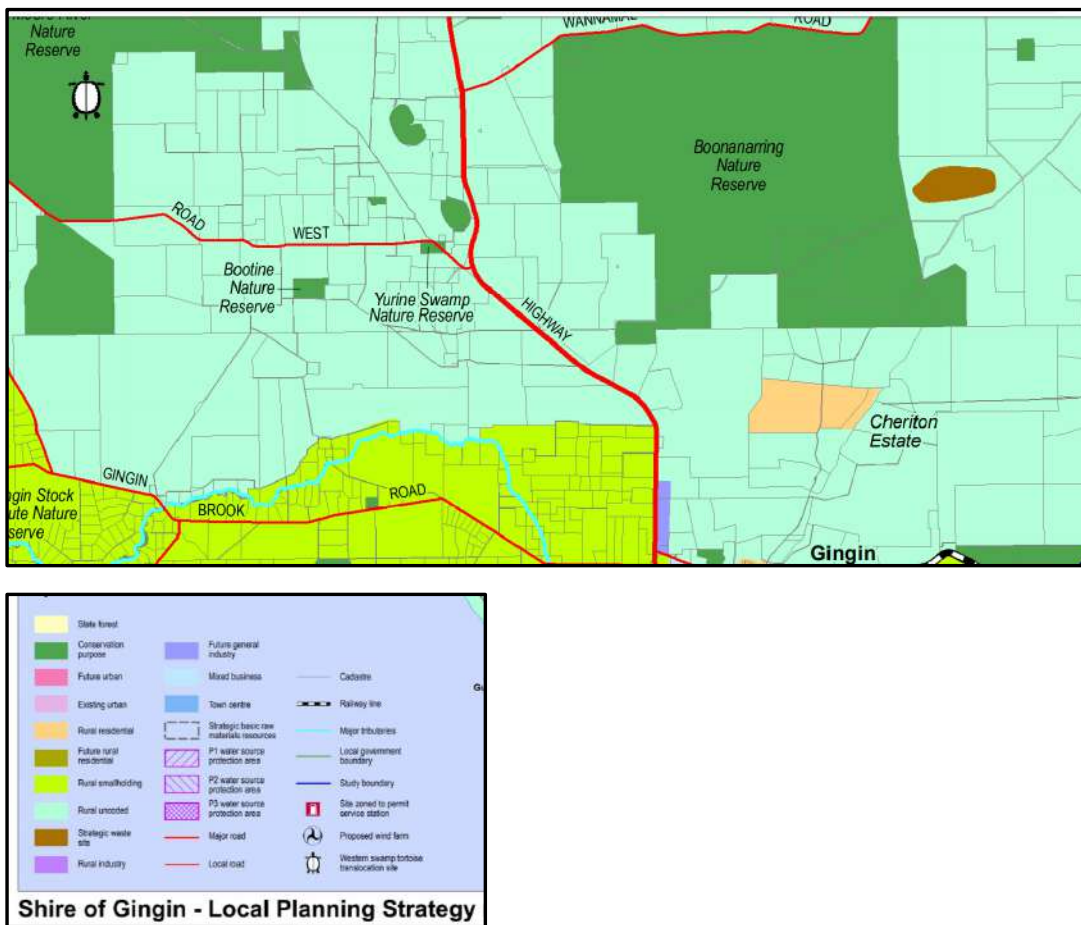


Figure 4: Excerpt from Shire of Gingin Local Planning Strategy

The subject site is designated ‘Rural’ uncoded by the LPS.

At 7.1ha and developed with an approved Workforce Accommodation use, the subject land has limited use for large scale agriculture.

The proposed development application, in applying the ongoing use – workforce accommodation, does not impede the site from operating as it currently does or into the future with a use consistent with the base ‘general rural’ zoning.

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4.0 PROPOSED DEVELOPMENT

The application essentially pertains to the continued development of the site with accommodation for workers as defined in the *Planning and Development (Local Planning Schemes) Regulations 2015*.

Workforce accommodation means premises, which may include modular or relocatable buildings, used –

- (a) Primarily for the accommodation for workers engaged in construction, resource, agricultural or other industries on a temporary basis; and
- (b) For any associated catering, sporting and recreation facilities for the occupants and authorised visitors.

Currently, the Additional Use application lists conditions applicable to workforce accommodation (see below). These conditions were similarly applied to the development approval issued for the site on the 1st December 2020.

No.	Description of land	Additional use	Conditions
A27	Portion of Lot 201 Brand Highway, Ginginup, as identified on the Scheme Map. <i>AMD 21 GG 15/09/2020</i>	Workforce Accommodation (D) Workforce accommodation means premises, which may include modular or relocatable buildings, used – (a) primarily for the accommodation of workers engaged in construction, resource, agricultural or other industries on a temporary basis; and (b) for any associated catering, sporting and recreation facilities for the occupants and authorised visitors.	The purpose of this additional use is to provide workforce accommodation directly related to the Boonanarring mineral sands mine. 1. Development is not permitted unless the local government has exercised its discretion by granting development approval. 2. Development is to be generally in accordance with the development approval issued by the local government on 30 November 2018. 3. Access and egress to Brand Highway is to be consistent with the design standards of Main Roads WA. 4. The workforce accommodation shall only accommodate workers and/or contractors directly associated with the mining and processing of mineral sands at the Boonanarring mine site, for the extraction of mineral sands in the time frame and spatial extent set out in amended licence extent set out in amended licence L9177/2018/1 issued by the Department of Water and Environmental Regulation on 26 September 2019. 5. The development is limited to accommodating a maximum of 40 persons at any one time. 6. Within 6 months of the cessation of the mining and processing of mineral sands at the Boonanarring mine site, the workforce accommodation shall be decommissioned and the site rehabilitated to pre-development condition, to the satisfaction of the Shire of Gingin, with approval of the workforce accommodation to be revoked.

The subject DA seeks consideration of amended approval to the use of the land for continued workforce accommodation without consideration of condition 4-6. This would ultimately open up the

...the way forward.

site for use of the workers accommodation outside of those workers associated with the Boonanaring mine. This is based on a demand across the region for suitable accommodation for workers across different industries and the operations of Boonanaring entering into its wind down phase.

By virtue of clause 4.5.1 of the Shire of Gingin Local Planning Scheme No.9, the local government may, despite non-compliance with a requirement as prescribed under the Scheme, approve the application unconditionally or subject to such conditions as the local government thinks fit.

Demand for workforce accommodation

The landowner has been approached by various parties across different industries seeking to accommodate their employees for project work in the district. These groups have various timelines and number requirements.

1. BESS Battery Project Muchea (17 minutes from the subject site) 2_ tenderers for accommodation for up to 20-40 employees / contractors to undertake and complete this project. Approx. 16/18 months.
2. Solar/Battery Project Reagans Ford (20minutes from the subject site) employee / contractor accommodation numbers not identified at this stage, allowing for 12-18 months approx.
3. Horticultural workforce accommodation for up to 80 employees for multiple farm seasonal work in the Gingin area for an ongoing period. (Managed by one very major Australian horticultural company).

In addition the landowner has been approached within the last 6 months by Chalice Mining (38 mins from the subject site) with regard to accommodating their employees when they exit the exploration stage and enter the mining stage, estimated to commence in 18 months time, for an ongoing period of approx. 5 years. This mine is located in the Julimar area and whilst it is closer to Toodyay the accommodation in Toodyay has been exhausted and there is no foreseeable availability going forward.

The demand for this workers accommodation in the Gingin area is extremely high as industry competes with the residential sector which has been crippled since 2020 with the housing and rental crisis. The town of Gingin is incapable at this stage to accommodate the numbers presented from the general enquiries that this one landowner has received.

The existing camp is situated on the town outskirts withing 4-5 kms of the town boundary and a good number of persons residing at the existing camp over the last four years have taken the opportunity to join the gym in town and use the post office, supermarket, Hotel and various shops within the town itself. Continuation of this accommodation facility for an expanded workforce will only continue to have flow on benefits to the Town.

Occupancy

The development consists of ten transportable dwellings located on the eastern (vacant) portion of the subject lot. Each transportable dwelling caters for up to four workers each with their own bedroom and bathroom facility. Communal kitchen, dining and laundry facilities are also provided.

Depending on the industry that takes up use of the existing donga arrangement, depends on the overall occupancy number.

The subject DA would seek approval for an occupancy range of 40-80 persons. This is due to horticultural workers accommodation being able to accommodate 2 persons per bedroom.

No additional dongas would be required on site to facilitate 80 persons.

At an occupancy of 80 persons, the landowner would need to only upgrade the existing septic arrangement which is discussed in the below servicing section.

The following matters are additionally addressed in the context of the current and proposed ongoing development:

A) Visual Amenity

The development has been positioned within the lot so as not to be viewed from Brand Highway, additional landscaping has assisted with this. The rear of the camp site (and adjoining Lot 342) has also been fenced and landscaped. Notwithstanding, the development is consistent visually with the existing transportable dwellings stored onsite as part of the transport depot usage and therefore the amenity of the area remains relatively unchanged.

The development is set back from Brand Highway greater than the required 20 metres as stipulated under Table 2 – Site Requirements of the Shire of Gingin Local Planning Scheme No.9.

B) Parking and Vehicle Movements

Notwithstanding the occupancy rate, the development provides for 16 car parking bays for occupants, as not every occupant has a vehicle on site. Additional overflow parking can be accommodated on site do to the size of the property.

Main Roads approval was sought for driveway and crossover construction as part of the 2020 approval.

It is common practice for workers to be transported to the place of work from the camp via a small 20-seater bus and returned at the end of the shift. Bus movements thus limit the number of vehicles entering and exiting the site. It is also common practice that workers (occupants) are on roster (either 14 days on, 7 off (including some working nights); or 5 days on, 2 days off). The workers leave the site on rostered days off. Given the staggered shifts, shift times being not being at standard “peak” travel times and workers being off site on rostered days off, the access/egress movements to the site is considered very low impact.

The existing crossover will continue to be utilised and as can be seen in the below images, have clear site lines to the highway. Given the site has an existing development approval to operate as a transport depot, the increase of vehicles entering Brand Highway is considered negligible.



Figures 5 & 6: Sightlines and existing vehicle crossover

C) Servicing

As part of the existing development of the site, a Biomax C60 system was approved by the Shire's Health Department and installed (*note the site plan references a model that ultimately was not

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installed). The landowner has sought quotes and specifications to increase the capacity of the system to up to 100 persons. In addition this would require an increase to the leach drain capacity by a further 2 x 17 mt leach drains to evaporate the potable water that comes out as waste from the ATU.

The site is also serviced with a 3-phase power supply and has a back up 200kva generator on auto-switch over.

5.0 Conclusion

The continued use of this established land use at this location will facilitate ongoing benefits to the town and Shire of Gingin and take pressure of an already pressurised system whereby the residential sector and workforce market compete for limited housing stock in the region for accommodation.

As discussed in the above report, ultimately the development will continue to operate and function as it currently does, with the application purely requesting removal of consideration of “conditions 4-6” of the additional use table (reflected as condition 3,4,6 and 7 of DA P2075). Ultimately the proponent would seek to have that amended formally as part of a scheme amendment however to facilitate ongoing use of the site immediately it is requested this be dealt with in the first instance by way of development approval which deletes the reference to the mineral sands mining and Boonanarring.

We respectfully request that the Shire progress the development application submitted.

SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

DEVELOPMENT APPLICATION: WORKFORCE ACCOMMODATION ON LOT 201 (3550) BRAND HIGHWAY, GINGINUP

No.	Submitter	Submission details	Officer's response
1.	Ratepayer	<p>The submitter provides the following general comment:</p> <p><i>Concerns to be considered by Council</i></p> <ul style="list-style-type: none"> • <i>Position of septic waste tanks in relation to nearby Gully which in heavy rain conditions flows onto our property.</i> • <i>Ongoing household rubbish ending up in our paddock (plastics etc) which have posed problems to our livestock. We appreciate this is not only from this area however the rubbish increased largely during occupation.</i> • <i>Now that it is a permanent residency for a workforce in the middle of farming area we will begin to see complaints of dust noise ect from normal farming operations. Our right to farm must be protected and be the first consideration with this application</i> 	<p>Noted. The effluent disposal system would not be permitted to discharge any waste into the nearby gully, irrespective of how heavy the rain is.</p> <p>Noted. If this has occurred, or does occur, it is suggested that the Shire of Gingin be advised immediately to ensure compliance action can be investigated.</p> <p>The officer is not inclined to approve the proposal indefinitely. In any event, farming activities in rural areas is expected and encouraged. Occupants within rural area are afforded a rural amenity, and therefore impacts from agricultural activities is anticipated.</p>
2.	DPIRD	<p>The submitter provides the following general comment:</p> <p><i>While DPIRD does not routinely support the establishment of permanent "Workforce Accommodation" facilities (a sensitive land use) in the Rural landscape, preferring that "Workforce Accommodation" are located within a town boundary area, as these facilities are in-service, DPIRD does not object to the proposal to vary the conditions of 'Additional Use A27' to permit the facility to accommodate seasonal workers, in adjunct to the Boonanarring mineral sands mine staff.</i></p>	<p>Noted.</p>
3	DPLH	<p>The submitter provides the following general comment:</p> <p>No objection to the proposal</p>	<p>Noted.</p>

SCHEDULE OF SUBMISSIONS AND APPLICANTS' RESPONSES

DEVELOPMENT APPLICATION: WORKFORCE ACCOMMODATION ON LOT 201 (3550) BRAND HIGHWAY, GINGINUP

No.	Submitter	Submission details	Applicants' response
1.	Ratepayer	<p>The submitter provides the following general comment:</p> <p><i>Concerns to be considered by Council</i></p> <ul style="list-style-type: none"> • <i>Position of septic waste tanks in relation to nearby Gully which in heavy rain conditions flows onto our property.</i> • <i>Ongoing household rubbish ending up in our paddock (plastics etc) which have posed problems to our livestock. We appreciate this is not only from this area however the rubbish increased largely during occupation.</i> • <i>Now that it is a permanent residency for a workforce in the middle of farming area we will begin to see complaints of dust noise ect from normal farming operations. Our right to farm must be protected and be the first consideration with this application</i> 	<p>1) Septic The Biomax ATU system was formally commissioned on the 22nd May 2018 and received the Permit to Use from the Shire of Gingin on the 28th May 2018.</p> <p>The Biomax ATU system has performed faultlessly for almost 6 years, partially due to the ATU system being installed in an elevated position away from areas affected by heavy rain and run off. Similarly the approved leach drain disposal system is positioned just below the Biomax ATU system and is surrounded by an impervious clay bund. Both the Biomax ATU system and the leach drain disposal system are unaffected by heavy rain and satisfy the minimum distances from water courses required for onsite disposal.</p> <p>This position has been confirmed by BioMAX Total Wastewater Solutions</p> <p>2) Waste As noted in the submission details, the increase in waste has been acknowledged as not solely coming from the subject site. In this regard, there is a Main Roads truck stop/parking pullover adjacent to the subject site with two public bins (noted in the photos below). The owner of the property regularly notes that these bins are left to overflow and on numerous occasions has paid his waste contractor to empty them. It would be logical to conclude that this rubbish could be blowing into the paddocks.</p> <p>Notwithstanding, the owner has committed to constructing a fenced bin store compound to contain the bins (emptied weekly by a private contractor) and any potential loose waste upon approval of the development application.</p>

			  <p>3) Acknowledgement of farming area</p> <p>Noting that the zoning of the subject property is also zoned “General Rural” the owner is cognisant of the general farming activities and practices in the area and will ensure any occupant is also made aware.</p> <p>If deemed necessary the owner would be willing to place a 70a notification on the Certificate of Title noting acknowledgement of agricultural operations.</p>
2.	DPIRD	<p>The submitter provides the following general comment:</p> <p><i>While DPIRD does not routinely support the establishment of permanent “Workforce</i></p>	<p>Noted, no objection.</p>

**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 14.4.5

		<i>Accommodation" facilities (a sensitive land use) in the Rural landscape, preferring that "Workforce Accommodation" are located within a town boundary area, as these facilities are in-service, DPIRD does not object to the proposal to vary the conditions of 'Additional Use A27' to permit the facility to accommodate seasonal workers, in adjunct to the Boonanarring mineral sands mine staff.</i>	
3	DPLH	The submitter provides the following general comment: No objection to the proposal.	Noted, no objection.

**14.5 SECTION 19/359 ON LOT 7269 (1077) OLD LEDGE POINT ROAD, LANCELIN
(RESERVE 28303)**

File	BLD/4143
Applicant	N/A
Location	Lot 7269 (1077) Old Ledge Point Road, Lancelin
Owner	Shire of Gingin
Zoning	Public Use
WAPC No	N/A
Author	James Bayliss – Manager Planning and Building
Reporting Officer	Bob Kelly - Executive Manager Regulatory and Development Services
Refer	17 March 2020 - Item 11.3.3
Appendices	<ol style="list-style-type: none"> 1. Plan S 19.359 Shire of Gingin 2024 [14.5.1 - 1 page] 2. Aerial Plan - s 19 359 [14.5.2 - 1 page]

DISCLOSURES OF INTEREST

Nil

PURPOSE

To consider the continuation of Section 19/359 (exemption from mining) over Lot 7269 (1077) Old Ledge Point Road, Lancelin (Reserve 28303).

BACKGROUND

The subject area consists of the southern portion of Lot 7269 (1077) Old Ledge Point Road, Lancelin (Reserve 28303). The Shire has received a referral from the Department of Mines, Industry Regulation and Safety (DMIRS) to provide comment on the extension of the current section 19 (s19) exemption over the area for a further 2 years.

Reserve 28303 is vested in the Shire of Gingin for the purpose of Recreation and Communication Mast. An area of land in the northern section of the reserve is leased by the Shire to the Lancelin Community and Sporting Club Inc. Two smaller areas contain Ampitel and Optus communications masts.

A section 19 exemption under the *Mining Act 1978* (the Act) prevents a person from applying for a mining tenement over the affected portion of land. This thereby prohibits the ability to undertake a mining operation, in this instance the extraction of lime sand.

Section 19 of the Act exempts land, other than private land or land subject to a mining tenement or application for a mining tenement, from the operations of the Act for a period or periods (not exceeding two years) at a time.

It should be noted that a s19 exemption is determined by DMIRS, not local government. The current s19/359 was created in 2014. It has been periodically extended since and is due to expire on 31 March 2024.

It should also be noted that applications from lime sand operators to have Section 19/359 removed so that a mining lease could be applied for were made in 2013 and 2017 and there appears to have been interest in sand extraction from the area as far back as 1998.

Council has historically provided advice to the Minister for Mines that the s19 should remain in place, largely due to the impact that commercial sand extraction would have on the amenity of landowners within the Lancelin South subdivision by way of traffic increase, dust drift, noise, and likely damage to the road network.

A copy of the referral from DMIRS and an aerial map are provided (**see appendix**).

COMMENT

Stakeholder Consultation

Nil. The DMIRS is responsible for undertaking stakeholder consultation, not the local government.

Summary

It is recommended that the previous decisions of Council should be reaffirmed and that comment back to DMIRS should recommend that the s19 remain in place.

STATUTORY/LOCAL LAW IMPLICATIONS

Mining Act 1978

Part III Land open for mining

Division 1 Crown land

S.19 Minister may exempt land from mining etc.

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Strategic Community Plan 2022-2032

Aspiration	4. Excellence & Accountability - Deliver Quality Leadership and Business Expertise
Strategic Objective	4.2 Effective Governance - Apply systems of compliance which assists Council to make informed decisions within a transparent, accountable and principled environment

VOTING REQUIREMENTS - SIMPLE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

MOVED: Councillor Johnson **SECONDED:** Councillor Sorensen

That Council support the extension of Section 19/359 over Lot 7269 (1077) Old Ledge Point Road, Lancelin (Reserve 28303) for a further 2 years.

CARRIED UNANIMOUSLY
9 / 0

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*




MINUTES ORDINARY COUNCIL MEETING 20 FEBRUARY 2024



Government of Western Australia
Department of Mines, Industry Regulation and Safety

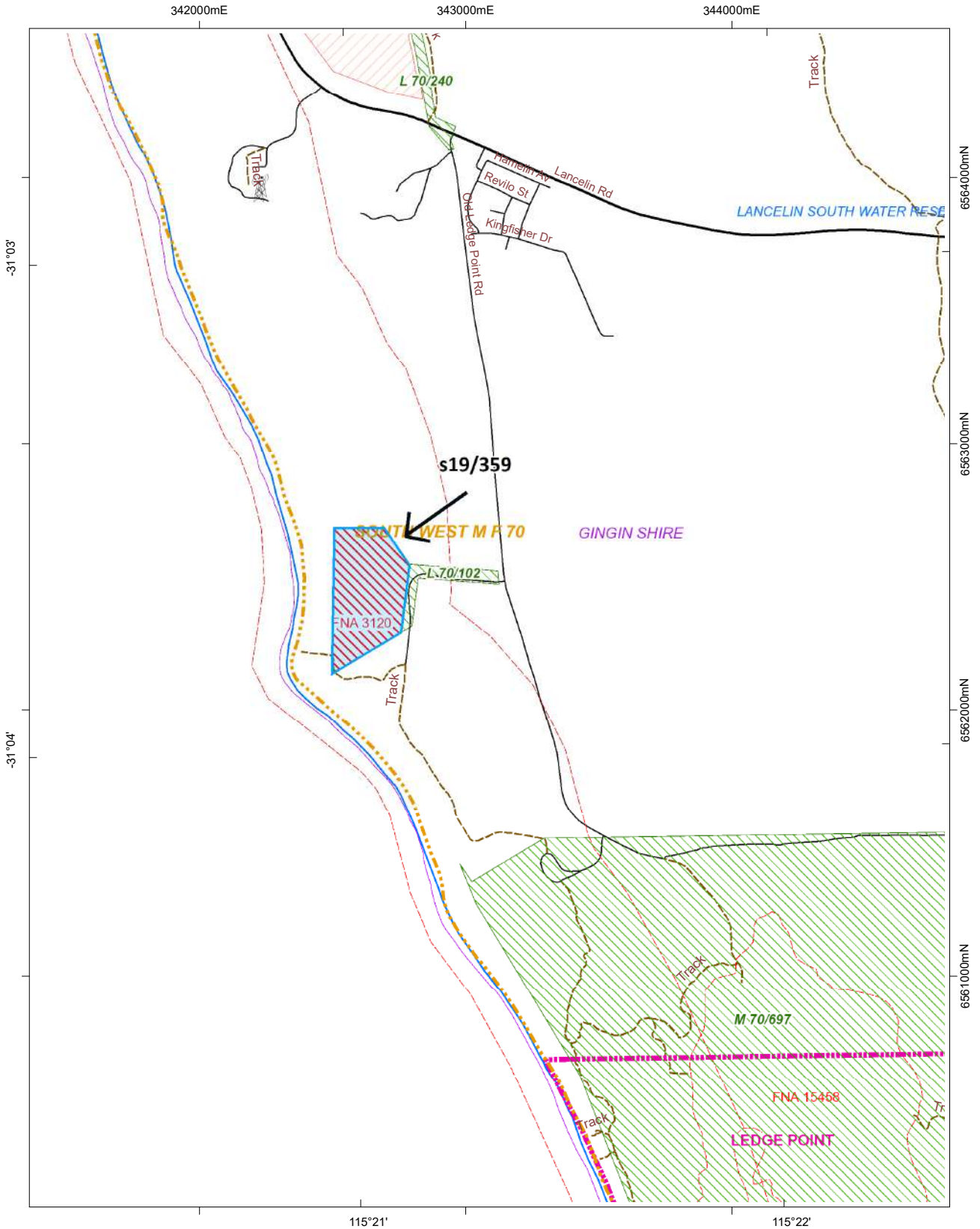
GDA 1994 MGA Zone 50

APPENDIX 14.5.1

-  Pending Application
-  Live Tenement
-  Application over Live Tenement

TENGRAPH (c) 2014
10:46 AM, 02/02/2024



MIKJOHN
[Tenement Status]



This plan has been compiled from various data sources received from a number of agencies and with information supplied by applicants for mining tenements. No responsibility is accepted for any error or omission. The Commonwealth of Australia (c) 2002, through Geoscience Australia and the Department of Defence, maintains copyright over those parts of the topographic data it has provided for display in TENGRAPH. Users wishing to use the data in its unaltered form should contact Geoscience Australia at www.ga.gov.au. Confirmation of the extent and composition of any Native Title Claims should be sought from the Native Title Spatial Services Landgate. Enclosed Pastoral Lease land and Pre 1994 mining confined to Nhamwanga, Wajarri and Ngatjarwanga ILUA Native Title determination boundary.





	7 Brockman St Gingin WA 6503 P: 08 9575 5100 255 Vins Way Lancelin WA 6044 P: 08 9575 5155 E: mail@gingin.wa.gov.au	Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.	Aerial Plan	Scale: 1:17423	Date: 15/02/2024	
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15 REPORTS - OPERATIONS AND ASSETS

15.1 APPLICATION FOR MEMORIAL SEAT - ALISTAIR 'SID' MCLEAN

File	PRL/8
Author	Danica Todd – Coordinator Operations & Assets Administration
Reporting Officer	Vanessa Crispe - Executive Manager Operations and Assets
Refer	Nil
Appendices	1.

DISCLOSURES OF INTEREST

Nil

PURPOSE

For Council to consider an application received for construction of a bench in memory of Lancelin local, Alistair ‘Sid’ McLean.

BACKGROUND

Memorial seats, also known as memorial benches or chairs, are physical installations designed to honour and commemorate individuals or events of significance. These thoughtful structures serve as lasting tributes, providing a tangible and enduring way for communities or individuals to remember and celebrate the lives, contributions, or events they wish to memorialise.

Recently Alistair McLean, a resident of Lancelin, passed away. The community has applied to construct a timber seat on the new grassed area at Cunliffe Street as a memorial to Mr McLean.

The proposed seat is 9m in length, 4m width and 1.6m in height (at the tallest slate).

Staff have concerns with respect to the materials proposed to construct the seat, being timber (naturally oiled hardwood) with a concrete slab.

A drawing of the proposed seat is provided (**see appendix**).

COMMENT

Staff, although are sympathetic to the request, have concerns in relation to the following matters.

Location Constraints

The suggested site has been thoroughly assessed, and it has been determined that it is not suitable for the installation of a memorial seat due to the close proximity of underground reticulation, space limitations given the large size of the seat and the inclusion of a concrete slab.

It is suggested that there are other more suitable locations such as the Hinchcliffe Lookout. The Lookout is also one of the identified locations in Lancelin for memorial plaques.

Seat Design

The long-term maintenance and upkeep of memorial installations are critical factors in our decision-making process. Upon careful review, it has been determined that the proposed memorial seat may pose challenges in terms of durability and maintenance, raising concerns about its longevity.

Currently there are several memorial seats situated at various locations throughout the Shire. These seats are all of the same structure being composite bench seats which are corrosion resistant, keep cool and have a long life span. These seats are used for applicants to install a memorial plaque at their costs of a loved one providing a lasting and visible tribute and a place for family/friends to sit and reflect.

If Council is supportive of locating a memorial seat to Mr McLean at the Hinchcliffe Lookout, then it is recommended that it be purchased and installed by the Shire at the applicant's cost. This would ensure that the seat is suitable to the coastal conditions, consistent with others throughout the Shire. A memorial plaque could then be placed on the seat.

Currently there are two bench seats already installed at the Hinchcliffe Lookout. One is part of the lookout structure and contains six plaques. The other bench seat is on the pathway and contains one plaque. This seat doesn't offer panoramic views of the landscape, and therefore it is believed that a third seat could be installed overlooking the ocean.

The purchase cost of the seat and plaque, and any on-going maintenance would be borne by the applicant. In the event that the seat is damaged or vandalised to the point that it cannot be repaired or is a safety risk, then it will be completely removed.

Photos are provided of the existing bench seating at the Lookout and the proposed location (see appendices).

STATUTORY/LOCAL LAW IMPLICATIONS

Nil

POLICY IMPLICATIONS

It is prudent that Council bear in mind that at the last Briefing Session on 5 February 2024, a paper was presented proposing the introduction of a policy on memorial plaques, seats, monuments and trees.

The draft policy is currently with Councillors for feedback, with the intention being that it will be presented to the Council meeting on 16 April 2024 for formal consideration.

BUDGET IMPLICATIONS

All costs of the proposed installation are to be borne by the applicant, including the maintenance.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	4. Excellence & Accountability - Deliver Quality Leadership and Business Expertise
Strategic Objective	4.1 Management of Assets - Maintain civic buildings, sporting facilities, public places, plant and road and cycleway/pathways based on asset management plans and identified priorities

VOTING REQUIREMENTS - SIMPLE MAJORITY

OFFICER RECOMMENDATION

MOVED: Councillor Woods SECONDED: Councillor Sorensen

Councillor Peczka foreshadowed his intention to move an Alternative Motion should the motion under debate be lost.

That Council approve the location of a memorial seat to Alistair McLean at the Hinchliffe Lookout, subject to all costs including the purchase of the seat and ongoing maintenance being borne by the applicant.

LOST
0 / 9

FOR: *Nil*

AGAINST: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

COUNCIL RESOLUTION/ALTERNATIVE MOTION

MOVED: Councillor Peczka **SECONDED:** Councillor Johnson

That Council approve the location of a memorial seat to Alistair McLean on the new grassed area at Cunliffe Street car park precinct as per the application submitted subject to all costs including the purchase of the seat and ongoing maintenance being borne by the applicant.

**CARRIED UNANIMOUSLY
9 / 0**

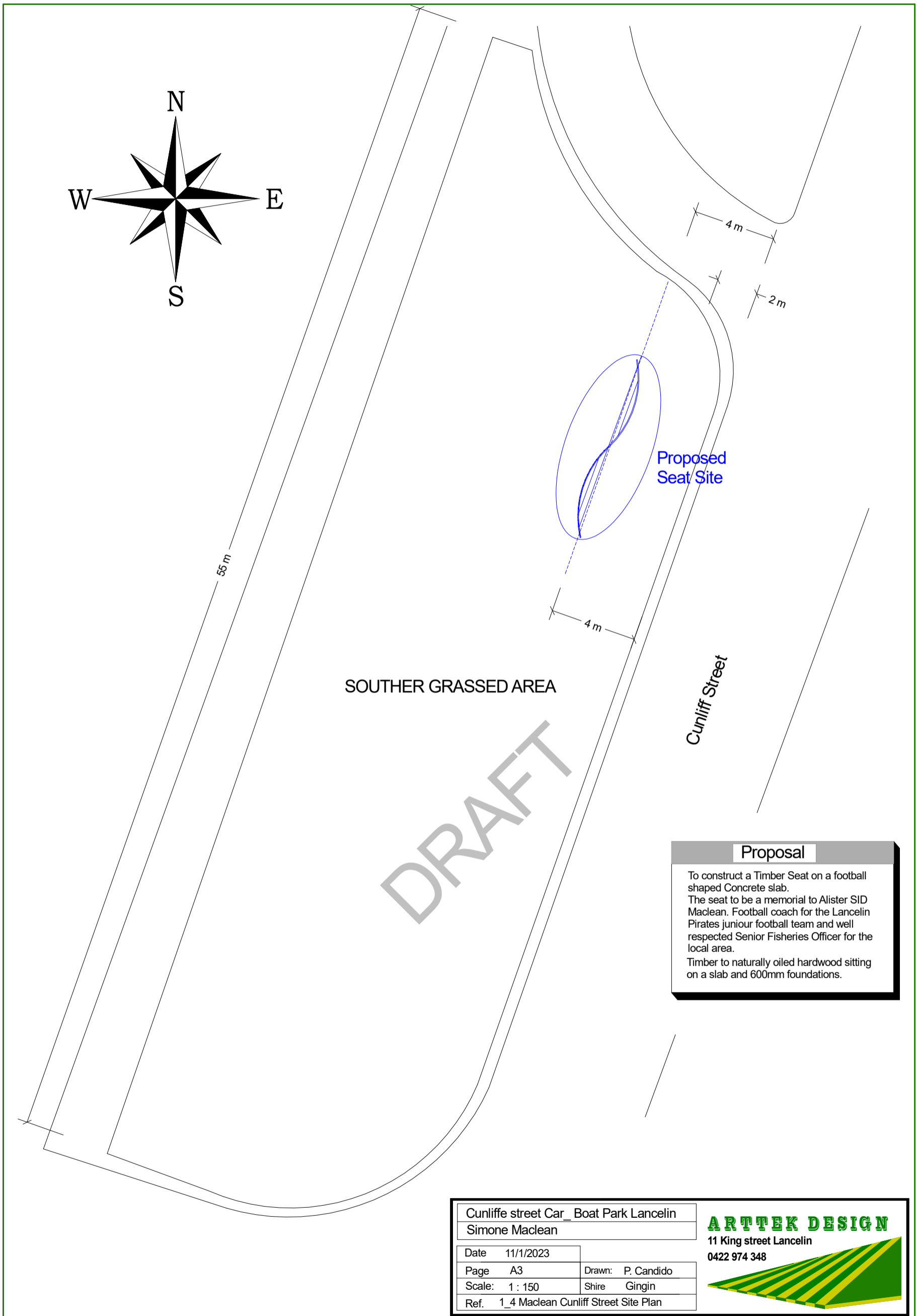
FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*

Reasons for Alternative Motion

The Family in conjunction with community members have determined that this is the best location and recognition of Sid's involvement and contribution to the Community and the also to the surrounding communities and Region.

The location also recognises Sid's love for the Triathlon and Ocean Classic – both were in the main based at Grace Darling Park, the Community have supported this proposal A the memorial will have significance in this location and within the location of "Grace Darling Park".



Proposal

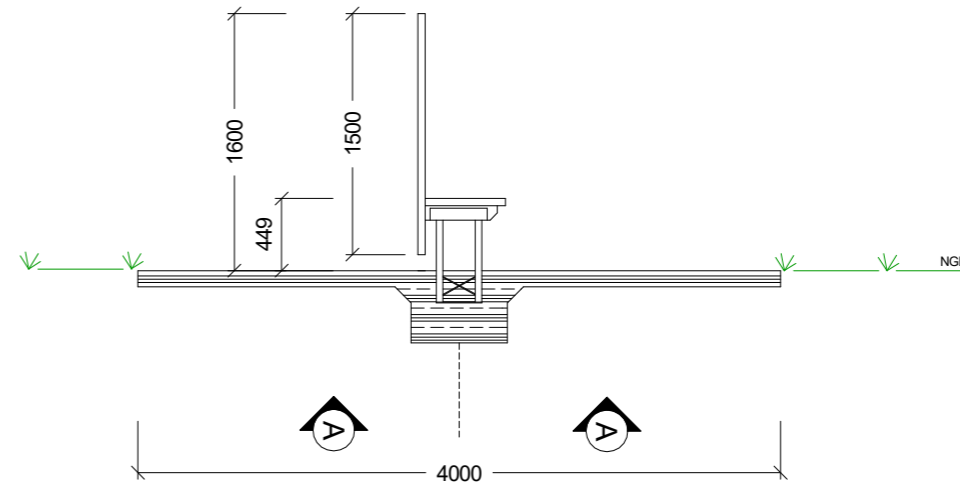
To construct a Timber Seat on a football shaped Concrete slab.
 The seat to be a memorial to Alister SID Maclean. Football coach for the Lancelin Pirates junior football team and well respected Senior Fisheries Officer for the local area.
 Timber to naturally oiled hardwood sitting on a slab and 600mm foundations.

Cunliffe street Car_ Boat Park Lancelin Simone Maclean	
Date	11/1/2023
Page	A3
Scale:	1 : 150
Ref.	1_4 Maclean Cunliff Street Site Plan

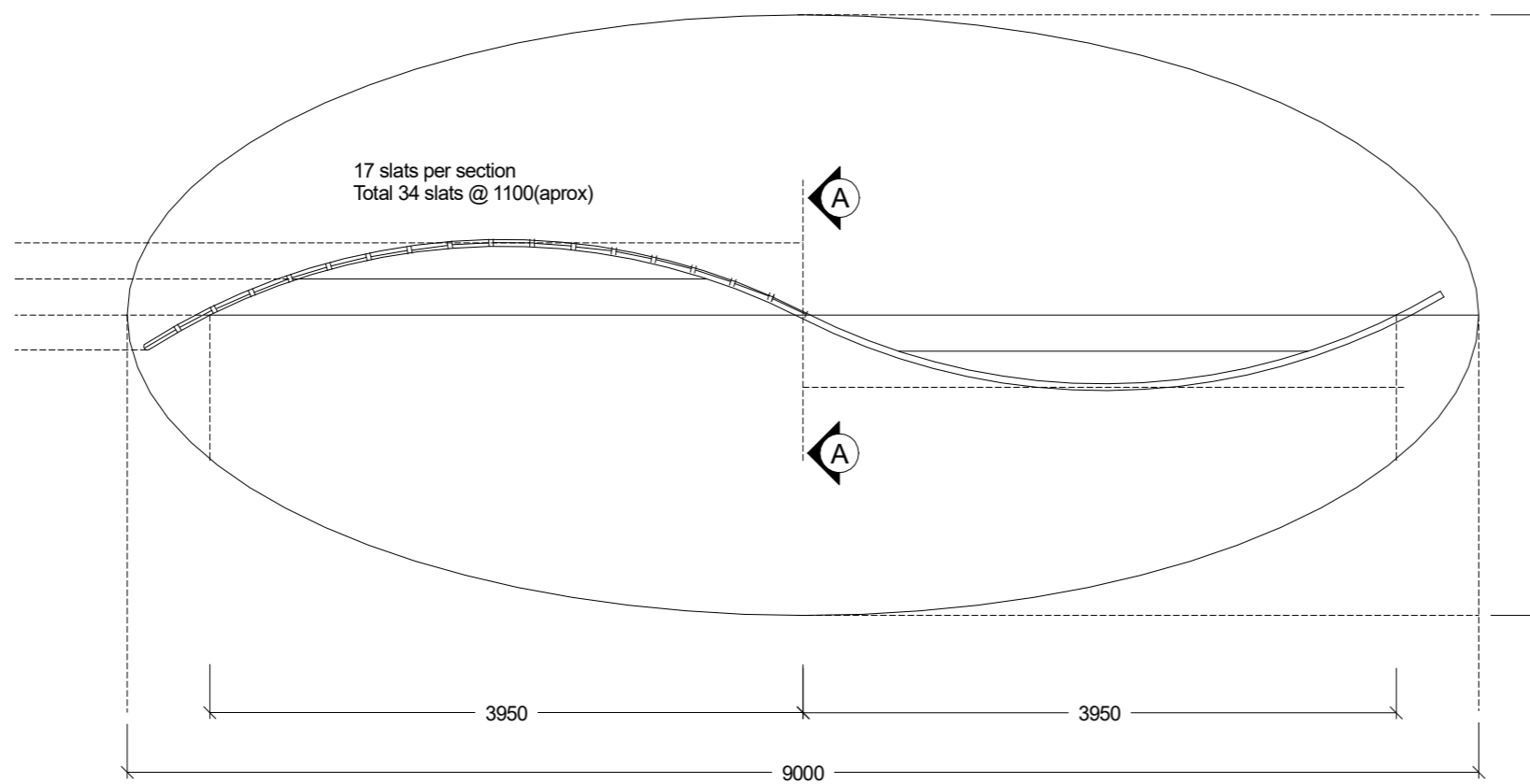
ARTTEK DESIGN
 11 King street Lancelin
 0422 974 348



DRAFT



SECTION A:A



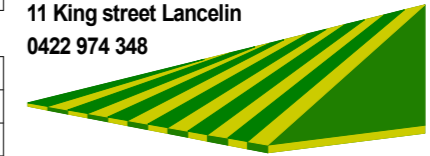
Seats 2 x 240 x 45mm @ 4000mm
2 x 240 x 45mm @ 2700mm

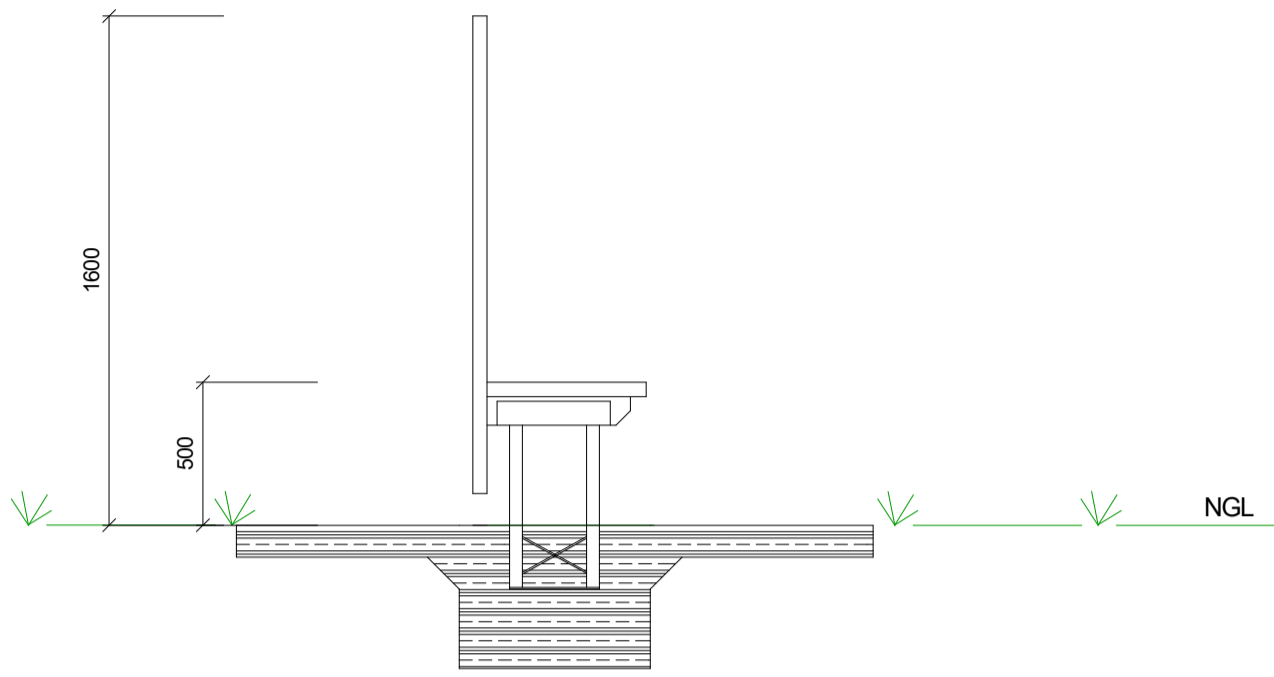
SEAT PLAN

Cunliffe street Car_ Boat Park Lancelin	
Simone Maclean	
Date	11/1/2023
Page	A3
Scale:	1 : 40
Ref.	2_4 Maclean Cunliff Seat Plan Elevation

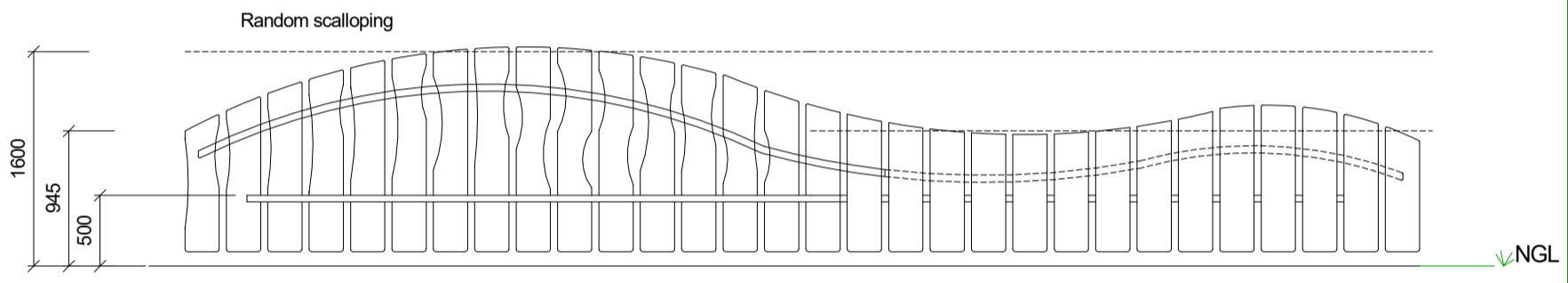
ARTTEK DESIGN

11 King street Lancelin
0422 974 348





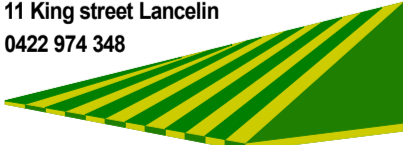
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SEAT ELEVATION

Scale 1_40

DRAFT

Cunliffe street Car Boat Park Lancelin Simone Maclean		ARTTEK DESIGN 11 King street Lancelin 0422 974 348 	
Date	11/1/2023		
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Scale:	1 : 40		Shire Gingin
Ref.	3_4 Maclean Cunliff Seat Plan Elevation		

**MINUTES
ORDINARY COUNCIL MEETING
20 FEBRUARY 2024**

APPENDIX 15.1.4



1. Bench Seat attached to the Hincliffe Lookout structure.



2. Bench Seat on the disabled pathway from the Hincliffe Lookout.



1. Proposed Location of the new Memorial Bench Seat.





15.2 APPLICATION FOR CONSTRUCTION OF NEW ROAD ACCESS TO LOT 854 NEERGABBY

File	A1871
Author	Danica Todd – Coordinator Operations & Assets Administration
Reporting Officer	Vanessa Crispe - Executive Manager Operations and Assets
Refer	Nil
Appendices	<ol style="list-style-type: none"> 1. Crossover Lot 738 2. Potential Crossover location 3. Map of Lots

DISCLOSURES OF INTEREST

Nil

PURPOSE

To consider an application for the construction of new road access to Lot 854 Neergabby on a currently unmade road reserve from Dooling Road, Neergabby.

BACKGROUND

The Shire of Gingin has received an application seeking construction of a section of unmade road reserve to access Lot 854, Neergabby.

Council has two policies relating to the construction of roads on unmade road reserves these are:

7.9 CONSTRUCTION OF GAZETTED, UNMADE RURAL ROADS TO A MAXIMUM VALUE OF \$20,000.00

Following receipt of a request from the owners of rural land serviced by a gazetted but unmade road, Council’s Principal Works Supervisor and Consulting Engineer shall be requested to formulate an estimate of construction costs.

In the event that the total cost of construction is less than \$20,000 and subject to the landowner/s agreeing to finance 50% of the total construction cost, Council finance the other 50% of the construction cost utilising Municipal funds from the discretionary expenditure account established for this purpose.

7.10 CONSTRUCTION OF GAZETTED, UNMADE RURAL ROADS WITH A VALUE EXCEEDING \$20,000.00

If the total cost of construction exceeds \$20,000.00, then the landowner/s are to be advised that Council may give consideration to the proposal during future Budget deliberations.

COMMENT

A location plan showing Lot 854 and surrounding properties is provided (**see appendices**). There is currently a small crossover, with an access gate that services Lot 738. A photo is attached (**see appendices**).

Lot 854 is vacant land. It is located behind Lot 1163 Gingin Brook Road and is accessible by 4WD. Staff believe the lot could be accessed from Gingin Brook Road via Lot 1163, which currently has road access. Lot 1163 is also owned by the applicant.

Lot 854 was subdivided at some point in time many years ago. When the property was purchased, the landowners would have been aware that this lot had no direct road access.

Currently the applicant accesses Lot 854 via Lot 1163 or via the 4WD track off Dooling Road, Neergabby. The applicant has advised that the reason for wishing to construct the unmade road is that the drop off between the level of Gingin Brook Road and Lot 1163 is too steep to negotiate safely.

Further to the above, the applicant has also advised that they are selling the Lot 854, and therefore direct access is required.

In order to create access from Gingin Brook Road at Lot 1163 to Lot 854 without the need for constructing a separate road, a crossover can be an effective solution. Staff have assessed the area and confirm that there is sufficient, safe and appropriate space to construct a crossover to access the paddock from Gingin Brook Road.

A photo of a potential crossover location along Gingin Brook Road is provided (**see appendices**).

A crossover essentially serves as a connection point between the property and the existing road, facilitating entry and exit without the necessity of building an entirely new road.

The following sets out the process for gaining access to the property via a crossover as opposed to a new road.

1. **Survey and Assessment:** The landowner must arrange for a survey to be undertaken to determine the most suitable location for the crossover. This involves assessing factors such as topography, visibility, safety considerations, and any legal restrictions or requirements.

2. **Design and Engineering:** A professional engineer or designer will create detailed plans for the crossover, considering factors such as drainage, slope, width, and materials. The design should prioritize safety, functionality, and durability.
3. **Permit and Approval:** Before proceeding with any construction, the landowner must obtain the necessary permits and approvals from the local authority. This typically involves submitting plans for the crossover design and ensuring compliance with relevant regulations and standards.
4. **Construction Preparation:** Once the design is finalised and permits are obtained, preparations for construction can begin. This may involve clearing vegetation, leveling the ground, and acquiring any materials or equipment needed for the project.

The landowner may need to obtain permits from the Department of Environment for any clearing.

5. **Construction:** The construction phase involves executing the plans for the crossover. This typically includes excavating the area, installing drainage systems if necessary, and laying down the pavement or other surfacing material. The crossover should be built to withstand the expected traffic load and environmental conditions.

Traffic Management may need to be sought by the landowner when installation occurs.

By implementing a well-designed crossover, the landowner can establish convenient access to their property from Gingin Brook Road without the need for the Shire to construct a road, of approximately 3.9km in length, which would only provide access to one property. All of the properties south of Lot 854 are accessed through Chitna Road.

Taking into account Council Policies 7.9 and 7.10 and the applicant's desire to construct the road, Council may determine to either:

1. Advise the landowner that a suitable crossover can be installed with access being from Gingin Brook Road through Lot 1163 to Lot 854; or
2. Do nothing and remain with the current unmade road reserve with fire break (four-wheel drive) access only; or
3. Construct the unmade road reserve with the Shire's own resources in a future budget (as per Council Policy 7.10); or

4. Authorise the landowner to engage a contractor to undertake the road construction works (to the satisfaction of the Shire of Gingin) and contribute a monetary amount to the landowner (up to \$10,000 excluding GST) for the road works and supply the gravel from the Shire's gravel pit (ex-pit only, no loading by the Shire) at no charge.

It is prudent for Council to note that staff are in the process of reviewing Section 7, including Policies 7.9 and 7.10. It is likely that, at the end of the review process, it will be recommended that Policies 7.9 and 7.10 be repealed as Council does not make a budget provision each year of funds to construct unmade road reserves.

In making decisions to expand the road network, Council would need to consider the additional funding required to undertake the ongoing maintenance, operation and renewal of the asset.

Increases in the operational budget to fund the increased costs and maintain the level of service across the road network would be considered by Council as additions to the road network in subsequent budgets.

Where Council is considering expanding the Shire's road network, it would need to make an assessment of the road cost upgrades of the proposed expanded section of road network to a "fit for purpose" standard.

Council would also need to consider the expansion, upgrade, renewal and maintenance works on Council roads that would be scheduled as funds and resources allow.

After consideration of works necessary to manage road sections which present a high risk to the safety of users, priority will be given to projects and works on Shire roads on which higher traffic volumes flow and those considered to have a higher function in the road hierarchy, such as Gingin Brook Road, Lancelin Road and Mooliabeenee Road.

STATUTORY/LOCAL LAW IMPLICATIONS

Nil

POLICY IMPLICATIONS

Council Policy 7.9 - Construction of gazetted, unmade rural roads to a maximum value of \$20,000.00.

Council Policy 7.10 - Construction of gazetted, unmade rural roads with a value exceeding \$20,000.00.

BUDGET IMPLICATIONS

Currently there is no budget to fund any portion of any unmade road within the Shire of Gingin.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2022-2032

Aspiration	4. Excellence & Accountability - Deliver Quality Leadership and Business Expertise
Strategic Objective	4.1 Management of Assets - Maintain civic buildings, sporting facilities, public places, plant and road and cycleway/pathways based on asset management plans and identified priorities

VOTING REQUIREMENTS – SIMPLE MAJORITY

COUNCIL RESOLUTION/OFFICER RECOMMENDATION

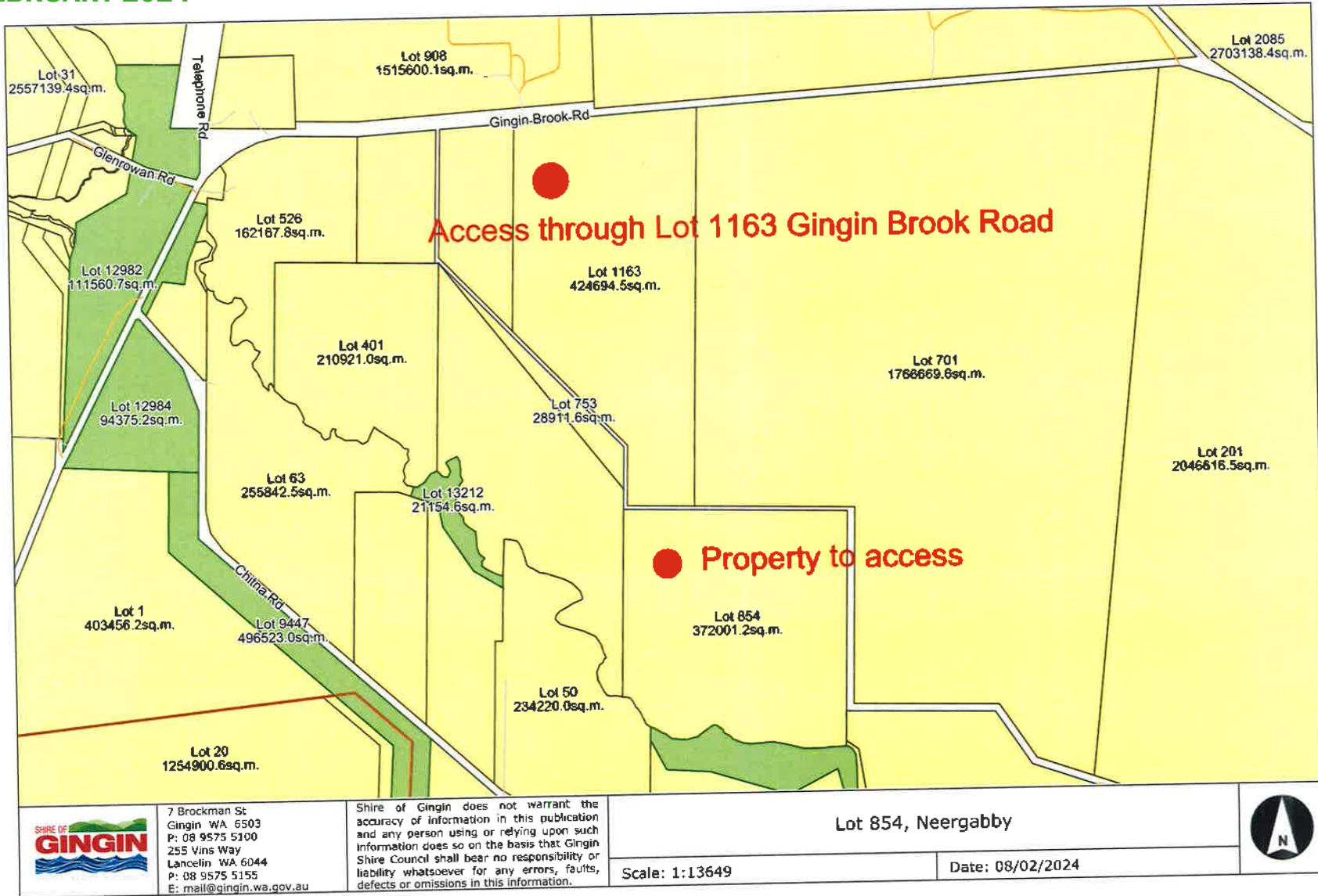
MOVED: Councillor Kestel **SECONDED:** Councillor Peczka

That Council refuse the request to contribute funds to the construction of the portion of Dooling Road to access Lot 854, Neergabby.

**CARRIED UNANIMOUSLY
9 / 0**

FOR: *Councillor Balcombe, Councillor Fewster, Councillor Johnson, Councillor Kestel, Councillor Peczka, Councillor Sorensen, Councillor Stewart, Councillor Woods and Councillor Weeks*

AGAINST: *Nil*



7 Brockman St
Gingin WA 6503
P: 08 9575 5100
255 Vins Way
Lancelin WA 6044
P: 08 9575 5155
E: mail@gingin.wa.gov.au

Shire of Gingin does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that Gingin Shire Council shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in this information.

Lot 854, Neergabby

Scale: 1:13649

Date: 08/02/2024



1. Crossover servicing Lot 738 Gingin Brook Road



1. Proposed location of potential crossover to access on Lot 1163 Gingin Brook Road to access Lot 854



16 MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

17 COUNCILLORS' OFFICIAL REPORTS

17.1 COMMUNITY RECOVERY SUNDOWNER AND GINGIN OVAL

File:	GOV/21
Councillor:	R Kestel
Report Date:	20 February 2024

I attended the Community Recovery Sundowner held on 15 February 2024 which was very well attended and was a benefit to all whom attended. Well done to the Bendigo Bank for this initiative.

I would like to praise the staff on the great condition of the Gingin Oval, all the hard work is starting to pay off.

17.2 GINGIN CRC MEETING, AUSTRALIA DAY, JAPANESE CIVIC RECEPTION, FUNERAL OF ALASTAIR MCLEAN AND COMMUNITY RECOVERY SUNDOWNER

File:	GOV/21
Councillor:	L Balcombe
Report Date:	20 February 2024

I attended the January meeting of Gingin CRC and was asked if the Shire is interested in joining the Arts in the Park and Flavours of Gingin into one event.

I attended the Australia Day event at Neergabby which was a great morning and congratulations to staff on the organization of the event, it is definitely growing in numbers.

I attended the Stable Fly Groups visit from the Japanese delegation on 22 January 2024. It was good to see the collaboration between different countries.

I attended the funeral of local community member 'Sid' McLean on 25 January 2024. It was a moving service and showed what a great community member Sid was.

I also attended the Community Recovery Sundowner at the Emergency Service Building on 15 February 2024. It was well attended and useful to those who were affected and those that volunteered or worked at the fires and storm.

17.3 GINGIN FIRE DEBRIEF, COMMUNITY RECOVERY SUNDOWNER AND STAFF APPRECIATION

File:	GOV/21
Councillor:	W Fewster
Report Date:	20 February 2024

I attended the Gingin fire debrief on 14 February 2024 with DFES, agencies and the fire brigades which was very good.

I also attended the Community Recovery Sundowner on 15 February 2024. I would like to congratulate the Bendigo Bank for organising that event with Councillor Balcombe as the coordinator from the bank.

I would like to express my thanks to senior staff while the CEO was on leave and especially the Executive Manager Corporate and Community Services Les Crichton for his efforts as Acting CEO. Thank you also to Executive Manager Regulatory and Development Services Bob Kelly for filling in for Les when he went on leave. Over the fire period, staff assistance was invaluable and certainly didn't go unnoticed.

18 NEW BUSINESS OF AN URGENT NATURE

Nil

19 MATTERS FOR WHICH MEETING IS TO BE CLOSED TO THE PUBLIC

Nil

20 CLOSURE

There being no further business, the President declared the meeting closed at 6:23 pm.

The next Ordinary Council Meeting will be held in Council Chambers at the Shire of Gingin Administration Centre, 7 Brockman Street, Gingin on 19 March 2024, commencing at 3.00 pm.