



# MINUTES

## ORDINARY MEETING

## OF COUNCIL

17 OCTOBER 2017



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FOR  
ORDINARY MEETING OF  
COUNCIL  
HELD ON 17 OCTOBER 2017**

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## **SHIRE OF GINGIN**

### **MINUTES OF THE ORDINARY MEETING OF THE SHIRE OF GINGIN HELD IN THE COUNCIL CHAMBER ON TUESDAY, 17 OCTOBER 2017 AT 3.06 PM**

#### **DISCLAIMER**

*Members of the Public are advised that decisions arising from this Council Meeting can be subject to alteration.*

*Applicants and other interested parties should refrain from taking any action until such time as written advice is received confirming Council's decision with respect to any particular issue.*

#### **ORDER OF BUSINESS**

##### **1. DECLARATION OF OPENING**

The Shire President declared the meeting open at 3:06 pm and welcomed those in attendance.

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##### **2. RECORD OF ATTENDANCE, APOLOGIES AND LEAVE OF ABSENCE**

###### **2.1 ATTENDANCE**

Councillors – D W Roe (Shire President), I B Collard (Deputy Shire President), V Ammon, M Aspinall, J Court, J W Elgin, C W Fewster, F J Peczka and S Smiles.

Staff – J Edwards (Chief Executive Officer), K Lowes (Executive Manager Corporate and Community Services), G Gow (Acting Executive Manager Operations-Construction), L Edwards (Executive Manager Planning and Development), R Rasool (Executive Manager Assets), K Bacon (Manager Statutory Planning), L Burt (Governance Officer) and O Edwards (Minute Officer).

Gallery – There were three members of the public present in the Gallery.

###### **2.2 APOLOGIES**

Nil

###### **2.3 LEAVE OF ABSENCE**

Nil



### **3. DISCLOSURES OF INTEREST**

#### **3.1 J Edwards - Chief Executive Officer**

##### **Item 11.1.1 Policy 2.29 Employee Recognition - Length of Service**

The Chief Executive Officer declared a financial Interest in this item due to the fact that he is an employee of the Shire of Gingin who may benefit financially from the proposed policy.

#### **3.2 L Burt – Governance Officer**

##### **Item 11.1.1 Policy 2.29 Employee Recognition - Length of Service**

The Governance Officer declared a financial Interest in this item due to the fact that she is an employee of the Shire of Gingin who may benefit financially from the proposed policy

#### **3.3 J Edwards - Chief Executive Officer**

##### **Item 15.1 Chief Executive Officer Annual Performance Review - 2017**

The Chief Executive Officer declared a financial Interest in this Item due to the fact that the report relates to remuneration of the CEO.

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### **4. PUBLIC QUESTION TIME**

#### **4.1 RESPONSES TO PUBLIC QUESTIONS PREVIOUSLY TAKEN ON NOTICE**

Nil

#### **4.2 PUBLIC QUESTIONS**

Nil

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### **5. PETITIONS, DEPUTATIONS AND PRESENTATIONS**

#### **5.1 PETITIONS**

Nil

#### **5.2 DEPUTATIONS**

##### **5.2.1 Item 12.1: Application for Development Approval – Proposed Extension to Existing Restaurant Use and Retrospective Approval For A Front And Side Fence And Advertising Signage on Lot 168 (91) Gingin Road, Lancelin**

Speaker/s: Gayna Haddon

### **5.3 PRESENTATIONS**

Nil

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### **6. APPLICATIONS FOR LEAVE OF ABSENCE**

Nil

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### **7. CONFIRMATION OF MINUTES**

#### **RECOMMENDATION**

It is recommended that:

1. The Minutes of the Ordinary Meeting of Council held on 19 September 2017 be confirmed.
2. The Minutes of the Special Meeting of Council held on 3 October 2017 be confirmed.

#### **RESOLUTION**

**Moved Councillor Aspinall seconded Councillor Elgin that:**

1. Minutes of the Ordinary Meeting of Council held on 16 September 2017 be confirmed.
2. Special Meeting of Council held on 3 October 2017 be confirmed.

**CARRIED UNANIMOUSLY**

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### **8. ANNOUNCEMENTS BY THE PRESIDING MEMBER**

Nil

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### **9. UNRESOLVED BUSINESS FROM PREVIOUS MEETINGS**

Nil

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### **10. QUESTIONS BY MEMBERS OF WHICH DUE NOTICE HAS BEEN GIVEN**

Nil

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## **11. REPORTS**

### **11.1. OFFICE OF THE CEO**

#### **11.1.1 POLICY 2.29 EMPLOYEE RECOGNITION - LENGTH OF SERVICE**

**FILE:** COR/28-1  
**AUTHOR:** LEE-ANNE BURT – GOVERNANCE OFFICER  
**REPORTING OFFICER:** JEREMY EDWARDS – CHIEF EXECUTIVE OFFICER  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

#### **OFFICER INTEREST DECLARATION**

The Governance Officer discloses a financial interest in Item 11.1.1 on the grounds that she is an employee of the Shire of Gingin who may benefit financially from the proposed policy.

The Chief Executive Officer discloses a financial interest in Item 11.1.1 on the grounds that he is an employee of the Shire of Gingin who may benefit financially from the proposed policy.

#### **PURPOSE**

To consider the adoption of a policy to formalise the manner in which the Shire of Gingin will recognise the contribution of long term employees to the Shire.

#### **BACKGROUND**

Section 5.50 of the *Local Government Act 1995* requires that every local government must prepare a policy in relation to employees whose employment with the local government is finishing, setting out:

1. The circumstances in which the local government will pay an employee an amount in addition to any amount to which the employee is entitled under a contract of employment or award; and
2. The manner of assessment of the additional amount.

In addition, Regulation 19A of the *Local Government (Administration) Regulations 1996* specifies that the value of a payment made under s. 5.50 of the Act generally cannot exceed \$5,000.

Council's Policy Manual currently contains Policy 2.3 Gifts to Staff Members Leaving the Employ of Council, which was adopted on 14 December 1995 in order to comply with the requirements of s. 5.50 of the Act, and Policy 2.4 Functions for Staff Leaving the Shire's Employment (both shown in **Appendix 1**). It is now suggested that Council give consideration to abolishing Policies 2.3 and 2.4 and adopting a new Policy 2.29 Employee Recognition – Length of Service (**Appendix 2**).

Council had preliminary discussions in relation to the draft policy at the Concept Forum on 3 October 2017.

## **COMMENT**

During its Concept Forum discussions, Council indicated a desire to amend the existing policy position by deleting any reference to monetary recognition for employees departing after a period of service of between one and five years and this suggestion has been incorporated into the policy presented for formal consideration. Other than this amendment, it is not proposed to change the existing levels of recognition for employees leaving the Shire's employ as specified in Policies 2.3 and 2.4.

Proposed Policy 2.29 incorporates the provisions of existing Policies 2.3 and 2.4, together with a mechanism for recognising service milestones achieved by employees during their term of employment. Continuity of employment provides benefits to the Shire by maintaining an effective and efficient workplace and it is considered that the ongoing contribution made by long serving employees to Council and the community is significant and worthy of recognition.

In brief, the proposed new policy states that employees reaching their five, ten and 15 year milestones will be presented with a service badge and certificate by the CEO at a staff morning or afternoon tea. Employees reaching a 20 year milestone or five yearly increments above 20 years will be presented with a service badge, certificate and small gift by the Shire President at the annual Shire Christmas function.

It is considered that the proposed protocol would enable the Shire to recognise and thank employees for their commitment to Council and the community, at negligible cost.

## **STATUTORY ENVIRONMENT**

*Local Government Act 1995*

Part 5 – Administration

Division 4 – Local government employees

Section 5.50 – Payments to employees in addition to contract or award

*Local Government (Administration) Regulations 1996*

Part 4 – Local government employees

Regulation 19A – Payments in addition to contract or award, limits of (Act s. 5050(3))

## **POLICY IMPLICATIONS**

Support for the Officer's recommendation will result in the repeal of Policy 2.3 Gifts to Staff Members Leaving the Employ of Council and Policy 2.4 Functions for Staff Leaving the Shire's Employment, and the adoption of Policy 2.29 Employee Recognition – Length of Service.

## **BUDGET IMPLICATIONS**

Nil

## **STRATEGIC IMPLICATIONS**

Nil

## **VOTING REQUIREMENTS – SIMPLE MAJORITY**

### **RECOMMENDATION**

It is recommended that Council:

1. Repeal Policy 2.3 Gifts to Staff Members Leaving the Employ of Council and Policy 2.4 Functions for Staff Leaving the Shire's Employment; and
2. Adopt Policy 2.29 Employee Recognition – Length of Service as shown in Appendix 2.

### **RESOLUTION**

**Moved Councillor Collard, seconded Councillor Smiles that Council:**

1. **Repeal Policy 2.3 Gifts to Staff Members Leaving the Employ of Council and Policy 2.4 Functions for Staff Leaving the Shire's Employment; and**
2. **Adopt Policy 2.29 Employee Recognition – Length of Service as shown in Appendix 2.**

**CARRIED UNANIMOUSLY**

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**APPENDIX 1**

## **2.2 STAFF - NEW AND CASUAL POSITIONS**

No new positions are to be created without the express authorisation of Council.

The Chief Executive Officer is authorised to employ casual and part-time staff, as and when required, provided the appropriate provision for the employment of such staff is made in the annual budget.

**ADOPTED: COUNCIL 18 MAY 1995**  
**REVIEWED: 19 APRIL 2011**

## **2.3 GIFTS TO STAFF MEMBERS LEAVING THE EMPLOY OF COUNCIL**

Staff leaving after ten years service to receive an Eligible Termination Payment (ETP) through the payroll system to the value of \$500.00 (net), plus \$100.00 (net) for each year served after ten years. The payment is to be grossed up to include the tax payable.

For staff leaving between five and ten years of service, an ETP payment through the payroll system shall be of a value less than \$500.00 (net), calculated at \$50.00 (net) for each year of service. The payment is to be grossed up to include the tax payable.

For staff leaving before five years of service, an ETP payment through the payroll system shall be at the discretion of the Chief Executive Officer, but shall be of a value less than \$250.00 (net), calculated at \$50.00 (net) for each year of service. The payment is to be grossed up to include the tax payable.

The above payments are not subject to GST.

**ADOPTED: COUNCIL 14 DECEMBER 1995**  
**REVIEWED: 19 APRIL 2011**

## **2.4 FUNCTIONS FOR STAFF LEAVING THE SHIRE'S EMPLOYMENT**

It is Council's policy that a farewell function be provided for staff who have served ten years or more with the Shire of Gingin.

Where an employee has been with the Shire for almost ten years and is forced to retire through ill health, the Chief Executive Officer shall place the matter of a farewell function for that employee before Council for consideration.

**ADOPTED: COUNCIL 18 MAY 1995**  
**REVIEWED: 19 APRIL 2011**

## **2.5 SUPERANNUATION CONTRIBUTIONS**

*Repealed by resolution of Council 21 October 2014 – Item 11.1.4*  
*See Policy 2.27 – Voluntary Superannuation Contributions*

# APPENDIX 2





## POLICY MANUAL

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### POLICY 2.29 EMPLOYEE RECOGNITION - LENGTH OF SERVICE

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#### OBJECTIVE

To provide for the formal recognition of years of service by Shire of Gingin employees, in accordance with s. 5.50 of the *Local Government Act 1995*.

#### DEFINITIONS

**Continuous Employment:** includes long service leave, study leave, sick leave and compassionate leave. In calculating an anniversary date for the purposes of applying the policy, the definition does not include periods of leave taken without pay, maternity leave, or any other type of approved leave where the employee remains an employee of the Shire but is not paid for the period of absence by the Shire.

#### APPLICATION

The policy applies to all permanent part time and full time employees and those who may have, from time to time, been both a full time and part time employee, with the exception of instances where employment is terminated by the Shire as a result of misconduct or unsatisfactory performance of duties on the part of the employee.

No differentiation will be made between part time and full time employment for the purposes of applying the policy. Set terms will apply regardless of whether employment over the term has been on a part time or full time basis.

#### POLICY

##### 1. Recognition Upon Resignation or Cessation of Service

- a. The following will apply to employees who are leaving the employ of the Shire of Gingin after a period of continuous employment.

|                   |   |
|-------------------|---|
| 5-10 years        | \$50 (net) for each year of service   |
| 10 years and over | \$500 (net), plus \$100 (net) for each year served after 10 years to a maximum of \$5000<br>Farewell function to be offered |

- i. All payments will be processed through the payroll system and will be subject to tax.
- ii. All payments will be "grossed up" to include any tax payable.

iii. Payments are not subject to GST.

- b. In instances where an employee is forced to retire through ill health just short of their 10 year milestone, then the CEO shall place the matter of a farewell function (if desired) for that employee before Council for consideration.

## 2. Recognition of Service Milestones

The Shire of Gingin will recognise continuous years of employment beginning at five years and continuing for each subsequent five year period served, as follows:

- a. Employees reaching their five, ten and 15 year milestones will be presented with a service badge and certificate by the CEO at a staff morning or afternoon tea.
- b. Employees reaching a 20 year milestone or above will be presented with a service badge, certificate and gift (to a maximum value of \$250) by the Shire President at the annual Shire Christmas function.

## GOVERNANCE REFERENCES

|                           |   |
|---------------------------|---|
| Statutory Compliance      | Local Government Act 1995 s. 5.50<br>Local Government (Administration) Regulations 1996 – Reg 19A |
| Industry Compliance       | N/A   |
| Organisational Compliance |   |

## POLICY ADMINISTRATION

|              |                   |             |   |
|--------------|-------------------|-------------|---|
| Review Cycle | Bi-annual         | Next Review | In conjunction with review of Policy Manual |
| Department   | Office of the CEO |             |   |

| Version | Decision Reference | Synopsis |
|---------|--------------------|----------|
|         |                    |          |

## **11.1.2 POLICY 2.30 ORGANISATIONAL STRUCTURE AND DESIGNATED SENIOR EMPLOYEES**

**FILE:** COR/28-1  
**AUTHOR:** LEE-ANNE BURT – GOVERNANCE OFFICER  
**REPORTING OFFICER:** JEREMY EDWARDS – CHIEF EXECUTIVE OFFICER  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

### **OFFICER INTEREST DECLARATION**

Nil

### **PURPOSE**

To consider the development of a policy to establish both the Chief Executive Officer's (CEO) role and responsibilities in relation to the Shire's organisational structure, and those positions designated by Council as Senior Employees for the purposes of s. 5.37 of the *Local Government Act 1995* (the Act).

### **BACKGROUND**

Policy 2.30 has been prepared in response to queries from individual Councillors in relation to the desirability of Council endorsing the organisational structure for the Shire's administration.

It is the CEO's practice to generally provide Council with informal advice in relation to changes to the organisational structure. However, the format of the Shire's administration is considered to be an operational matter and therefore outside the role of Council as determined by the Act.

In order to provide clarity around this process and access to relevant information to assist Councillors in performing their functions, a draft policy (**Appendix 1**) has been developed for Council's consideration. The draft policy also incorporates the designation of "Senior Employees" in accordance with s. 5.37 of the Act. This is currently addressed by Council's Policy 2.1 Senior Employees (**Appendix 2**), however it is suggested that, in the interests of consolidation, Council may wish to abolish Policy 2.1 and incorporate its contents in the proposed new policy.

Council had preliminary discussions in relation to the draft policy at the Concept Forum on 3 October 2017.

### **COMMENT**

Section 2.7 of the Act states that the role of the Council is to:

1. Govern the local government's affairs; and
2. Be responsible for the performance of the local government's functions.

In order to achieve these objectives, the Council is to oversee the allocation of the local government's finances and resources, and determine the local government's policies.

Section 5.41 of the Act sets out the functions of the CEO which, amongst other things, include the responsibility for managing the day to day operations of the local government, and responsibility for the employment, management, supervision, direction and dismissal of employees.

Council is responsible for adopting an annual budget that provides Administration with the resources to achieve Council's objectives and ensure the efficient operation of the Shire's day to day responsibilities. It is then the CEO's responsibility to adapt day to day structural operations to meet the requirements of customers or provide agreed services, within the constraints set by Council's adopted budget.

It is important to note that, should Council resolve to adopt Policy 2.30, the CEO will continue to provide Council with updates (when necessary) on changes to structure or relevant staff movements that take place within the adopted salaries and wages budget.

## **STATUTORY ENVIRONMENT**

### *Local Government Act 1995*

Part 2 – Constitution of local government

Division 2 – Local governments and councils of local governments

Section 2.7 – Role of council

### *Local Government Act 1995*

Part 5 – Administration

Division 1 – Introduction

Section 5.2 – Administration of local governments

### *Local Government Act 1995*

Part 5 – Administration

Division 4 – Local government employees

Section 5.37 – Senior employees

### *Local Government Act 1995*

Part 5 - Administration

Division 4 – Local government employees

Section 5.41 – Functions of CEO

## **POLICY IMPLICATIONS**

Support for the Officer's recommendation will result in the repeal of Policy 2.1 Senior Employees and the adoption of Policy 2.30 Organisational Structure and Senior Employees.

## **BUDGET IMPLICATIONS**

Nil

## **STRATEGIC IMPLICATIONS**

Nil

## **VOTING REQUIREMENTS – SIMPLE MAJORITY**

### **RECOMMENDATION**

It is recommended that Council:

1. Repeal Policy 2.1 Senior Employees; and
2. Adopt Policy 2.30 Organisational Structure and Senior Employees as shown in Appendix 1.

### **RESOLUTION**

**Moved Councillor Peczka, seconded Councillor Fewster that Council:**

1. **Repeal Policy 2.1 Senior Employees; and**
2. **Adopt Policy 2.30 Organisational Structure and Senior Employees as shown in Appendix 1.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**



## POLICY MANUAL

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### POLICY 2.30 ORGANISATIONAL STRUCTURE AND DESIGNATED SENIOR EMPLOYEES

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#### OBJECTIVE

To establish:

- The Chief Executive Officer's (CEO) role and responsibilities in relation to the Shire's organisational structure; and
- Those positions designated by Council as Senior Employees for the purposes of s. 5.37 of the *Local Government Act 1995* (the Act).

#### POLICY

##### 1. Organisational Structure (*Refer s. 5.2 of the Act*)

- a. The CEO shall be responsible for the preparation of an appropriate organisational structure for administering the Shire.
- b. The CEO shall keep the Council informed of changes to the organisational structure.
- c. If the Council is not satisfied that an appropriate organisational structure exists, then the Council shall, by resolution, direct the CEO to establish a structure in accordance with any advice provided by the Council.

##### 2. Senior Employees (*Refer s. 5.37 of the Act*)

- a. The following positions are classified as "Senior Employees" for the purposes of the Act:
  - i. Executive Manager Assets;
  - ii. Executive Manager Corporate and Community Services;
  - iii. Executive Manager Operations-Construction; and
  - iv. Executive Manager Planning and Development.
- b. The CEO is to inform the Council of any proposal to employ or dismiss a Senior Employee.

## GOVERNANCE REFERENCES

|                                  |  |
|----------------------------------|--|
| <b>Statutory Compliance</b>      | <i>Local Government Act 1995</i> s. 2.7, s. 5.2, s. 5.37 and s. 5.41 |
| <b>Industry Compliance</b>       | Relevant industrial awards and agreements                            |
| <b>Organisational Compliance</b> | N/A  |

## POLICY ADMINISTRATION

|                     |                   |                    |   |
|---------------------|-------------------|--------------------|---|
| <b>Review Cycle</b> | Bi-annual         | <b>Next Review</b> | In conjunction with review of Policy Manual |
| <b>Department</b>   | Office of the CEO |                    |   |

| Version | Decision Reference | Synopsis |
|---------|--------------------|----------|
|         |                    |          |



**APPENDIX 2**

## 2.0 ADMINISTRATION

### MATTERS RELATING TO STAFF

#### POLICY 2.1 SENIOR EMPLOYEES

##### OBJECTIVE

To identify those corporate positions that Council has deemed to be **Senior Employee** positions for the purposes of s. 5.37 of the *Local Government Act 1995*.

##### POLICY

The following positions are deemed by Council to be **Senior Employee** positions for the purposes of s. 5.37:

1. Executive Manager Assets.
2. Executive Manager Corporate and Community Services.
3. Executive Manager Operations - Construction.
4. Executive Manager Planning and Development.

##### GOVERNANCE REFERENCES

|                           |  |
|---------------------------|--|
| Statutory Compliance      | <i>Local Government Act 1995 – s. 5.37</i>   |
| Industry Compliance       | N/A  |
| Organisational Compliance | Del. 1.16 – Appointment of Acting Chief Executive Officer (for Periods of 35 Days or Less) |

##### POLICY ADMINISTRATION

|              |                    |             |      |
|--------------|--------------------|-------------|------|
| Review Cycle | With Policy Manual | Next Review | 2019 |
| Department   | Office of the CEO  |             |      |

| Version | Decision Reference       | Synopsis  |
|---------|--------------------------|---|
| 1.      | 18/05/1995               | Policy adopted  |
| 2.      | 19/02/2013 – Item 16.3   | Amended to reflect new organisational structure. All Executive Manager positions deemed Senior Employees. |
| 3.      | 25/06/2013 – Item 8.1    | Amended to reflect new Executive Manager position titles.   |
| 4.      | 20/06/2017 – Item 11.1.5 | Amended to reflect new Executive Manager position titles.   |

## **11.2. CORPORATE AND COMMUNITY SERVICES**

### **11.2.1 MONTHLY FINANCIAL STATEMENT FOR THE PERIOD ENDING 30 SEPTEMBER 2017**

**FILE:** FIN/25  
**REPORTING OFFICER:** KAYE LOWES - EXECUTIVE MANAGER CORPORATE & COMMUNITY SERVICES  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

#### **OFFICER INTEREST DECLARATION**

Nil

#### **COMMENT**

The Monthly Financial Statement for the period ending 30 September 2017 is attached and includes the following:

1. Statement of Financial Position for the period to 30 September 2017.
2. List of Paid Accounts for the period to 30 September 2017.

#### **STATUTORY ENVIRONMENT**

*Local Government Act 1995*  
Part 6 – Financial management  
Division 3 – Reporting on activities and finance  
Section 6.4 – Financial report

*Local Government (Financial Management) Regulations 1996*  
Part 4 – Financial reports – s.6.4  
Regulation 34 – Financial activity statement required each month (Act s.6.4)

#### **POLICY IMPLICATIONS**

Nil

#### **BUDGET IMPLICATIONS**

Nil

## STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015-2025

|                   |  |
|-------------------|--|
| <b>Focus Area</b> | <i>Leadership and Governance</i>                             |
| <b>Objective</b>  | <i>5. To demonstrate effective leadership and governance</i> |
| <b>Outcome</b>    | <i>5.2 Accountable and responsible governance</i>            |
| <b>Strategy</b>   | <i>Nil</i>   |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

### RECOMMENDATION

It is recommended that Council receive:

1. The Monthly Financial Statement for the period ending 30 September 2017 as presented in Appendix 1; and
2. The List of Paid Accounts for the period ending 30 September 2017 as presented in Appendix 2.

### RESOLUTION

**Moved Councillor Elgin, second Councillor Smiles that Council receive:**

1. **The Monthly Financial Statement for the period ending 30 September 2017 as presented in Appendix 1; and**
2. **The List of Paid Accounts for the period ending 30 September 2017 as presented in Appendix 2.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**



**SHIRE OF GINGIN**  
**MONTHLY STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017**

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## Summary of Financial Position up to 30 September 2017

### Operating Statement

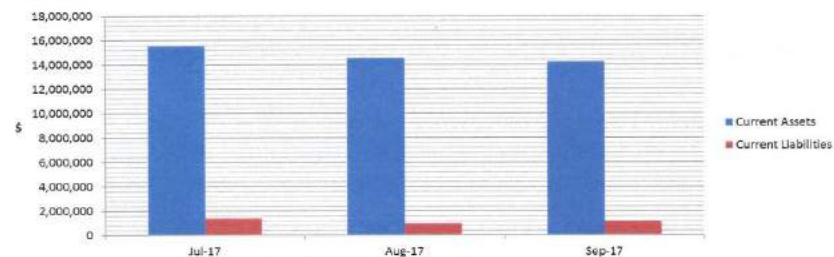
|                      | Year 30 September 2017 |             |          | Annual Budget |          |
|----------------------|------------------------|-------------|----------|---------------|----------|
|                      | Actual                 | YTD Budget  | Variance | Annual        | Budget % |
| Revenue              | 10,594,016             | 8,278,129   | 28%      | 13,926,873    | 76%      |
| Expenses             | (2,436,938)            | (1,326,540) | 84%      | (15,916,474)  | 15%      |
| Profit/Loss          | 0                      | 0           | 0%       | 0             | 0%       |
| Non-Operating Grants | 441,592                | 174,130     | 154%     | 2,089,569     | 21%      |
| Net Result           | 8,598,670              | 7,125,719   |          | 97,958        |          |

Income: The variation in operating income relates to the timing of the operating grant income.  
Expenditure: Timing of maintenance works.

### Assets & Liabilities

|                    | Aug-17      | Sep-17      |
|--------------------|-------------|-------------|
| <b>Current</b>     |             |             |
| Assets             | 14,542,019  | 14,234,799  |
| Liabilities        | 993,047     | 1,157,360   |
| <b>Non-Current</b> |             |             |
| Assets             | 155,578,084 | 155,404,871 |
| Liabilities        | 2,743,548   | 2,664,677   |
| Net Assets         | 166,363,509 | 165,817,633 |

CURRENT ASSETS & LIABILITIES



## Capital Payments

|                          | Year to 30 September 2017 |            |          | Annual Budget |
|--------------------------|---------------------------|------------|----------|---------------|
|                          | YTD Actual                | YTD Budget | Variance |               |
| Land & Buildings         | 86,652                    | 1,168,000  | -93%     | 1,168,000     |
| Infrastructure Roads     | 156,085                   | 3,755,483  | -96%     | 3,755,483     |
| Infrastructure Parks     | 513,131                   | 856,915    | -40%     | 856,915       |
| Infrastructure Other     | 43,365                    | 1,294,513  | -97%     | 1,294,513     |
| Infrastructure Footpaths | -                         | 44,438     | -100%    | 44,438        |
| Plant & Equipment        | 1,500                     | 1,718,241  | -100%    | 1,718,241     |
| Furniture and Equipment  | 10,383                    | 92,710     | -82%     | 92,710        |
| Loans Current            | 35,911                    | 187,783    | -81%     | 187,783       |
| Transfer to Reserve      | 3,434                     | 101,257    | -98%     | 101,257       |
| Provisions               | -                         | -          | 0%       | -             |
| Net Result               | 856,460                   | 9,279,344  | -91%     | 9,279,344     |

Refer to Capital Works Program.

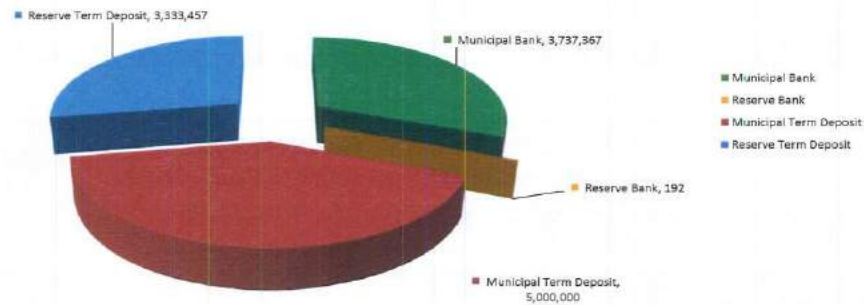
Note provisions are budgeted throughout operating accounts.

## Cash &amp; Investments

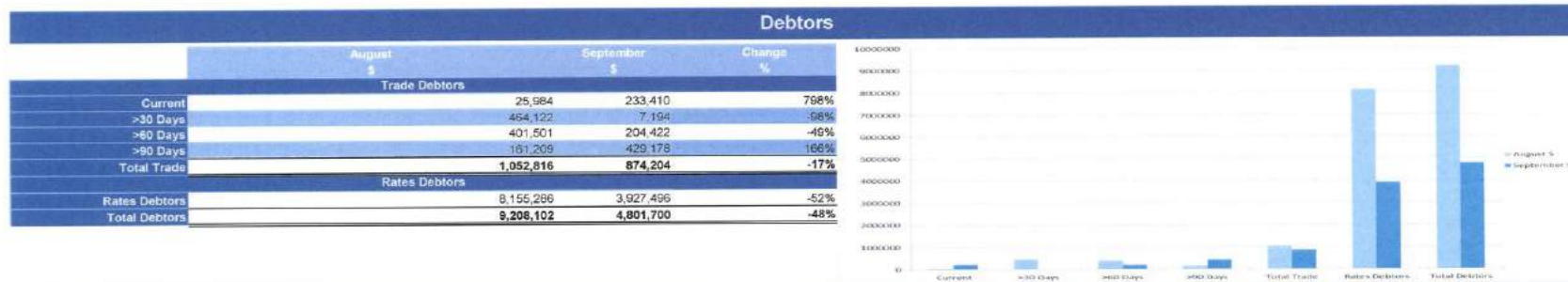
|                        | Volume Held |            |
|------------------------|-------------|------------|
|                        | Aug-17      | Sep-17     |
| Municipal Bank         | 2,138,032   | 3,737,367  |
| Reserve Bank           | 0           | 192        |
| Municipal Term Deposit | 0           | 5,000,000  |
| Reserve Term Deposit   | 3,333,457   | 3,333,457  |
| Total                  | 5,471,489   | 12,071,016 |

As a result of the RBA meeting held 1st August 2017, the Board decided to keep the cash rate unchanged at 1.5 per cent.

SEPTEMBER CASH &amp; INVESTMENTS





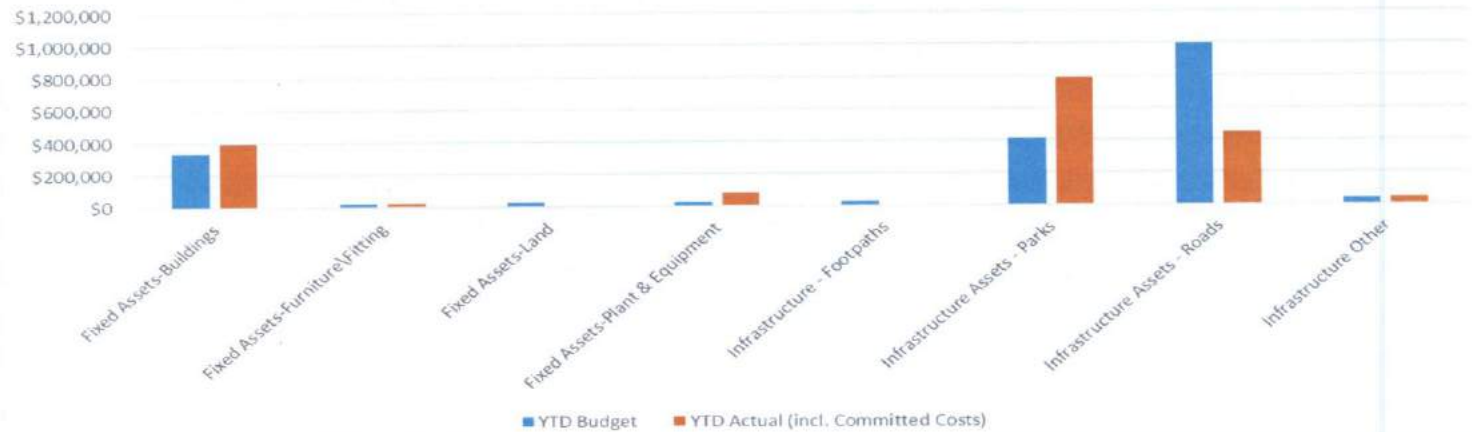


**Budget Variances**

| Account  | Description  | Total Budget       | YTD Budget       | YTD Actual       | % of YTD Budget | Explanation                    |
|----------|--|--------------------|------------------|------------------|-----------------|--------------------------------|
| 03010072 | Instalment Admin Charge Income                                 | (\$20,000)         | (\$4,998)        | (\$16,115)       | 322%            | Timing                         |
| 03010073 | Instalment Interest  | (\$27,000)         | (\$6,750)        | (\$23,565)       | 349%            | Timing                         |
| 03012209 | Bank Charges - No Gst  | \$10,800           | \$2,849          | \$15,263         | 576%            | Journal required               |
| 03012260 | Legal Costs - Debt Collection                                  | \$64,000           | \$15,999         | \$179            | 1%              |                                |
| 03014010 | Interest (Municipal Fund)                                      | (\$70,000)         | (\$17,499)       | (\$2,681)        | 17%             |                                |
| 03014020 | Interest (Reserve Fund)  | (\$69,610)         | (\$17,400)       | (\$3,434)        | 20%             |                                |
| 04102240 | Legal Expenses   | \$50,000           | \$12,498         | \$1,883          | 15%             |                                |
| 04202225 | Audit Fees   | \$42,000           | \$10,494         | \$0              | 0%              |                                |
| 05104000 | Fire Vehicles  | \$70,000           | \$17,499         | \$4,421          | 25%             |                                |
| 05107040 | Shire Fire Fighting/Firebreaks Non ESL                         | \$53,245           | \$13,302         | \$373            | 3%              |                                |
| 07100000 | Salaries   | \$151,463          | \$37,863         | \$49,614         | 131%            |                                |
| 10105110 | Refuse Site Gingin   | \$131,221          | \$32,798         | \$19,370         | 59%             |                                |
| 10207050 | Public Conveniences  | \$188,459          | \$41,598         | \$29,721         | 71%             |                                |
| 10600000 | Salaries   | \$322,327          | \$80,730         | \$68,969         | 85%             |                                |
| 10613030 | Fines/Penalties  | (\$60,000)         | (\$15,000)       | \$0              | 0%              |                                |
| 11217024 | Guilderton Foreshore Boat Ramp Finger Jetty RRFs Grant Funding | \$0                | \$0              | (\$150,367)      | 100%            | Balance of grant funding 16/17 |
| 11300000 | Salaries & Wages   | \$69,847           | \$17,460         | \$6,002          | 34%             |                                |
| 11305509 | LA Sporting Complex  | \$30,550           | \$7,626          | \$27,921         | 366%            |                                |
| 11305812 | Parks/Gardens General  | \$132,026          | \$32,967         | \$19,209         | 58%             |                                |
| 11307138 | Loan 114 - Guilderton G/Club (Council) Interest Payment        | \$35,795           | \$6,946          | (\$3,777)        | -42%            | Reversal of accrued interest   |
| 11315017 | Grant Funding - Playgrounds                                    | \$0                | \$0              | (\$30,000)       | 100%            | Ledge Point Playground         |
| 12205116 | Bridges Maintenance Shire                                      | \$45,195           | \$11,298         | \$0              | 0%              |                                |
| 12215084 | Fees from Parking Meters                                       | (\$50,000)         | (\$12,498)       | \$0              | 0%              |                                |
| 13203204 | Caravan Park Maintenance Council                               | \$19,800           | \$4,941          | \$15,637         | 316%            |                                |
| 13205100 | Lancelin South End Caravan Park Maintenance                    | \$149,000          | \$37,242         | \$52,526         | 141%            |                                |
| 13207039 | Economic Development Strategy Implementation                   | \$42,855           | \$10,713         | \$0              | 0%              |                                |
| 14201000 | Office of CEO - Salaries                                       | \$433,437          | \$108,357        | \$98,916         | 89%             |                                |
| 14300110 | Engineering Supervision  | \$227,574          | \$56,892         | \$42,328         | 74%             |                                |
| 14300145 | Public Holidays  | \$49,402           | \$12,348         | \$523            | 4%              |                                |
| 14300150 | Industrial/Travel/Tool Allowanc                                | \$61,444           | \$15,360         | \$1,042          | 7%              |                                |
| 14307100 | Workers Comp Insurance   | \$46,002           | \$11,499         | \$0              | 0%              |                                |
| 14717136 | Insurance Reimbursements                                       | (\$50,000)         | (\$12,498)       | \$0              | 0%              |                                |
| 20099660 | Cullialla Road Intersection Restricted Cash                    | (\$45,000)         | (\$11,250)       | \$0              | 0%              |                                |
|          |  | <b>\$2,013,232</b> | <b>\$503,184</b> | <b>\$221,656</b> |                 |                                |

### Fixed Assets Expenditure September 2017

| Asset Type                     | YTD Budget         | YTD Actual (incl. Committed Costs) |
|--------------------------------|--------------------|------------------------------------|
| Fixed Assets-Buildings         | \$337,176          | \$395,738                          |
| Fixed Assets-Furniture/Fitting | \$23,289           | \$22,190                           |
| Fixed Assets-Land              | \$24,996           | \$58                               |
| Fixed Assets-Plant & Equipment | \$25,998           | \$77,230                           |
| Infrastructure - Footpaths     | \$24,999           | \$0                                |
| Infrastructure Assets - Parks  | \$412,551          | \$786,696                          |
| Infrastructure Assets - Roads  | \$996,600          | \$446,434                          |
| Infrastructure Other           | \$40,494           | \$43,365                           |
|                                | <b>\$1,886,103</b> | <b>\$1,771,710</b>                 |

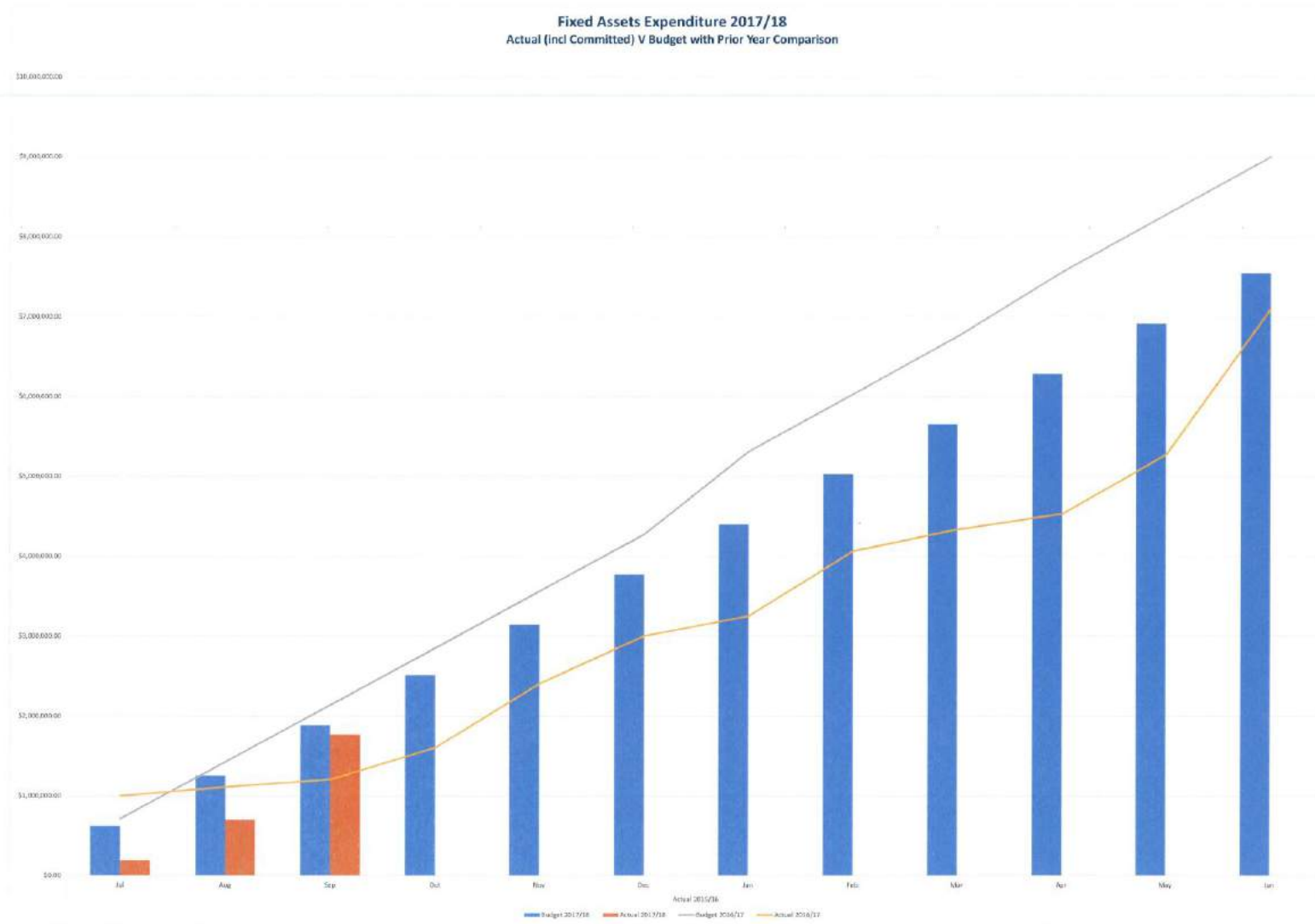


| Fixed Assets Expenditure September 2017 |   |           |            |   |                   |  |
|---|---|-----------|------------|---|-------------------|--|
| Account #                               | Account Description   | Budget    | Budget YTD | Actual YTD<br>(incl Committed<br>Costs) | % Total<br>Budget |  |
| 05159129                                | Nilgen Fire Shed Construction   | \$110,000 | \$27,498   | \$125,315                               | 113.92%           |  |
| 06259020                                | Aged Homes Lancelin   | \$90,362  | \$22,587   | \$21,995                                | 24.34%            |  |
| 06259030                                | Aged Homes Gingin - Design and Construction                                   | \$700,000 | \$174,999  | \$0                                     | 0.00%             |  |
| 06259050                                | Gingin Aged Units (Air-conditioning, kitchen refurbishments, floor coverings) | \$40,800  | \$10,197   | \$7,150                                 | 17.52%            |  |
| 07159106                                | Gingin Medical Centre (New)   | \$10,000  | \$2,499    | \$0                                     | 0.00%             |  |
| 09159003                                | 57A Lefroy Street - Building Capital A/C                                      | \$0       | \$0        | \$118                                   |                   |  |
| 10259217                                | Ablution Facility Guilderton Foreshore  | \$0       | \$0        | \$20,791                                |                   |  |
| 11159005                                | Granville Civic Centre Buildings  | \$94,240  | \$23,559   | \$94,240                                | 100.00%           |  |
| 11359049                                | Gingin Golf Club - Re-roof Club House   | \$9,488   | \$2,370    | \$0                                     | 0.00%             |  |
| 11359051                                | Gingin Bowling Club - Patio roof extension & disabled ramp                    | \$48,500  | \$12,123   | \$0                                     | 0.00%             |  |
| 11359090                                | GG Recreation Centre Building Land & Buildings                                | \$37,829  | \$9,456    | \$0                                     | 0.00%             |  |
| 11359157                                | Gingin Horseman's Club Campdraft Facility                                     | \$12,500  | \$3,123    | \$0                                     | 0.00%             |  |
| 11359177                                | LA - Gun Club Transportable Toilet and Water to Site                          | \$25,000  | \$6,249    | \$22,727                                | 90.91%            |  |
| 11359179                                | LA - Bowling Club Storage Shed & Shade Shelters                               | \$9,500   | \$2,373    | \$0                                     | 0.00%             |  |
| 11359183                                | LP - Bowling Club - Synthetic Green   | \$5,000   | \$1,248    | \$0                                     | 0.00%             |  |
| 11659315                                | Old Granville Building  | \$12,000  | \$2,997    | \$3,740                                 | 31.17%            |  |
| 12259691                                | Bus Shelters  | \$0       | \$0        | \$3,333                                 |                   |  |
| 12259956                                | Redfield Park - Bus Shelter   | \$25,625  | \$6,405    | \$0                                     | 0.00%             |  |
| 13259065                                | Caravan Park Chalets  | \$64,990  | \$16,245   | \$93,328                                | 143.60%           |  |
| 13259300                                | Information Bays  | \$28,000  | \$6,999    | \$0                                     | 0.00%             |  |
| 14759140                                | CWA Building - Structural Repairs   | \$25,000  | \$6,249    | \$3,000                                 | 12.00%            |  |
| 04159110                                | Council Chambers Furniture  | \$5,125   | \$1,281    | \$0                                     | 0.00%             |  |
| 04159115                                | Council Furniture & Equipment   | \$0       | \$0        | \$2,937                                 |                   |  |
| 07459010                                | Furniture And Equipment   | \$2,300   | \$573      | \$1,253                                 | 54.48%            |  |
| 10159004                                | Landfill Site POS Equipment   | \$6,100   | \$1,524    | \$4,111                                 | 67.40%            |  |
| 10659040                                | Planning Equipment  | \$2,500   | \$621      | \$1,583                                 | 63.31%            |  |
| 11559020                                | Lancelin Library Furniture and Equipment                                      | \$1,500   | \$375      | \$0                                     | 0.00%             |  |
| 13259060                                | GU Caravan Park Furniture/fittings  | \$9,000   | \$2,250    | \$0                                     | 0.00%             |  |
| 13359010                                | Furniture And Equipment   | \$1,700   | \$423      | \$0                                     | 0.00%             |  |
| 14259110                                | Computer System Furniture And Equipment                                       | \$32,516  | \$8,121    | \$1,583                                 | 4.87%             |  |
| 14259115                                | Office Furniture/Equip. Furniture And Equipment                               | \$32,500  | \$8,121    | \$10,723                                | 33.00%            |  |
| 10159000                                | Landfill Site Implementation  | \$60,000  | \$15,000   | \$0                                     | 0.00%             |  |
| 11159010                                | Guilderton Hall Carpark   | \$0       | \$0        | \$58                                    |                   |  |
| 14759124                                | Lancelin Commercial Centre Land Purchase                                      | \$40,000  | \$9,996    | \$0                                     | 0.00%             |  |
| 05159200                                | Fire Warning Signs  | \$60,000  | \$15,000   | \$60,000                                | 100.00%           |  |
| 07459001                                | Vehicle Purchase - 6GG (5GG budget) EHO                                       | \$0       | \$0        | \$37,185                                |                   |  |



|          |  |           |           |           |         |
|----------|--|-----------|-----------|-----------|---------|
| 10659050 | Vehicle Purchase - GG046                                       | \$0       | \$0       | -\$24,091 |         |
| 12359750 | Minor Plant/Equipment  | \$15,000  | \$3,750   | \$4,136   | 27.57%  |
| 14759226 | Generator - Shire Office (Gingin)                              | \$29,000  | \$7,248   | \$0       | 0.00%   |
| 12259990 | Footpath projects unallocated                                  | \$100,000 | \$24,999  | \$0       | 0.00%   |
| 11259065 | Lancelin Foreshore Development - Cunliffe St                   | \$150,000 | \$37,500  | \$0       | 0.00%   |
| 11259077 | Guilderton Beach Access Boardwalk                              | \$89,000  | \$22,248  | \$0       | 0.00%   |
| 11259079 | Boat Launch Facility - Planning Study                          | \$103,421 | \$25,851  | \$70,971  | 68.62%  |
| 11259081 | LA Hinchcliffe Hill Staircase South Side                       | \$100,000 | \$24,999  | \$0       | 0.00%   |
| 11259082 | LA Hinchcliffe Hill Ramp North Side                            | \$60,000  | \$15,000  | \$0       | 0.00%   |
| 11259083 | LA Hinchcliffe Hill Pathway and Carpark                        | \$82,125  | \$20,529  | \$0       | 0.00%   |
| 11359042 | GG Swim Pool Plant & Pump Room                                 | \$23,000  | \$5,748   | \$9,598   | 41.73%  |
| 11359115 | LA Skate Park Bowl (at BMX Track)                              | \$126,000 | \$31,500  | \$123,180 | 97.76%  |
| 11359124 | LA Wangaree Park Skate Equip                                   | \$15,000  | \$3,750   | \$0       | 0.00%   |
| 11359132 | Playground Equipment   | \$36,772  | \$9,192   | \$0       | 0.00%   |
| 11359133 | LP Playground Equipment  | \$135,949 | \$33,987  | \$135,949 | 100.00% |
| 11359155 | Bendigo Bank Complex   | \$9,000   | \$2,250   | \$0       | 0.00%   |
| 11359171 | Regional Hardcourt Facility - Bank Stabilisation & Landscaping | \$165,000 | \$41,250  | \$0       | 0.00%   |
| 11359268 | Lancelin Bowling Club Lighting                                 | \$100,000 | \$24,999  | \$0       | 0.00%   |
| 13259068 | Lancelin Caravan Park - Infrastructure Parks                   | \$355,000 | \$88,749  | \$354,919 | 99.98%  |
| 13259314 | Caravan Park Retaining Wall                                    | \$60,000  | \$15,000  | \$60,000  | 100.00% |
| 13259315 | Caravan Park Tap and Pipe Replacement Bays                     | \$40,000  | \$9,999   | \$32,080  | 80.20%  |
| 12259160 | Cowalla Road Bridge Upgrade                                    | \$190,000 | \$47,499  | \$0       | 0.00%   |
| 12259161 | Marchmont Drainage   | \$160,000 | \$39,999  | \$0       | 0.00%   |
| 12259169 | Rural - Dingo Road   | \$592,724 | \$148,176 | \$0       | 0.00%   |
| 12259170 | Rural - Mimegarra Road   | \$290,764 | \$72,684  | \$0       | 0.00%   |
| 12259199 | Rural - Breera Road  | \$0       | \$0       | \$4,491   |         |
| 12259211 | Guilderton - Mortimer St                                       | \$44,800  | \$11,199  | \$0       | 0.00%   |
| 12259222 | Lancelin - Lancelin Plaza                                      | \$10,000  | \$2,499   | \$828     | 8.28%   |
| 12259233 | Craig Sandy Reseal SLK 0.00 - 0.32                             | \$5,512   | \$1,377   | \$0       | 0.00%   |
| 12259235 | Bateman Way Reseal SLK 0.00 - 2.00                             | \$6,064   | \$1,515   | \$0       | 0.00%   |
| 12259236 | Jones Place Reseal SLK 0.00 - 0.07                             | \$1,929   | \$480     | \$0       | 0.00%   |
| 12259240 | Rural - Beermullah Road West                                   | \$134,546 | \$33,636  | \$0       | 0.00%   |
| 12259259 | Ashby Road Reseal SLK 0.00 - 3.00                              | \$187,329 | \$46,830  | \$0       | 0.00%   |
| 12259262 | Rural - Red Gully Road   | \$399,034 | \$99,750  | \$0       | 0.00%   |
| 12259271 | RP - Redfield Park   | \$0       | \$0       | \$58      |         |
| 12259277 | Link Road - Reseal SLK 0.00-0.15                               | \$3,256   | \$813     | \$0       | 0.00%   |
| 12259278 | St Andrews Court - Reseal SLK 0.00-0.57                        | \$12,175  | \$3,042   | \$0       | 0.00%   |
| 12259279 | Military Road - Centreline SLK 0.00-14.79                      | \$40,000  | \$9,999   | \$0       | 0.00%   |
| 12259306 | GG - Brockman Street/Cheriton Road Intersection                | \$78,015  | \$19,503  | \$0       | 0.00%   |
| 12259332 | Rural - Cowalla Rd   | \$125,000 | \$31,248  | \$89,776  | 71.82%  |
| 12259339 | R to R - Rural - Cullalla Rd                                   | \$45,000  | \$11,250  | \$272     | 0.60%   |
| 12259353 | Old North Road Drive/Walk Trail                                | \$22,935  | \$5,733   | \$286     | 1.25%   |

|          |  |                        |                        |                        |         |
|----------|--|------------------------|------------------------|------------------------|---------|
| 12259501 | Black Spot - Dewar Road                  | \$259,441              | \$64,851               | \$0                    | 0.00%   |
| 12259959 | RRG - Gingin Brook Road - Final Seal     | \$86,527               | \$21,630               | \$0                    | 0.00%   |
| 12259961 | RRG - Gingin Brook Road                  | \$893,066              | \$223,257              | \$116,955              | 13.10%  |
| 12259982 | Drainage Construction                    | \$21,538               | \$5,382                | \$4,500                | 20.89%  |
| 12259993 | R to R - Murray Bridge works             | \$129,778              | \$32,442               | \$144,698              | 111.50% |
| 12259996 | Rural - Fynes Road Resheet SLK 0.00-5.32 | \$247,242              | \$61,806               | \$84,570               | 34.21%  |
| 10159030 | Gingin Landfill Fencing                  | \$7,000                | \$1,749                | \$0                    | 0.00%   |
| 10759128 | Gingin Cemetery Fence and Driveway       | \$31,000               | \$7,749                | \$0                    | 0.00%   |
| 12259362 | Streetscape Project - Lancelin           | \$70,000               | \$17,499               | \$0                    | 0.00%   |
| 13259312 | Caravan Waste Dump Points                | \$3,000                | \$750                  | \$35                   | 1.17%   |
| 13259313 | Caravan Park Drainage                    | \$50,000               | \$12,498               | \$43,330               | 86.66%  |
| 14759225 | Gingin Flag Poles                        | \$1,000                | \$249                  | \$0                    | 0.00%   |
|          |  | <u>\$ 7,545,017.00</u> | <u>\$ 1,886,103.00</u> | <u>\$ 1,771,710.33</u> |         |



SHIRE OF GINGIN  
INTERIM MONTHLY STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

|  | NOTE | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | 2017/2018<br>Y-T-D Budget<br>\$ | 2017/2018<br>Budget<br>\$ | Variances<br>Budget to<br>Actual<br>Y-T-D<br>% |
|--|------|---|---------------------------------|---------------------------|--|
| Net current assets at start of year - surplus/(deficit)  |      | 1,931,711                               | 2,009,010                       | 2,009,010                 | 0.00%  |
| <b>Revenue from operating activities (excluding rates and non-operating grants, subsidies &amp; contributions)</b> |      |   |                                 |                           |  |
| Governance   |      | 857                                     | 0                               | 0                         | 0.00%  |
| General Purpose Funding  |      | 196,814                                 | 97,527                          | 1,170,319                 | 8.48%  |
| General Purpose Funding - Rates  |      | 7,729,088                               | 7,764,606                       | 7,764,806                 | (0.46%)  |
| Law, Order, Public Safety  |      | 63,609                                  | 28,257                          | 339,083                   | 10.43%   |
| Education and Welfare  |      | 28,300                                  | 24,167                          | 290,000                   | 1.43%  |
| Health   |      | 221,637                                 | 9,750                           | 117,000                   | 181.10%  |
| Housing  |      | 5,320                                   | 1,950                           | 23,400                    | 14.40%   |
| Community Amenities  |      | 1,328,225                               | 138,587                         | 1,663,038                 | 71.53%   |
| Recreation and Culture   |      | 247,027                                 | 13,719                          | 164,628                   | 141.72%  |
| Transport  |      | 312,103                                 | 20,671                          | 248,046                   | 117.49%  |
| Economic Services  |      | 477,326                                 | 160,850                         | 1,930,203                 | 16.40%   |
| Other Property and Services  |      | 164,077                                 | 18,046                          | 216,550                   | 67.44%   |
|  |      | 10,774,383                              | 8,278,129                       | 13,926,873                | 17.92%   |
| <b>Expenditure from operating activities</b>   |      |   |                                 |                           |  |
| Governance   |      | (74,449)                                | (93,496)                        | (1,121,949)               | (1.70%)  |
| General Purpose Funding  |      | (38,358)                                | (30,969)                        | (371,628)                 | 1.99%  |
| Law, Order, Public Safety  |      | (149,647)                               | (111,811)                       | (1,341,733)               | 2.82%  |
| Education and Welfare  |      | (14,772)                                | (53,995)                        | (647,945)                 | (6.05%)  |
| Health   |      | (137,200)                               | (17,432)                        | (209,182)                 | 57.26%   |
| Housing  |      | (15,274)                                | (2,538)                         | (30,460)                  | 41.81%   |
| Community Amenities  |      | (253,293)                               | (220,916)                       | (2,650,997)               | 1.22%  |
| Recreation & Culture   |      | (277,424)                               | (248,733)                       | (2,984,794)               | 0.96%  |
| Transport  |      | (559,936)                               | (351,714)                       | (4,220,571)               | 4.93%  |
| Economic Services  |      | (225,288)                               | (136,303)                       | (1,635,636)               | 5.44%  |
| Other Property and Services  |      | (691,298)                               | (58,632)                        | (703,579)                 | 89.92%   |
|  |      | (2,436,938)                             | (1,326,540)                     | (15,918,474)              | 6.98%  |
| <b>Operating activities excluded from budget</b>   |      |   |                                 |                           |  |
| (Profit)/Loss on Asset Disposals   | 2    | 0                                       | 0                               | 0                         | 0.00%  |
| Depreciation on Assets   | 10   | 84                                      | 365,136                         | 4,381,636                 | (8.33%)  |
| Non-Cash Expenditure and Revenue   |      | 0                                       | 0                               | 0                         | 0.00%  |
| Leave Entitlements   |      | 0                                       | 0                               | 0                         | 0.00%  |
| <b>Amount attributable to operating activities</b>   |      | 8,337,529                               | 9,325,735                       | 4,399,045                 | (22.46%)                                       |
| <b>Investing Activities</b>  |      |   |                                 |                           |  |
| Non operating grants, subsidies & contributions  |      | 261,225                                 | 174,130                         | 2,069,559                 | 4.17%  |
| Purchase Land Held for Resale  | 1    | 0                                       | 0                               | 0                         | 0.00%  |
| Purchase Land and Buildings  | 1    | (86,652)                                | (120,736)                       | (1,448,834)               | (2.35%)  |
| Purchase Infrastructure Assets - Roads   | 1    | (156,085)                               | (332,223)                       | (3,986,675)               | (4.42%)  |
| Purchase Infrastructure Assets - Parks   | 1    | (513,131)                               | (137,522)                       | (1,650,267)               | 22.76%   |
| Purchase Infrastructure Assets - Other   | 1    | (43,355)                                | (13,500)                        | (182,000)                 | 18.44%   |
| Purchase Infrastructure Assets - Footpaths   | 1    | 0                                       | (8,333)                         | (100,000)                 | (8.33%)  |
| Purchase Tools   |      | 0                                       | 0                               | 0                         | 0.00%  |
| Purchase Plant and Equipment   | 1    | (1,500)                                 | (8,667)                         | (104,000)                 | (6.89%)  |
| Purchase Furniture and Equipment   |      | (16,383)                                | (7,770)                         | (93,241)                  | 9.24%  |
| Proceeds from Disposal of Assets   | 2    | 0                                       | 0                               | 0                         | 0.00%  |
|  |      | (555,891)                               | (454,622)                       | (5,455,459)               | 1.86%  |
| <b>Financing Activities</b>  |      |   |                                 |                           |  |
| Repayment of Debentures  | 3    | (35,911)                                | (18,829)                        | (225,947)                 | 7.56%  |
| Proceeds from New Debentures   | 3    | 200,000                                 | 75,000                          | 900,000                   | 13.89%   |
| New Self Supporting Loans  |      | 0                                       | 0                               | 0                         | 0.00%  |
| New Advances   |      | 0                                       | 0                               | 0                         | 0.00%  |
| Proceeds from Advances   |      | 5,556                                   | 940                             | 11,281                    | 40.92%   |
| Self-Supporting Loan Principal Income  |      | 0                                       | 2,486                           | 29,631                    | (8.33%)  |
| Transfers to Reserves (Restricted Assets)  | 4    | (3,434)                                 | 46,181                          | 554,176                   | (8.95%)  |
| Transfers from Reserves (Restricted Assets)  | 4    | 0                                       | (80,150)                        | (961,803)                 | (8.33%)  |
| Transfers from Restricted Cash   |      | 0                                       | 62,406                          | 748,876                   | (8.33%)  |
|  |      | 186,211                                 | 88,035                          | 1,056,414                 | 7.40%  |
| <b>Net Current Assets Year to Date</b>   |      | <b>9,879,560</b>                        | <b>8,959,148</b>                | <b>0</b>                  |  |

This statement is to be read in conjunction with the accompanying notes.  
Note: Difference in B/Fwd balance relates to End of year adjustments.

SHIRE OF GINGIN  
MONTHLY STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

|  | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | 2017/2018<br>Budget<br>\$ |
|--|---|---------------------------|
| <b>1. ACQUISITION OF ASSETS &amp; OTHER NON CAPITAL EXPENDITURE</b>  |   |                           |
| The following assets and other non capital expenditure have been acquired/paid for during period under review: |   |                           |
| <u>By Program</u>  |   |                           |
| Governance   | 0                                       | 5,000                     |
| General Purpose Funding  | 3,434                                   | 121,487                   |
| Law, Order, Public Safety  | 6,765                                   | 542,500                   |
| Health   | 13,244                                  | 69,387                    |
| Education and Welfare  | 7,150                                   | 20,000                    |
| Housing  | 0                                       | 21,000                    |
| Community Amenities  | 43,590                                  | 1,032,974                 |
| Recreation and Culture   | 187,654                                 | 1,450,231                 |
| Transport  | 160,818                                 | 5,405,419                 |
| Economic Services  | 421,112                                 | 340,693                   |
| Other Property and Services  | 12,594                                  | 270,653                   |
|  | <u>856,460</u>                          | <u>9,279,344</u>          |
| <u>By Class</u>  |   |                           |
| Land and Buildings   | 86,852                                  | 1,168,000                 |
| Infrastructure Assets - Roads  | 156,085                                 | 3,755,483                 |
| Infrastructure Assets - Parks and Ovals  | 513,131                                 | 856,915                   |
| Infrastructure Assets - Other  | 43,365                                  | 1,294,513                 |
| Infrastructure - Footpaths   | 0                                       | 44,436                    |
| Plant and Equipment  | 1,500                                   | 1,718,241                 |
| Furniture and Fittings   | 16,383                                  | 92,716                    |
| Tools  | 0                                       | 0                         |
| Loans Current  | 35,911                                  | 187,783                   |
| Provisions   | 0                                       | 0                         |
| Transfers to Reserve   | 3,434                                   | 161,257                   |
|  | <u>856,460</u>                          | <u>9,279,344</u>          |

A detailed breakdown of acquisitions on an individual asset basis can be found in the supplementary information attached to this statement as follows:



SHIRE OF GINGIN  
MONTHLY STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

## 2. DISPOSALS OF ASSETS

The following assets have been disposed of during the period under review:

| <u>By Program</u>         | Net Book Value                          | Sale Proceeds                           | Profit/(Loss)                           |
|---------------------------|---|---|---|
|                           | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ |
| Law Order & Public Safety | 0                                       | 0                                       | 0                                       |
| Health                    | 0                                       | 0                                       | 0                                       |
| Community Amenities       | 0                                       | 0                                       | 0                                       |
| Transport                 | 0                                       | 0                                       | 0                                       |
| Economic Services         | 0                                       | 0                                       | 0                                       |
| Other Property & Services | 0                                       | 0                                       | 0                                       |
|                           | 0                                       | 0                                       | 0                                       |

| <u>By Class</u>   | Net Book Value                          | Sale Proceeds                           | Profit/(Loss)                           |
|-------------------|---|---|---|
|                   | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ |
| Plant & Equipment | 0                                       | -                                       | 0                                       |
| Land & Buildings  | 0                                       | 0                                       | 0                                       |
|                   | 0                                       | 0                                       | 0                                       |

| <u>Summary</u>            |  | Profit/(Loss)<br>2017/2018<br>Y-T-D Actual<br>\$ |
|---------------------------|--|--|
| Profit on Asset Disposals |  | -  |
| Loss on Asset Disposals   |  | 0  |
|                           |  | 0  |

**SHIRE OF GINGIN**  
**NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017**

**3. INFORMATION ON BORROWINGS**

**(a) Debenture Repayments**

| Particulars                          | Principal<br>1-Jul-17 | New<br>Loans<br>Actual | New<br>Loans<br>Budget | Principal<br>Repayments |                | Principal<br>Outstanding |                  | Interest<br>Repayments |                |
|--------------------------------------|-----------------------|------------------------|------------------------|-------------------------|----------------|--------------------------|------------------|------------------------|----------------|
|                                      |                       |                        |                        | Actual<br>\$            | Budget<br>\$   | Actual<br>\$             | Budget<br>\$     | Actual<br>\$           | Budget<br>\$   |
| <b>Health</b>                        |                       |                        |                        |                         |                |                          |                  |                        |                |
| L100 GG Medical Centre               | 209,564               |                        |                        | 12,014                  | 24,425         | 197,551                  | 185,139          | 6,821                  | 13,252         |
| <b>Housing</b>                       |                       |                        |                        |                         |                |                          |                  |                        |                |
| L129 Aged Accomodation               | 0                     | 0                      | 700,000                | 0                       | 0              | 0                        | 700,000          | 0                      | 0              |
| <b>Community Amenities</b>           |                       |                        |                        |                         |                |                          |                  |                        |                |
| L111 Tip Rationalisation Site        | 484,873               |                        |                        | 7,646                   | 15,540         | 477,227                  | 469,333          | 15,734                 | 31,220         |
| L127 - SB Erosion Extension          | 204,422               |                        |                        | 9,594                   | 19,309         | 194,827                  | 185,113          | 2,565                  | 5,011          |
| <b>Recreation &amp; Culture</b>      |                       |                        |                        |                         |                |                          |                  |                        |                |
| L114 Gu C/Club                       | 463,497               |                        |                        | 0                       | 28,952         | 463,497                  | 434,545          | 0                      | 32,586         |
| L115 Gu C/Club                       | 13,453                |                        |                        | 0                       | 13,453         | 13,453                   | 0                | 0                      | 728            |
| L119 LP Country Club & Granville     |                       |                        |                        |                         |                |                          |                  |                        |                |
| Civic Centre                         | 8,445                 |                        |                        | 0                       | 8,445          | 8,445                    | 0                | 0                      | 459            |
| L120 Regional Netball Facility       | 322,973               |                        |                        | 0                       | 18,278         | 322,973                  | 304,695          | 0                      | 21,274         |
| L124A Regional Hardcourt Facility    | 312,626               |                        |                        | 0                       | 18,599         | 312,626                  | 294,027          | 0                      | 12,721         |
| L126 Swimming Pool                   | 136,990               |                        |                        | 6,657                   | 13,416         | 130,333                  | 123,574          | 2,123                  | 4,144          |
| <b>Economic Services</b>             |                       |                        |                        |                         |                |                          |                  |                        |                |
| L103 Gingin Sale Yards               | 12,340                |                        |                        | 0                       | 5,987          | 12,340                   | 6,353            | 0                      | 654            |
| L128 Lancelin Caravan Park           | 0                     | 0                      | 200,000                | 0                       | 18,900         | 0                        | 181,100          | 0                      | 2,500          |
| <b>Other Property &amp; Services</b> |                       |                        |                        |                         |                |                          |                  |                        |                |
| L93 LA Angling/Aquatic               | 10,391                |                        |                        | 0                       | 10,391         | 10,391                   | 0                | 0                      | 511            |
| L118 Office Extensions               | 16,826                |                        |                        | 0                       | 16,826         | 16,826                   | 0                | 0                      | 913            |
| L123 Purchase Lot 44 Weld Street GG  | 212,827               |                        |                        | 0                       | 13,426         | 212,827                  | 199,401          | 0                      | 14,583         |
|                                      | <b>2,409,227</b>      | <b>0</b>               | <b>900,000</b>         | <b>35,911</b>           | <b>225,947</b> | <b>2,373,317</b>         | <b>3,083,280</b> | <b>27,244</b>          | <b>140,556</b> |

**SHIRE OF GINGIN**  
**NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017**

**3. INFORMATION ON BORROWINGS (continued)**

|  | Principal<br>Actual | Interest<br>Actual |
|--|---------------------|--------------------|
| (a) Debenture Repayments                                 | \$                  | \$                 |
| Repayment of Principal for Council Funded Loans will be  | 35,911              | 27,244             |
| Repayment of Principal for Self Supporting Loans will be | 0                   | 0                  |
|  | \$35,911            | \$27,244           |
| <br>(b) New Debentures                                   |                     |                    |
| Nil  |                     |                    |

## SHIRE OF GINGIN

## NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

|   | Sept<br>Y-T-D Actual<br>\$ | 2017/2018<br>Budget<br>\$ |
|---|----------------------------|---------------------------|
| <b>4. RESERVES</b>                                    |                            |                           |
| <b>Cash Backed Reserves</b>                           |                            |                           |
| (a) Long Service Leave, Sick Leave, Staff Contingency |                            |                           |
| Opening Balance                                       | 513,063                    | 513,063                   |
| Amount Set Aside / Transfer to Reserve                | 529                        | 10,725                    |
| Amount Used / Transfer from Reserve                   | -                          | -                         |
|   | <u>513,592</u>             | <u>523,788</u>            |
| (b) Office Equipment Replacement                      |                            |                           |
| Opening Balance                                       | 17,486                     | 17,486                    |
| Amount Set Aside / Transfer to Reserve                | 18                         | 366                       |
| Amount Used / Transfer from Reserve                   | -                          | (15,000)                  |
|   | <u>17,505</u>              | <u>2,852</u>              |
| (c) Plant & Equipment Replacement                     |                            |                           |
| Opening Balance                                       | 153,129                    | 153,129                   |
| Amount Set Aside / Transfer to Reserve                | 158                        | 818,201                   |
| Amount Used / Transfer from Reserve                   | -                          | -                         |
|   | <u>153,287</u>             | <u>971,330</u>            |
| (d) Land & Buildings General                          |                            |                           |
| Opening Balance                                       | 753,210                    | 653,210                   |
| Amount Set Aside / Transfer to Reserve                | 777                        | 83,811                    |
| Amount Used / Transfer from Reserve                   | -                          | (75,000)                  |
|   | <u>753,986</u>             | <u>662,021</u>            |
| (e) Guilderton Caravan Park Recreation                |                            |                           |
| Opening Balance                                       | 222,713                    | 222,713                   |
| Amount Set Aside / Transfer to Reserve                | 230                        | 1,283                     |
| Amount Used / Transfer from Reserve                   | -                          | (90,000)                  |
|   | <u>222,942</u>             | <u>133,996</u>            |
| (f) Shire Recreational Development                    |                            |                           |
| Opening Balance                                       | 204,380                    | 304,380                   |
| Amount Set Aside / Transfer to Reserve                | 211                        | 4,272                     |
| Amount Used / Transfer from Reserve                   | -                          | (220,000)                 |
|   | <u>204,590</u>             | <u>88,652</u>             |
| (g) Redfield Park Public Open Space                   |                            |                           |
| Opening Balance                                       | 29,762                     | 29,762                    |
| Amount Set Aside / Transfer to Reserve                | 31                         | 622                       |
| Amount Used / Transfer from Reserve                   | -                          | -                         |
|   | <u>29,793</u>              | <u>30,384</u>             |

## SHIRE OF GINGIN

## NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 TO 30 SEPTEMBER 2017

|   | Sept<br>Y-T-D Actual<br>\$ | 2017/2018<br>Budget<br>\$ |
|---|----------------------------|---------------------------|
| <b>RESERVES (continued)</b>                 |                            |                           |
| <b>(h) Ocean Farm Recreation</b>            |                            |                           |
| Opening Balance                             | 36,564                     | 36,564                    |
| Amount Set Aside / Transfer to Reserve      | 38                         | 764                       |
| Amount Used / Transfer from Reserve         | -                          | (7,237)                   |
|   | <u>36,602</u>              | <u>30,091</u>             |
| <b>(i) Tip Rationalisation</b>              |                            |                           |
| Opening Balance                             | 697,171                    | 697,171                   |
| Amount Set Aside / Transfer to Reserve      | 719                        | 14,573                    |
| Amount Used / Transfer from Reserve         | -                          | (87,399)                  |
|   | <u>697,890</u>             | <u>624,345</u>            |
| <b>(j) Lancelin Community Sporting Club</b> |                            |                           |
| Opening Balance                             | 49,002                     | 49,002                    |
| Amount Set Aside / Transfer to Reserve      | 51                         | 13,524                    |
| Amount Used / Transfer from Reserve         | -                          | (10,000)                  |
|   | <u>49,052</u>              | <u>52,526</u>             |
| <b>(k) Community Infrastructure Reserve</b> |                            |                           |
| Opening Balance                             | 87,429                     | 87,429                    |
| Amount Set Aside / Transfer to Reserve      | 90                         | 1,828                     |
| Amount Used / Transfer from Reserve         | -                          | -                         |
|   | <u>87,519</u>              | <u>89,257</u>             |
| <b>(l) Staff Housing Reserve</b>            |                            |                           |
| Opening Balance                             | 31,740                     | 31,740                    |
| Amount Set Aside / Transfer to Reserve      | 33                         | 663                       |
| Amount Used / Transfer from Reserve         | -                          | -                         |
|   | <u>31,773</u>              | <u>32,403</u>             |
| <b>(m) Future Infrastructure Reserve</b>    |                            |                           |
| Opening Balance                             | 531,524                    | 531,524                   |
| Amount Set Aside / Transfer to Reserve      | 548                        | 11,111                    |
| Amount Used / Transfer from Reserve         | -                          | (244,240)                 |
|   | <u>532,072</u>             | <u>298,395</u>            |
| <b>(n) Guilderton Country Club Reserve</b>  |                            |                           |
| Opening Balance                             | 2,852                      | 2,852                     |
| Amount Set Aside / Transfer to Reserve      | 3                          | 60                        |
| Amount Used / Transfer from Reserve         | -                          | -                         |
|   | <u>2,854</u>               | <u>2,912</u>              |
| <b>Total Cash Backed Reserves</b>           | <u>3,333,457</u>           | <u>3,542,952</u>          |

All of the above reserve accounts are supported by money held in financial institutions.

## SHIRE OF GINGIN

## NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

|   | Sept<br>Y-T-D Actual<br>\$ | 2017/2018<br>Budget<br>\$ |
|---|----------------------------|---------------------------|
| <b>4. RESERVES (Continued)</b>                    |                            |                           |
| <b>Summary of Transfers</b>                       |                            |                           |
| <b>To Cash Backed Reserves</b>                    |                            |                           |
| <b>Transfers to Reserves</b>                      |                            |                           |
| Transfers to Reserves                             |                            |                           |
| Long Service Leave, Sick Leave, Staff Contingency | 529                        | 10,725                    |
| Office Equipment Replacement                      | 18                         | 366                       |
| Plant & Equipment Replacement                     | 158                        | 818,201                   |
| Land & Buildings General                          | 777                        | 83,811                    |
| Guilderton Caravan Park Recreation                | 230                        | 1,283                     |
| Shire Recreational Development                    | 211                        | 4,272                     |
| Redfield Park Public Open Space                   | 31                         | 622                       |
| Ocean Farm Recreation                             | 38                         | 764                       |
| Tip Rationalisation                               | 719                        | 14,573                    |
| Lancelin Community Sporting Club                  | 51                         | 13,524                    |
| Community Infrastructure                          | 90                         | 1,828                     |
| Staff Housing Reserve                             | 33                         | 663                       |
| Guilderton Country Club Reserve                   | 3                          | 60                        |
| Future Infrastructure Reserve                     | 548                        | 11,111                    |
|   | <u>3,434</u>               | <u>961,803</u>            |
| <b>Transfers from Reserves</b>                    |                            |                           |
| Long Service Leave, Sick Leave, Staff Contingency | -                          | -                         |
| Office Equipment Replacement                      | -                          | (15,000)                  |
| Plant & Equipment Replacement                     | -                          | -                         |
| Land & Buildings General                          | -                          | (75,000)                  |
| Guilderton Caravan Park Recreation                | -                          | (90,000)                  |
| Shire Recreational Development                    | -                          | (220,000)                 |
| Redfield Park Public Open Space                   | -                          | -                         |
| Ocean Farm Recreation                             | -                          | (7,237)                   |
| Tip Rationalisation                               | -                          | (87,399)                  |
| Lancelin Community Sporting Club                  | -                          | (10,000)                  |
| Community Infrastructure                          | -                          | -                         |
| Staff Housing Reserve                             | -                          | -                         |
| Guilderton Country Club Reserve                   | -                          | -                         |
| Future Infrastructure Reserve                     | -                          | (244,240)                 |
|   | <u>-</u>                   | <u>(748,876)</u>          |
| <b>Total Transfer to/(from) Reserves</b>          | <u>3,434</u>               | <u>212,927</u>            |

In accordance with council resolutions in relation to each reserve account, the purpose for which the reserves are set aside are as follows: for which the reserves are set aside are as follows:

**Long Service Leave, Sick Leave, Staff Contingency**

Used to fund annual, long service leave, rostered days off (executive staff only), sick leave redundancy/retirement and staff contingency

SHIRE OF GINGIN  
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2017 TO 30 SEPTEMBER 2017

**Office Equipment Replacement Reserve**

Used for the acquisition and/or replacement of major items of office equipment (including computer system)

**Plant and Equipment Reserve**

Used for the purchase of major plant and equipment

**Land and Building General Reserve**

Used for the replacement and/or acquisition of land and buildings

**Guilderton Caravan Park Recreation**

Used for the development of Guilderton Caravan Park facilities

**Shire Recreational Development Reserve Shire Recreational Development Reserve**

Used for the development of Shire Recreational facilities

**Redfield Park Public Open Space Reserve**

Used for the development of Public Open Space within the Redfield Park subdivision

**Ocean Farm Recreation**

Used for the development of recreation and community facilities within the Ocean Farm subdivision

**Tip Rationalisation**

Used for rationalisation of rubbish tip facilities within the Shire

**Plant & Equipment/Infrastructure Replacement**

Used for replacement of Fire Equipment and Infrastructure for fire fighting purposes within the Shire

**Lancelin Community Sporting Club Reserve**

Used in developing building and other associated infrastructure at the Lancelin Community Sporting Club and are to be spent upon request from the Club, and approval from Council

**Community Infrastructure Reserve**

Used to assist in the financing of community facilities

**Staff Housing Contingency**

Staff housing infrastructure additions and/or replacement

**Future Infrastructure Reserve**

Used for the provision of renewal, upgrade and asset purchases

SHIRE OF GINGIN  
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

|  | Actual<br>Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | Actual<br>Brought<br>Forward<br>1-Jul<br>\$ |
|--|---|---|
| <b>5. NET CURRENT ASSETS</b>                               |   |   |
| <b>Composition of Estimated Net Current Asset Position</b> |   |   |
| <b>CURRENT ASSETS:</b>                                     |   |   |
| Cash - Unrestricted  | 5,094,673   | 994,821                                     |
| Cash - Restricted Reserves                                 | 4 3,333,457                                       | 3,330,023                                   |
| Cash - Restricted General                                  | 909,991   | 909,991                                     |
| Rates - Current  | 3,831,049   | 859,216                                     |
| Sundry Debtors   | 1,003,358   | 1,162,690                                   |
| Inventories  | 26,713  | 26,713                                      |
|  | <u>14,199,241</u>                                 | <u>7,283,454</u>                            |
| <b>LESS: CURRENT LIABILITIES</b>                           |   |   |
| Payables   | (373,568)   | (1,378,458)                                 |
| Employee Provisions  | (612,656)   | (612,656)                                   |
| Accrued Interest on Loans                                  | 0   | (30,606)                                    |
|  | <u>(986,224)</u>                                  | <u>(2,021,720)</u>                          |
|  | 13,213,018  | 5,261,734                                   |
| Less: Cash - restricted reserves                           | 4 (3,333,457)                                     | (3,330,023)                                 |
| <b>NET CURRENT ASSET POSITION</b>                          | <u><u>9,879,560</u></u>                           | <u><u>1,931,711</u></u>                     |



**SHIRE OF GINGIN**  
**NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017**

**6. RATING INFORMATION**

| <u>RATE TYPE</u>     | <u>Rate in<br/>\$</u> | <u>Number<br/>of<br/>Properties</u> | <u>Rateable<br/>Value<br/>\$</u> | <u>2017/2018<br/>Rate<br/>Revenue<br/>\$</u> | <u>2017/2018<br/>Interim<br/>Rates<br/>\$</u> | <u>2017/2018<br/>Back<br/>Rates<br/>\$</u> | <u>2017/2018<br/>Total<br/>Revenue<br/>\$</u> | <u>2017/2018<br/>Budget<br/>\$</u> |
|----------------------|-----------------------|-------------------------------------|----------------------------------|--|---|--|---|------------------------------------|
| <b>General Rate</b>  |                       |                                     |                                  |  |   |  |   |                                    |
| GRV - Townsites      | 0.083499              | 1,743                               | 28,508,235                       | 2,380,547                                    |   |  | 2,380,547                                     | 2,380,547                          |
| GRV - Other          | 0.083499              | 923                                 | 14,815,362                       | 1,267,167                                    |   |  | 1,267,167                                     | 1,267,167                          |
| UV - Rural           | 0.004504              | 422                                 | 286,427,000                      | 1,287,887                                    |   |  | 1,287,887                                     | 1,287,887                          |
| UV - Other           | 0.004504              | 1                                   | 2,800,000                        | 12,611                                       |   |  | 12,611  | 12,611                             |
| UV - Intensive       | 0.008448              | 118                                 | 64,543,000                       | 553,403                                      |   |  | 553,403                                       | 553,403                            |
| Interim Rates        |                       |                                     |                                  | 0  | 2,920   |  | 2,920   | 25,000                             |
| Back Rates           |                       |                                     |                                  | 0  |   | 346  | 346   | 10,000                             |
| <b>Sub-Totals</b>    |                       | 3,207                               | 397,093,597                      | 5,501,615                                    | 2,920   | 346  | 5,504,881                                     | 5,536,615                          |
| <b>Minimum Rates</b> | <b>Minimum<br/>\$</b> |                                     |                                  |  |   |  |   |                                    |
| GRV - Townsites      | 997                   | 879                                 | 6,752,442                        | 869,384                                      |   |  | 869,384                                       | 869,384                            |
| GRV - Other          | 997                   | 751                                 | 4,133,426                        | 728,807                                      |   |  | 728,807                                       | 728,807                            |
| UV - Rural           | 1260                  | 372                                 | 74,924,300                       | 475,020                                      |   |  | 475,020                                       | 475,020                            |
| UV - Other           | 1260                  | 96                                  | 675,764                          | 30,240                                       |   |  | 30,240  | 30,240                             |
| UV - Intensive       | 2,240                 | 19                                  | 15,554,347                       | 215,040                                      |   |  | 215,040                                       | 215,040                            |
| <b>Sub-Totals</b>    |                       | 2,117                               | 102,040,279                      | 2,318,491                                    | 0   | 0  | 2,318,491                                     | 2,318,491                          |
| Concessions          |                       |                                     |                                  |  | (94,284)                                      |  | (94,284)                                      | (95,000)                           |
| Rate Write Off       |                       |                                     |                                  |  |   |  | 0   |                                    |
| Ex-Gratia Rates      |                       |                                     |                                  |  |   |  | 0   | 4,500                              |
| <b>Totals</b>        |                       | 5,324                               | 499,133,876                      | 7,820,106                                    | (91,364)                                      | 346  | 7,729,088                                     | 7,764,606                          |

All land except exempt land in the Shire of Gingin is rated according to its Gross Rental Value (GRV) in townsites or Unimproved Value (UV) in the remainder of the Shire.

The general rates detailed above for the 2016/2017 financial year have been determined by Council on the basis of raising the revenue required to meet the deficiency between the total estimated expenditure proposed in the budget and the estimated revenue to be received from all sources other than rates and also bearing considering the extent of any increase in rating over the level adopted in the previous year.

The minimum rates have been determined by Council on the basis that all ratepayers must make a reasonable contribution to the cost of the Local Government services/facilities.

## SHIRE OF GINGIN

## NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

## 7. TRUST FUNDS

Funds held at balance date over which the Municipality has no control and which are not included in this statement are as follows:

| Detail                         | Balance<br>01-Jul-17<br>\$ | Amounts<br>Received<br>\$ | Amounts<br>Paid<br>(\$) | Sept<br>Y-T-D Actual<br>\$ |
|--------------------------------|----------------------------|---------------------------|-------------------------|----------------------------|
| Bonds, Tenders etc             | 9,117                      |                           |                         | 9,117                      |
| Car Parking Cash in Lieu       | 13,014                     |                           |                         | 13,014                     |
| Community Groups               | 4,293                      |                           |                         | 4,293                      |
| Councillors Nominations        | -                          |                           |                         | -                          |
| D Wedge Trust                  | 6,314                      | 13                        |                         | 6,327                      |
| Excavation Bonds               | 26,096                     |                           |                         | 26,096                     |
| Footpath Bonds                 | 5,982                      |                           |                         | 5,982                      |
| Landscaping Bonds              | 49,767                     |                           |                         | 49,767                     |
| Old Junction Hotel Restoration | 1,743                      |                           |                         | 1,743                      |
| Other Bonds/Trusts             | 21,457                     | 914                       | 118                     | 22,253                     |
| Public Open Space              | 34,465                     |                           |                         | 34,465                     |
| Rehabilitation Bonds           | 85,831                     |                           |                         | 85,831                     |
| Second Hand Buildings          | 47,639                     |                           |                         | 47,639                     |
| Staff Trust                    | 16,880                     | 5,111                     | 6,410                   | 15,581                     |
| Subdivision Bonds              | 207,138                    |                           |                         | 207,138                    |
| Tree Planting Bonds            | 5,456                      |                           |                         | 5,456                      |
| Trust Interest                 | 0                          | 682                       |                         | 682                        |
|                                | 535,193                    | 6,719                     | 6,528                   | 535,383                    |

**SHIRE OF GINGIN**  
**NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017**

**8. OPERATING STATEMENT**

|   | Sept<br>2017/2018<br>Y-T-D Actual<br>\$ | 2017/2018<br>Budget<br>\$ | 2016/2017<br>Actual<br>\$ |
|---|---|---------------------------|---------------------------|
| <b>OPERATING REVENUES</b>                                 |   |                           |                           |
| Governance  | 39                                      | 0                         | 534                       |
| General Purpose Funding                                   | 7,925,902                               | 8,934,925                 | 10,555,255                |
| Law, Order, Public Safety                                 | 63,609                                  | 449,083                   | 779,095                   |
| Health  | 221,637                                 | 290,000                   | 246,157                   |
| Education and Welfare                                     | 28,300                                  | 117,000                   | 127,217                   |
| Housing   | 5,320                                   | 23,400                    | 24,280                    |
| Community Amenities                                       | 1,328,225                               | 1,663,038                 | 2,335,826                 |
| Recreation and Culture                                    | 247,027                                 | 600,694                   | 575,412                   |
| Transport   | 573,328                                 | 1,791,539                 | 1,811,071                 |
| Economic Services   | 477,326                                 | 1,930,203                 | 1,983,912                 |
| Other Property and Services                               | 164,077                                 | 216,550                   | 336,435                   |
| Restricted Cash   | 818                                     | 45,000                    | (626,578)                 |
| <b>TOTAL OPERATING REVENUE</b>                            | <b>11,035,608</b>                       | <b>16,061,432</b>         | <b>18,148,616</b>         |
| <b>OPERATING EXPENSES</b>                                 |   |                           |                           |
| Governance  | (73,631)                                | (1,121,949)               | (1,003,716)               |
| General Purpose Funding                                   | (38,358)                                | (371,628)                 | (425,934)                 |
| Law, Order, Public Safety                                 | (149,647)                               | (1,341,733)               | (1,484,151)               |
| Health  | (137,200)                               | (647,945)                 | (853,712)                 |
| Education and Welfare                                     | (14,772)                                | (209,182)                 | (180,186)                 |
| Housing   | (15,274)                                | (30,460)                  | (29,725)                  |
| Community Amenities                                       | (253,293)                               | (2,650,997)               | (2,250,652)               |
| Recreation & Culture                                      | (277,424)                               | (2,984,794)               | (3,169,400)               |
| Transport   | (559,936)                               | (4,220,571)               | (2,082,557)               |
| Economic Services   | (225,288)                               | (1,635,636)               | (1,652,775)               |
| Other Property and Services                               | (691,298)                               | (703,570)                 | (1,287,904)               |
| Restricted Cash   | (818)                                   | 509,176                   | 0                         |
| <b>TOTAL OPERATING EXPENSE</b>                            | <b>(2,436,938)</b>                      | <b>(15,409,289)</b>       | <b>(14,420,713)</b>       |
| <b>CHANGE IN NET ASSETS<br/>RESULTING FROM OPERATIONS</b> | <b>8,598,670</b>                        | <b>652,143</b>            | <b>3,727,903</b>          |

## SHIRE OF GINGIN

## NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 30 SEPTEMBER 2017

## 9. STATEMENT OF FINANCIAL POSITION

|                                      | Sept<br>2017/18<br>Y-T-D Actual<br>\$ | 2016/2017<br>Actual<br>\$ |
|--------------------------------------|---------------------------------------|---------------------------|
| <b>CURRENT ASSETS</b>                |                                       |                           |
| Cash Assets                          | 6,004,664                             | 1,904,812                 |
| Reserves - Cash Backed               | 3,333,457                             | 3,330,023                 |
| Receivables - Cash                   | 4,834,407                             | 1,991,420                 |
| Receivables - Non Cash               | 35,557                                | 40,593                    |
| Inventories                          | 26,713                                | 26,713                    |
| <b>TOTAL CURRENT ASSETS</b>          | <b>14,234,799</b>                     | <b>7,293,562</b>          |
| <b>NON-CURRENT ASSETS</b>            |                                       |                           |
| Receivables                          | 148,898                               | 149,418                   |
| Inventories                          | -5                                    | 0                         |
| Property, Plant and Equipment        | 56,585,728                            | 55,108,739                |
| Infrastructure                       | 98,670,250                            | 99,969,173                |
| <b>TOTAL NON-CURRENT ASSETS</b>      | <b>155,404,871</b>                    | <b>155,227,330</b>        |
| <b>TOTAL ASSETS</b>                  | <b>169,639,670</b>                    | <b>162,520,891</b>        |
| <b>CURRENT LIABILITIES</b>           |                                       |                           |
| Payables                             | 373,568                               | 1,338,110                 |
| Accrued Interest on Debentures       | 0                                     | 30,606                    |
| Interest-bearing Liabilities         | 171,137                               | 0                         |
| Provisions                           | 612,656                               | 688,185                   |
| <b>TOTAL CURRENT LIABILITIES</b>     | <b>1,157,360</b>                      | <b>2,056,901</b>          |
| <b>NON-CURRENT LIABILITIES</b>       |                                       |                           |
| Interest-bearing Liabilities         | 2,402,180                             | 2,409,227                 |
| Provisions                           | 262,497                               | 152,503                   |
| <b>TOTAL NON-CURRENT LIABILITIES</b> | <b>2,664,677</b>                      | <b>2,561,730</b>          |
| <b>TOTAL LIABILITIES</b>             | <b>3,822,037</b>                      | <b>4,618,631</b>          |
| <b>NET ASSETS</b>                    | <b>165,817,633</b>                    | <b>157,902,260</b>        |
| <b>EQUITY</b>                        |                                       |                           |
| Reserves - Asset Revaluation         | 107,571,075                           | 106,207,280               |
| Reserves - Cash Backed               | 3,333,457                             | 3,330,023                 |
| Retained Surplus                     | 54,913,100                            | 48,364,957                |
| <b>TOTAL EQUITY</b>                  | <b>165,817,633</b>                    | <b>157,902,260</b>        |

# APPENDIX 2

LIST OF ACCOUNTS PAID BY COUNCIL SUBMITTED TO THE  
COUNCIL MEETING HELD ON OCTOBER 2017

| TYPE     | DATE PAID NAME                              | DETAILS                              | AMOUNT    |
|----------|---|--------------------------------------|-----------|
| Chq/EFT  |   |                                      |           |
| EFT22496 | 06/09/2017 HITACHI                          | PARTS FOR SERVICE FOR GG003          | 1465.77   |
| EFT22497 | 06/09/2017 TONY PISCONERI                   | WASTE MANAGEMENT                     | 15180.00  |
| EFT22498 | 06/09/2017 MCLEODS                          | REVIEW OF EASEMENT                   | 1015.97   |
| EFT22499 | 06/09/2017 ENZED PERTH                      | SERVICE TO PRESSURE CLEANER DEPOT    | 522.03    |
| EFT22500 | 06/09/2017 BINDOON TRACTORS                 | PARTS FOR SERVICE FOR GG041          | 956.97    |
| EFT22501 | 06/09/2017 GINGIN TREE SERVICES PTY LTD     | REMOVE TREES                         | 1980.00   |
| EFT22502 | 06/09/2017 WANGARA VOLKSWAGEN               | 110000 SERVICE FOR GG009             | 903.60    |
| EFT22503 | 06/09/2017 NESSCO                           | HITACHI RADIO FOR GG003 (GRADER)     | 240.90    |
| EFT22504 | 06/09/2017 GINGIN FUEL AND TYRES            | TYRES FOR GG6014 (TRAILER)           | 1873.86   |
| EFT22505 | 06/09/2017 STATE LAW PUBLISHER              | LND/195 - PLANNING SCHEME NO. 9      | 85.40     |
| EFT22506 | 06/09/2017 CIVEX GOUNP                      | WORKS AT LP COUNTRY CLUB             | 4901.27   |
| EFT22507 | 07/09/2017 RSPCA WA (INC.)                  | PAYROLL DEDUCTIONS                   | 10.00     |
| EFT22508 | 07/09/2017 LGRCEU (WA DIVISION)             | PAYROLL DEDUCTIONS                   | 82.00     |
| EFT22509 | 07/09/2017 HIF                              | PAYROLL DEDUCTIONS                   | 157.55    |
| EFT22510 | 07/09/2017 SOCIAL CLUB                      | PAYROLL DEDUCTIONS                   | 1379.00   |
| EFT22511 | 07/09/2017 PAYWISE                          | VEHICLE LEASE                        | 2172.34   |
| EFT22512 | 07/09/2017 GULL GINGIN                      | CATERING                             | 451.20    |
| EFT22514 | 07/09/2017 CASTLEDIX WORKSPACE SOLUTIONS    | SUPPLY NEW CABINET                   | 5898.75   |
| EFT22515 | 07/09/2017 WATERLOGIC AUSTRALIA PTY LTD     | FILTRATION SYSTEM                    | 133.10    |
| EFT22516 | 07/09/2017 COMMERCIAL AIR SOLUTIONS (CAS)   | SCHEDULED SERVICE                    | 1164.75   |
| EFT22517 | 07/09/2017 1ST GINGIN SCOUT GROUP           | APPROVED APPLICATION X1              | 220.00    |
| EFT22518 | 07/09/2017 PEDDERS SUSPENSION               | WHEEL ALIGNMENT                      | 99.00     |
| EFT22519 | 07/09/2017 OCEAN AND EARTH SPORTS           | DEPOSIT                              | 1846.90   |
| EFT22521 | 07/09/2017 LA COMMUNITY AND SPORTING CLUB   | APPROVED KIDSPORT APPLICATION X 1    | 85.00     |
| EFT22522 | 07/09/2017 GEORGE ARTHUR GORDON             | REIMBURSEMENT FOR GLASSES            | 199.00    |
| EFT22523 | 07/09/2017 EXPERIENCE LA HOLIDAY PARK       | MANAGEMENT FEE FOR THE LA CARAVAN P  | 28559.31  |
| EFT22524 | 08/09/2017 WANT PLUMBING SERVICES           | PLUMBING REPAIRS                     | 1127.50   |
| EFT22525 | 08/09/2017 4 HEALTHCARE PTY LTD             | CHANGE TABLE/CEILING MOUNTED HOIST   | 12508.00  |
| EFT22526 | 08/09/2017 BRADLEY G TURNER                 | DAMAGE TO FLOORING ON RENTAL PROP    | 1000.00   |
| EFT22527 | 08/09/2017 HOPKINS J & K                    | PROVIDE NEW OFFICE FURNITURE         | 3063.00   |
| EFT22528 | 08/09/2017 MCLEODS                          | ANNUAL AUDIT 2017                    | 165.00    |
| EFT22529 | 08/09/2017 KUSTERS, THOMAS                  | PLUMBING REPAIRS                     | 304.00    |
| EFT22530 | 08/09/2017 COMMERCIAL AIR SOLUTIONS (CAS)   | AIR CON REPAIRS                      | 737.00    |
| EFT22531 | 08/09/2017 DUDLEY CHEMICALS PTY LTD         | TOILETRIES AND CLEANING PRODUCTS     | 3861.65   |
| EFT22532 | 08/09/2017 COASTLINE CLEANING SERVICES      | CLEANING OF PUBLIC CONVENIENCES      | 4296.00   |
| EFT22533 | 08/09/2017 COMMERCIAL LOCKSMITHS            | REPLACE LOCK AND REKEY               | 477.95    |
| EFT22534 | 08/09/2017 RECALL                           | STORAGE CARTONS - ARCHIVING          | 355.03    |
| EFT22535 | 08/09/2017 TROY'S PLUMBING PTY LTD          | PLUMBING REPAIRS                     | 440.00    |
| EFT22536 | 08/09/2017 SHIELDS POWER CLEAN              | TENANT VACATE CLEAN                  | 300.00    |
| EFT22537 | 08/09/2017 KEVIN VINE                       | ANNUAL CLEANING OF ABLUTIONS         | 2153.54   |
| EFT22538 | 08/09/2017 WESTSUN SOLAR PTY LTD            | SUPPLY/INSTALL SOLAR POWER SYSTEM    | 24500.00  |
| EFT22539 | 08/09/2017 COURIER AUSTRALIA                | FREIGHT                              | 113.17    |
| EFT22540 | 11/09/2017 FUEL DISTRIBUTORS OF WA PTY LTD  | DIESEL                               | 8322.00   |
| EFT22541 | 11/09/2017 LA COMMUNITY AND SPORTING CLUB   | MID YEAR GRANT                       | 20000.00  |
| EFT22542 | 12/09/2017 ZIPFORM                          | SHIRE OF GINGIN RATE NOTICE MAILOUT  | 10575.34  |
| EFT22543 | 12/09/2017 HERSEY JR & A                    | PPE SCISSORS AND RAKE                | 737.33    |
| EFT22544 | 12/09/2017 MARKETFORCE PRODUCTIONS          | ADVERTISING                          | 4422.78   |
| EFT22545 | 12/09/2017 WALGA                            | 2017 WALGA CONVENTION - MRS ASPINALL | 120.00    |
| EFT22546 | 12/09/2017 JB HI-FI                         | PHONES FOR OUTSIDE STAFF             | 3526.60   |
| EFT22547 | 12/09/2017 JOANNE TONNA GRAPHIC DESIGN      | ADVERTISING                          | 540.00    |
| EFT22548 | 12/09/2017 BROOKS HIRE SERVICE              | DRY HIRE OF A MULTI-TYRED ROLLER     | 5332.80   |
| EFT22549 | 12/09/2017 COO-EE COURIERS                  | FREIGHT                              | 201.96    |
| EFT22550 | 12/09/2017 KUSTERS, THOMAS                  | SUPPLY/FIT HOT WATER SYSTEM          | 1180.00   |
| EFT22555 | 12/09/2017 GINGIN TRADING                   | LAUNDRY ROOM STRUCTURE MATERIALS A   | 5459.76   |
| EFT22556 | 12/09/2017 LA TRADE AND RURAL SUPPLIES      | AUGUST 2017 ACCOUNT                  | 3706.35   |
| EFT22557 | 12/09/2017 DFES                             | ESL PAYMENT FOR AUGUST               | 107181.40 |
| EFT22558 | 13/09/2017 TOTALLY WORKWEAR                 | RED POLO TOPS FOR NEW STAFF          | 382.60    |
| EFT22559 | 13/09/2017 BUILDING COMMISSION              | BRB AUGUST 2017                      | 6376.78   |
| EFT22560 | 14/09/2017 GEOFFREY LIDDELOW                | MANAGEMENT GU CARAVAN PARK           | 41250.00  |
| EFT22561 | 14/09/2017 OF COMMUNITY & REC ASSOCIATION   | DEVELOPMENT OF COMMUNITY FACILITIES  | 7237.00   |
| EFT22563 | 14/09/2017 MCLEODS                          | LP COUNTRY CLUB LEASE                | 837.33    |
| EFT22564 | 14/09/2017 ASHLEYS ELECTRICAL SERVICES      | REPAIRS TO SITE 134                  | 253.00    |
| EFT22565 | 14/09/2017 MICHAEL HAROLD LIDDELOW          | SUPPLY CONCRETE LID AND GRATE        | 984.50    |
| EFT22566 | 14/09/2017 FV & M SMIT TRUST ACCOUNT        | DOCTOR'S SUPPORT                     | 4183.93   |
| EFT22567 | 14/09/2017 OFFICEMAX AUSTRALIA LTD          | STATIONERY                           | 204.77    |
| EFT22568 | 14/09/2017 KAKADU SYSTEMS                   | WEBSITE AND DOMAIN HOSTING           | 165.00    |
| EFT22569 | 14/09/2017 DAIMLER TRUCKS PERTH             | PARTS AND REPAIRS FOR GG034          | 751.45    |
| EFT22570 | 14/09/2017 AUSTRALIA POST                   | POSTAGE                              | 975.00    |
| EFT22571 | 14/09/2017 GINGIN FUEL AND TYRES            | DIESEL                               | 53.00     |
| EFT22572 | 14/09/2017 JE MIEL T/AS GINGIN IGA EXPRESS  | AUGUST ACCOUNT 2017                  | 820.33    |
| EFT22573 | 14/09/2017 ESPLANADE HOTEL                  | ACCOMMODATION FOR 3 X STAFF          | 670.00    |
| EFT22574 | 14/09/2017 CANON FINANCE AUSTRALIA PTY LTD  | PHOTO COPIER PAYMENT                 | 9218.00   |
| EFT22575 | 15/09/2017 CSSTECH                          | SHORETEL PARTNER SUPPORT             | 1815.00   |
| EFT22576 | 18/09/2017 AFGRI EQUIPMENT PTY LTD          | BLADES FOR MOWERS                    | 2723.63   |
| EFT22577 | 18/09/2017 RODERICK PETHER                  | RATES REFUND                         | 3595.93   |
| EFT22578 | 18/09/2017 CELLARBRATIONS GINGIN            | REFRESHMENTS                         | 31.99     |
| EFT22579 | 18/09/2017 CITY OF WANNEROO                 | ISSUE OF BUILDING PERMIT             | 615.00    |
| EFT22580 | 18/09/2017 BOYA EQUIPMENT                   | BLADES FOR MOWER                     | 381.98    |
| EFT22581 | 18/09/2017 DARRYL BRENDON FERGUSON          | BACKFILL DRAINAGE PIPE, DRIVEWAY     | 2200.00   |
| EFT22582 | 18/09/2017 ASHLEYS ELECTRICAL SERVICES      | ELECTRICAL SYSTEM FOR NEW BUS SHED   | 1727.00   |
| EFT22583 | 18/09/2017 DVG WANNEROO MITSUBISHI          | SCHEDULED SERVICE                    | 669.46    |
| EFT22584 | 18/09/2017 MOORE RIVER ELECTRICAL           | FLOOD LIGHTS /SWITCHES /INSTALL RCD  | 627.00    |
| EFT22585 | 18/09/2017 SUNNY SIGNS COMPANY PTY LTD      | SIGNS                                | 264.00    |
| EFT22586 | 18/09/2017 GINGIN MECHANICAL SERVICES       | 1000L OF ADD BLUE / 205 OF 600 HYDRO | 2012.70   |
| EFT22587 | 18/09/2017 DARREN LONG CONSULTING           | LONG TERM FINANCIAL PLAN PREP        | 6800.00   |
| EFT22588 | 18/09/2017 NORTHERN VALLEY NEWS             | ADVERTISING                          | 2400.00   |
| EFT22589 | 18/09/2017 GINGIN PREMIUM MEATS             | CATERING                             | 165.00    |
| EFT22590 | 18/09/2017 JOANNE TONNA GRAPHIC DESIGN      | PUBLICATION - EARLY RATES SPONSOR    | 120.00    |
| EFT22591 | 18/09/2017 GINGIN FUEL AND TYRES            | VALVE RUST BAND AND TYRE REPAIR      | 97.00     |
| EFT22592 | 18/09/2017 HITACHI CONSTRUCTION MACHINERY P | PGG003 6070 2000 HRS SERVICE OILS    | 356.50    |

|          |            |                                    |                                       |          |
|----------|------------|------------------------------------|---------------------------------------|----------|
| EFT22593 | 18/09/2017 | AFGRI EQUIPMENT PTY LTD            | GG012 NEW SEAT COVER                  | 236.50   |
| EFT22594 | 18/09/2017 | TOLL IPEC PTY LTD                  | FREIGHT                               | 10.49    |
| EFT22595 | 18/09/2017 | GULL GINGIN                        | CATERING                              | 81.60    |
| EFT22596 | 18/09/2017 | TUTT BRYANT EQUIPMENT              | GG029 ROLLER FUEL FAULT 2 INJECTORS   | 5557.30  |
| EFT22597 | 18/09/2017 | OFFICEMAX AUSTRALIA LTD            | STATIONERY                            | 90.05    |
| EFT22598 | 18/09/2017 | ROAD SIGNS AUSTRALIA               | SIGNS                                 | 326.70   |
| EFT22599 | 18/09/2017 | COVS PARTS PTY LTD                 | SPARK PLUG                            | 33.88    |
| EFT22600 | 18/09/2017 | ITR WESTERN AUSTRALIA              | PGG016 NEW CUTTING EDGE AND BOLTS     | 893.11   |
| EFT22601 | 18/09/2017 | CLASSIC COUNTRY TILING             | TLING CWA BUILDING                    | 3000.00  |
| EFT22602 | 18/09/2017 | COURIER AUSTRALIA                  | FREIGHT                               | 99.51    |
| EFT22603 | 18/09/2017 | BOC                                | GAS BOTTLE HIRE                       | 343.73   |
| EFT22604 | 18/09/2017 | AUSTRALIAN TAXATION OFFICE         | AUGUST BAS 2017                       | 8967.00  |
| EFT22605 | 19/09/2017 | STEWART AND HEATON CLOTHING        | PPE                                   | 230.82   |
| EFT22606 | 19/09/2017 | HERSEY JR & A                      | EARMUFFS AND SUNGLASSES               | 1582.04  |
| EFT22607 | 19/09/2017 | DARRYL CRAIG GORDON                | SAFETY LENSES FOR GLASSES             | 200.00   |
| EFT22608 | 19/09/2017 | ENZED PERTH                        | PARTS FOR REPAIR OF HOSE TO GG077     | 3474.10  |
| EFT22609 | 19/09/2017 | COVS PARTS PTY LTD                 | SPILL KIT FOR FUEL AT DEPOT           | 1104.19  |
| EFT22610 | 19/09/2017 | CVC LINE MARKING AND SIGNAGE       | LINEMARKING DISABLED BAYS,            | 841.50   |
| EFT22611 | 19/09/2017 | LIQUID LABS WA                     | CONDUCTING LIMESTONE TEST             | 638.00   |
| EFT22612 | 19/09/2017 | COURIER AUSTRALIA                  | FREIGHT                               | 103.61   |
| EFT22613 | 19/09/2017 | GINGIN FUEL AND TYRES              | DIESEL                                | 123.95   |
| EFT22614 | 19/09/2017 | WRIGHT EXPRESS                     | AUGUST ACCOUNT 2017                   | 1357.98  |
| EFT22615 | 19/09/2017 | LANCELIN GULL ROADHOUSE            | AUGUST ACCOUNT 2017                   | 838.71   |
| EFT22616 | 19/09/2017 | GRO-TURF PTY LTD                   | MOWING                                | 36104.99 |
| EFT22617 | 19/09/2017 | COVS PARTS PTY LTD                 | BUSH KIT LEADING ARM FOR GG082        | 105.27   |
| EFT22618 | 19/09/2017 | MOORE RIVER ROADHOUSE              | AUGUST ACCOUNT 2017                   | 1225.93  |
| EFT22619 | 20/09/2017 | SEBASTIAN CAMILLO                  | HOME INTERNET ACCESS                  | 681.00   |
| EFT22620 | 21/09/2017 | PLE COMPUTERS PTY LTD              | REPLACEMENT MONITORS                  | 1146.25  |
| EFT22621 | 21/09/2017 | RSPCA WA (INC.)                    | PAYROLL DEDUCTIONS                    | 10.00    |
| EFT22622 | 21/09/2017 | LGRCEU (WA DIVISION)               | PAYROLL DEDUCTIONS                    | 82.00    |
| EFT22623 | 21/09/2017 | HIF                                | PAYROLL DEDUCTIONS                    | 157.55   |
| EFT22624 | 21/09/2017 | SOCIAL CLUB                        | PAYROLL DEDUCTIONS                    | 1379.00  |
| EFT22625 | 21/09/2017 | PAYWISE                            | VEHICLE LEASE PE 19/9/2017            | 2172.34  |
| EFT22626 | 26/09/2017 | WALGA                              | STAFF COURSES                         | 2024.00  |
| EFT22627 | 26/09/2017 | SORENSEN SHORT AND ASSOC           | SEABIRD SEAWALL MONITORING            | 1881.00  |
| EFT22628 | 26/09/2017 | PEDDERS SUSPENSION                 | WHEEL ALIGNMENT                       | 99.00    |
| EFT22629 | 26/09/2017 | COVS PARTS PTY LTD                 | LAMPS AND BEACONS                     | 1469.21  |
| EFT22630 | 26/09/2017 | M P ROGERS & ASSOCIATES            | DESIGN BOAT LAUNCHING FACILITY LP     | 2642.18  |
| EFT22631 | 26/09/2017 | GINGIN PREMIUM MEATS               | CATERING                              | 200.00   |
| EFT22632 | 26/09/2017 | GINGIN FUEL AND TYRES              | GRASS SPRAY                           | 260.00   |
| EFT22633 | 26/09/2017 | LANCELIN SANDS                     | ROCK PITCHING DRAINAGE KING DRIVE     | 4950.00  |
| EFT22634 | 26/09/2017 | STATE LAW PUBLISHER                | ADVERTISING                           | 367.16   |
| EFT22635 | 26/09/2017 | LANDGATE                           | VALUATIONS                            | 110.60   |
| EFT22636 | 26/09/2017 | PLANNING INSTITUTE AUSTRALIA       | L EDWARDS FULL MEMBERSHIP PIA         | 486.32   |
| EFT22637 | 26/09/2017 | WANT PLUMBING SERVICES             | REPAIRS GUILDERTON CARAVAN PARK       | 38038.00 |
| EFT22638 | 26/09/2017 | ADS AUTOMATION PTY LTD             | BOOM GATE INSPECTION AND REPAIRS      | 555.50   |
| EFT22639 | 26/09/2017 | GINGIN DISTRICT HIGH SCHOOL        | ADVERTISING - GDHS NEWSLETTER         | 10.00    |
| EFT22640 | 26/09/2017 | COMMUNITY NEWSPAPER GROUP          | ADVERTISING                           | 2168.87  |
| EFT22641 | 26/09/2017 | GULL GINGIN                        | STUDENT COUNCIL MEETING CATERING      | 144.00   |
| EFT22642 | 26/09/2017 | WALGA                              | WALGA PEOPLE AND CULTURE SEMINAR      | 500.00   |
| EFT22644 | 26/09/2017 | MOORE RIVER ELECTRICAL             | CALL OUT TO REPAIR BROKEN CONDUIT     | 132.00   |
| EFT22645 | 26/09/2017 | LANCELIN IGA XPRESS                | ACCOUNT                               | 161.79   |
| EFT22646 | 26/09/2017 | DEPARTMENT OF TRANSPORT            | VEHICLE SEARCH                        | 15.75    |
| EFT22648 | 26/09/2017 | EXPERIENCE LA HOLIDAY PARK PTY LTD | MANAGEMENT FEE SHORTAGE               | 2596.63  |
| EFT22649 | 26/09/2017 | IT VISION AUSTRALIA PTY LTD        | MILEAGE                               | 159.01   |
| EFT22650 | 26/09/2017 | KLEENHEAT GAS PTY LTD              | CARAVAN PARK REFILLS                  | 650.84   |
| EFT22651 | 26/09/2017 | FUEL DISTRIBUTORS OF WA PTY LTD    | DIESEL                                | 13947.50 |
| EFT22652 | 27/09/2017 | COLIN WAYNE FEWSTER                | QUARTERLY PAYMENT                     | 2505.00  |
| EFT22653 | 27/09/2017 | IAN BYRON COLLARD                  | QUARTERLY PAYMENT                     | 3505.00  |
| EFT22654 | 27/09/2017 | MICHAEL ASPINALL                   | QUARTERLY PAYMENT                     | 2505.00  |
| EFT22655 | 27/09/2017 | JANICE COURT                       | QUARTERLY PAYMENT                     | 2505.00  |
| EFT22656 | 27/09/2017 | VALERIE JOY AMMON                  | QUARTERLY PAYMENT                     | 2505.00  |
| EFT22657 | 27/09/2017 | DAVID WILLIAM ROE                  | QUARTERLY PAYMENT                     | 10139.29 |
| EFT22658 | 27/09/2017 | JOHN WILLIAM ELGIN                 | QUARTERLY PAYMENT                     | 2505.00  |
| EFT22659 | 27/09/2017 | SANDRA SMILES                      | QUARTERLY PAYMENT                     | 3076.79  |
| EFT22660 | 27/09/2017 | FRANK JOSEPH PECZKA                | QUARTERLY PAYMENT                     | 2505.00  |
| EFT22661 | 28/09/2017 | IT VISION AUSTRALIA PTY LTD        | MONTHLY HOSTING FEE                   | 660.00   |
| EFT22662 | 28/09/2017 | HELEN MARJORIE HUMPHRY             | RATES REFUND                          | 1663.00  |
| EFT22663 | 28/09/2017 | ADFORM ENGRAVING & SIGNS           | NAME PLATES/5X MAGNETIC BADGES        | 367.40   |
| EFT22664 | 28/09/2017 | WRIDGWAYS - REMOVALISTS            | REMOVAL COSTS RAEES RASOOL            | 1560.35  |
| EFT22665 | 28/09/2017 | HERSEY JR & A                      | PPE                                   | 364.10   |
| EFT22666 | 28/09/2017 | WURTH AUSTRALIA PTY LTD            | STANLEY BLADES AND BRAKE CLEANER      | 136.55   |
| EFT22667 | 28/09/2017 | MOORE RIVER SKIP BINS              | RECYCLING                             | 880.00   |
| EFT22668 | 28/09/2017 | H2O CAR DETAILING SERVICES         | CAR DETAIL ON 6 GG                    | 160.00   |
| EFT22669 | 28/09/2017 | F&R CLASSIC CABINETS (WA) PTY LTD  | SUPPLY AND INSTALL 2 NO. KITCHENS     | 9311.50  |
| EFT22670 | 28/09/2017 | FORCH                              | WORKSHOP CONSUMABLES                  | 128.64   |
| EFT22671 | 28/09/2017 | GINGIN FUEL AND TYRES              | GG060 4XNEW REAR TYRES FITTED         | 2054.70  |
| EFT22672 | 28/09/2017 | MIDLAND TOYOTA                     | OGG 2 FILTER KITS 20K SERVICE         | 345.05   |
| EFT22673 | 28/09/2017 | WANT PLUMBING SERVICES             | REPLACE CISTERN AND SWITCHGEAR        | 1815.00  |
| EFT22674 | 28/09/2017 | LGIS RISK MANAGEMENT               | GU PUBLIC LIABILITY SITE RISK ASSESS  | 4224.00  |
| EFT22675 | 28/09/2017 | ASHLEYS ELECTRICAL SERVICES        | CHECK AND REPAIR POWER POINT          | 237.60   |
| EFT22676 | 28/09/2017 | MOORE RIVER ELECTRICAL SERVICES    | REPAIR FAULTY HOT WATER SYSTEM        | 330.00   |
| EFT22677 | 28/09/2017 | CHITTERING SEPTIC SERVICE          | PUMP AND REMOVE SEPTIC WASTE          | 80.00    |
| EFT22678 | 28/09/2017 | L M AND V A CARLISLE AND CO        | TLING TO KITCHEN WALLS IN UNITS 8 & 9 | 850.00   |
| EFT22679 | 28/09/2017 | RODNEY & JOY VENESS                | CLEANING OF SEABIRD ABLUTION 17/18    | 260.00   |
| EFT22680 | 28/09/2017 | LEDGE'S KANGA AND SKIP BIN HIRE    | SKIP BIN HIRE - LANCELIN JETTY        | 880.00   |
| EFT22681 | 28/09/2017 | GINGIN PREMIUM MEATS               | CATERING                              | 236.50   |
| EFT22682 | 28/09/2017 | JOANNE TONNA GRAPHIC DESIGN        | PUBLICATION - FIGHT THE FLY           | 360.00   |
| EFT22683 | 28/09/2017 | LANDGATE                           | LAND ENQUIRIES                        | 25.30    |
| EFT22684 | 29/09/2017 | LOCAL GOVERNMENT PROFESSIONALS     | LOCAL GOVT PROF ANNUAL CONFERENCE     | 1700.00  |
| EFT22685 | 29/09/2017 | DVG WANNEROO MITSUBISHI            | REAR VIEW CAMERA KIT DISPLAY          | 338.83   |
| EFT22686 | 29/09/2017 | FV & M SMIT TRUST ACCOUNT          | DOCTOR'S SUPPORT                      | 3077.04  |
| EFT22687 | 29/09/2017 | HEMPFIELD SMALL MOTORS             | FILTERS, FUEL FILTERS, REGULATOR      | 597.80   |
| EFT22688 | 29/09/2017 | COVS PARTS PTY LTD                 | REPLACEMENT TAPS                      | 318.42   |
| EFT22689 | 29/09/2017 | H2O CAR DETAILING SERVICES         | 1 CAR DETAIL                          | 180.00   |

|                      |            |                                 |                                      |                   |
|----------------------|------------|---------------------------------|--------------------------------------|-------------------|
| EFT22690             | 29/09/2017 | WOODS FILMS                     | CONFERENCE & PROMOTIONAL VIDEOS      | 1600.00           |
| EFT22691             | 29/09/2017 | GINGIN FUEL AND TYRES           | REAR TYRE                            | 615.09            |
| EFT22692             | 29/09/2017 | GU VOLUNTEER BUSH FIRE BRIGADE  | MAINTENANCE MATERIALS-FIRE SHED      | 487.91            |
| EFT22693             | 29/09/2017 | ADVANCED TRAFFIC MANAGEMENT     | TRAFFIC CONTRL                       | 9521.16           |
| EFT22694             | 29/09/2017 | HANSON CONSTRUCTION MATERIALS P | SUPPLY AND DELIVERY OF SAND          | 1950.52           |
| EFT22695             | 29/09/2017 | WESTERN AUSTRALIAN POLICE       | POLICE CLEARANCES                    | 14.90             |
| EFT22696             | 29/09/2017 | DEPARTMENT OF TRANSPORT         | GU JETTY FEE NO.4576                 | 40.10             |
| EFT22697             | 29/09/2017 | M P ROGERS & ASSOCIATES PTY LTD | FINAL INVOICE FOR LANCELIN BOAT RAMP | 3874.44           |
| EFT22698             | 29/09/2017 | GINGIN PREMIUM MEATS            | CATERING                             | 90.00             |
| EFT22699             | 29/09/2017 | BINDOON MOBILE RECOVERY CENTRE  | DONATION ADVERTISING RUNNING COSTS   | 1500.00           |
| EFT22700             | 29/09/2017 | LANCELIN SANDS                  | CONCRETE SOAKWELLS/GRATED LIDS       | 9625.00           |
| EFT22701             | 29/09/2017 | TRUCK CENTRE WA PTY LTD         | CLUTCH KIT REPAIR TO GG002           | 22167.46          |
| <b>EFT TOTAL</b>     |            |                                 |                                      | <b>662,306.61</b> |
| <b>CHEQUES</b>       |            |                                 |                                      |                   |
| 115307               | 04/09/2017 | SHIRE OF GINGIN                 | EOFY SUS GENERAL 16/17 BALANCE       | 643.58            |
| 115308               | 06/09/2017 | TELSTRA                         | BRIGADE PHONE AND DATA               | 200.12            |
| 115309               | 06/09/2017 | SHIRE OF GINGIN                 | GOLF DAY PRIZE RE-COUP               | 900.00            |
| 115310               | 07/09/2017 | SHIRE OF GINGIN                 | PAY ENDING 5/9/2017                  | 2020.00           |
| 115311               | 12/09/2017 | GINGIN PHARMACY                 | RE STOCK OF FIRST AID SUPPLIES       | 61.45             |
| 115312               | 15/09/2017 | JOHN FRANCIS KUPIEC             | RATES REFUND                         | 20.00             |
| 115313               | 15/09/2017 | TIMOTHY MICHAEL KUPIEC          | RATES REFUND                         | 20.00             |
| 115314               | 15/09/2017 | STEVEN PATRICK JOHNSTON         | RATES REFUND                         | 1400.00           |
| 115315               | 15/09/2017 | RALPH WITSCHGE                  | REFUND FOR BOND KEY                  | 50.00             |
| 115316               | 15/09/2017 | HAPSTORM DRILLING               | REFUND OF KEY BOND                   | 50.00             |
| 115317               | 21/09/2017 | BEACHSANDS LEDGE POINT          | AUGUST ACCOUNT 2017                  | 38.99             |
| 115318               | 21/09/2017 | ANNE MARTINO                    | LOGO                                 | 46.00             |
| 115319               | 21/09/2017 | SALLY HOWES                     | REFUND FOR CANCELLATION              | 115.00            |
| 115320               | 21/09/2017 | SHIRE OF GINGIN                 | PAY ENDING 19/9/2017                 | 2025.00           |
| 115321               | 29/09/2017 | AS TRUSTEE FOR WPC AUSTRALIA    | RATES REFUND                         | 1015.25           |
| 115322               | 29/09/2017 | PETER DARRYL CAHILL             | RATES REFUND                         | 1090.20           |
| 115323               | 29/09/2017 | RONALD GARY GEARY               | RATES REFUND                         | 1618.75           |
| <b>CHEQUES TOTAL</b> |            |                                 |                                      | <b>11,314.34</b>  |
| <b>DIRECT DEBIT</b>  |            |                                 |                                      |                   |
| DD22575.1            | 01/09/2017 | HELEN MARIE SAMPSON             | MANAGEMENT OF GINGIN LANDFILL        | 2411.60           |
| DD22577.1            | 04/09/2017 | TELSTRA                         | GUILDERTON CARAVAN PARK              | 533.80            |
| DD22587.1            | 05/09/2017 | SYNERGY                         | OCEAN FARM DRIVE, OCEAN FARM         | 1652.60           |
| DD22590.1            | 05/09/2017 | SYNERGY                         | RED GULLY BUSH FIRE BRIGADE          | 131.45            |
| DD22598.1            | 05/09/2017 | AUSTRALIANSUPER                 | PAYROLL DEDUCTIONS                   | 2462.27           |
| DD22598.2            | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 63.47             |
| DD22598.3            | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 105.66            |
| DD22598.4            | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 231.14            |
| DD22598.5            | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 200.75            |
| DD22598.6            | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 126.79            |
| DD22598.7            | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 262.26            |
| DD22598.8            | 05/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 706.92            |
| DD22598.9            | 05/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 1145.63           |
| DD22598.10           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 210.59            |
| DD22598.11           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 209.97            |
| DD22598.12           | 05/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 501.18            |
| DD22598.13           | 05/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 18518.15          |
| DD22598.14           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 452.34            |
| DD22598.15           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 739.60            |
| DD22598.16           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 951.12            |
| DD22598.17           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 350.59            |
| DD22598.18           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 165.66            |
| DD22598.19           | 05/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 163.32            |
| DD22610.1            | 07/09/2017 | TELSTRA                         | GINGIN OFFICE PHONE                  | 123.90            |
| DD22620.1            | 11/09/2017 | T-QUIP                          | STREET SWEEPER HIRE                  | 3771.83           |
| DD22622.1            | 11/09/2017 | TELSTRA                         | MOBILES SEPT 2017                    | 1002.46           |
| DD22624.1            | 11/09/2017 | PERTH ENERGY PTY LTD            | PERTH ENERGY - SEPTEMBER INVOICE     | 6158.93           |
| DD22649.1            | 14/09/2017 | SYNERGY                         | WOODRIDGE HALL                       | 1705.55           |
| DD22658.1            | 15/09/2017 | HELEN MARIE SAMPSON             | MANAGEMENT OF GINGIN LANDFILL        | 2411.60           |
| DD22658.1            | 19/09/2017 | SYNERGY                         | GG FIRE SHED                         | 385.00            |
| DD22698.10           | 19/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 865.63            |
| DD22698.11           | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 209.97            |
| DD22698.12           | 19/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 501.18            |
| DD22698.13           | 19/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 18039.85          |
| DD22698.14           | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 452.34            |
| DD22698.15           | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 629.22            |
| DD22698.16           | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 951.12            |
| DD22698.17           | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 350.59            |
| DD22698.18           | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 114.23            |
| DD22698.19           | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 163.32            |
| DD22698.1            | 19/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 2356.33           |
| DD22698.2            | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 70.52             |
| DD22698.3            | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 105.65            |
| DD22698.4            | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 231.14            |
| DD22698.5            | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 200.75            |
| DD22698.6            | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 169.05            |
| DD22698.7            | 19/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 725.18            |
| DD22698.8            | 19/09/2017 | CLICK SUPER                     | SUPERANNUATION CONTRIBUTIONS         | 281.70            |
| DD22698.9            | 19/09/2017 | CLICK SUPER                     | PAYROLL DEDUCTIONS                   | 706.92            |
| DD22672.1            | 19/09/2017 | SYNERGY                         | SHIRE DEPOT                          | 1326.95           |
| DD22674.1            | 19/09/2017 | SYNERGY                         | LOT 134 CONSTABLE ST, GINGIN         | 73.55             |
| DD22676.1            | 19/09/2017 | SYNERGY                         | LOT 32 CHURCH ST, GINGIN             | 29.45             |
| DD22678.1            | 19/09/2017 | SYNERGY                         | GINGIN PLAYGROUP                     | 152.50            |
| DD22680.1            | 19/09/2017 | SYNERGY                         | CEO RESIDENCE                        | 430.70            |
| DD22682.1            | 19/09/2017 | SYNERGY                         | GINGIN AGED HOMES                    | 78.60             |
| DD22684.1            | 19/09/2017 | SYNERGY                         | 20 BROCKMAN ST, GINGIN               | 134.85            |
| DD22686.1            | 19/09/2017 | SYNERGY                         | LOT 1 BROCKMAN ST, GINGIN            | 210.40            |



|           |            |                     |                                     |          |
|-----------|------------|---------------------|-------------------------------------|----------|
| DD22710.1 | 20/09/2017 | SYNERGY             | LOT 501 HONEYCOMBE ROAD, GINGIN     | 76.15    |
| DD22670.1 | 20/09/2017 | SYNERGY             | 5 WELD STREET, GINGIN               | 57.15    |
| DD22704.1 | 20/09/2017 | SYNERGY             | LOT 10 COCKRAM ROAD, GINGIN         | 173.85   |
| DD22706.1 | 21/09/2017 | SYNERGY             | LOT 326 ROE ST, GINGIN              | 221.85   |
| DD22730.1 | 22/09/2017 | SYNERGY             | LOT 23 TODMAN ROAD, COONABIDGEE     | 144.20   |
| DD22732.1 | 22/09/2017 | SYNERGY             | STREET LIGHTS                       | 11682.10 |
| DD22734.1 | 25/09/2017 | SENSIS PTY LTD      | GU C/PARK ADVERTISING               | 83.03    |
| DD22736.1 | 25/09/2017 | TELSTRA             | Lp FIRE BRIGADE - BIGPOND ACCESS    | 25.95    |
| DD22738.1 | 25/09/2017 | TELSTRA             | EXECUTIVE MOBILES                   | 809.93   |
| DD22740.1 | 26/09/2017 | WATER CORPORATION   | PIONEER PARK - LANCELIN             | 97.90    |
| DD22742.1 | 27/09/2017 | SYNERGY             | GRACE DARLING PARK                  | 136.85   |
| DD22744.1 | 27/09/2017 | SYNERGY             | LANCELIN SOUTH PARK                 | 52.45    |
| DD22746.1 | 27/09/2017 | SYNERGY             | 107 GINGIN ROAD, LANCELIN           | 331.95   |
| DD22748.1 | 27/09/2017 | SYNERGY             | WANGAREE CENTRE                     | 486.40   |
| DD22750.1 | 27/09/2017 | SYNERGY             | HAROLD PARK                         | 455.70   |
| DD22766.1 | 28/09/2017 | SYNERGY             | AGED UNITS - ATKINSON WAY, LANCELIN | 124.40   |
| DD22768.1 | 28/09/2017 | SYNERGY             | 9 KING ST, LANCELIN                 | 148.50   |
| DD22770.1 | 28/09/2017 | SYNERGY             | LANCELIN VOLUNTEER FIRE BRIGADE     | 237.00   |
| DD22772.1 | 29/09/2017 | SYNERGY             | JONES ST, LEDGE POINT               | 327.60   |
| DD22774.1 | 29/09/2017 | SYNERGY             | UNIT 3A DE BURGH STREET             | 87.45    |
| DD22777.1 | 29/09/2017 | SYNERGY             | ROBERTSON ROAD, LEDGE POINT         | 302.30   |
| DD22779.1 | 29/09/2017 | HELEN MARIE SAMPSON | MANAGEMENT OF GINGIN LANDFILL       | 2411.60  |

## DIRECT DEPOSIT

96,794.13

## TOTAL MUNICIPAL

770,415.08

## TRUST

|      |            |                   |                            |                 |
|------|------------|-------------------|----------------------------|-----------------|
| 3202 | 01/08/2017 | ANDRE LAKE-GOW    | SOCIAL CLUB PAYOUT         | 1350.00         |
| 3203 | 08/08/2017 | GORDON HARVEY GOW | SOCIAL CLUB PAYOUT         | 360.00          |
| 3204 | 10/08/2017 | SHARON SMITH      | SOCIAL CLUB PAYOUT         | 1000.00         |
| 3205 | 29/08/2017 | LEE-ANNE BURT     | PARTIAL PAYOUT SOCIAL CLUB | 700.00          |
| 3206 | 29/08/2017 | KAREN MAREE OKELY | PARTIAL SOCIAL CLUB PAYOUT | 400.00          |
|      |            |                   |                            | <u>3,810.00</u> |

## BANK STATEMENT TOTALS

|                     |                       |            |
|---------------------|-----------------------|------------|
| STATEMENT DEBITS    | BANK FEES AND CHARGES | 5,411.35   |
| PAYS                | WAGES AND SALARIES    | 243,755.39 |
| ELECTRONIC PAYMENTS | POLICE LICENCING      | 66354.65   |
|                     | LA OFFICE RENT        | 643.38     |
|                     | GG DOCTORS RESIDENCE  | 1,000.00   |
|                     | FLEXIRENT             | 212.14     |
|                     | LA DOCTORS RESIDENCE  | 2,400.00   |
|                     | LA DOCTORS VEHICLE    | 623.52     |

320,400.43

## TOTAL EXPENDITURE

1,090,815.51

## CREDIT CARD BREAK-UP

Aug-17

|                         |                                     |                 |
|-------------------------|-------------------------------------|-----------------|
| BANK CHARGES            | MONTHLY CARD FEE X 7                | 28.00           |
| REFRESHMENTS/RECEPTIONS | O/SIDE STAFF TOOLBOX MTG, LA STAFF  | 381.49          |
|                         | MTG, EOFY BBQ                       |                 |
| TRAINING/CONFERENCE     | O EDWARDS TAFE, IT VISION CONF.     | 2,164.07        |
|                         | EMCCS/MP/ZE, CRS CONF - COURT,      |                 |
|                         | AMMON, ASPINALL                     |                 |
| IT SUPPORT              | M/SOFT X 3 CASE STORE, PLE          | 1,120.44        |
|                         | COMPUTERS, KOGAN STAND, PHONE       |                 |
|                         | COVER CEO                           |                 |
| FENCE REPAIRS           | RAPID SET, WIRE                     | 854.00          |
| REIMBURSEMENT           | EMO INVOICE 29844                   | 96.90           |
| OHS                     | SUNSCREEN                           | 12.40           |
| PARKING                 | EMCCS CONF.                         | 21.63           |
| BUILDING REPAIRS        | 4 FEWSTER, PAYROLL, LA CARAVAN PARK | 775.01          |
| LANCELIN CARAVAN PARK   | HIRE VEHICLE                        | 1291.06         |
|                         |                                     | <u>6,745.00</u> |

AT THE TIME OF PRINTING THE  
AGENDA THERE WERE NO CREDITORS  
OUTSTANDING

CHIEF EXECUTIVE OFFICER

PRESIDENT

### **11.3. PLANNING AND DEVELOPMENT**

#### **11.3.1 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED AGRICULTURE INTENSIVE (DATE PALMS AND POMEGRANATES) ON LOT 3687 (276) AIRFIELD ROAD, BAMBUN**

|                           |  |
|---------------------------|--|
| <b>FILE:</b>              | <b>BLD/5751</b>  |
| <b>APPLICANT:</b>         | <b>BASSAM AL HAIFY AND ALI ALZOU BAYDY</b>                       |
| <b>LOCATION:</b>          | <b>LOT 3687 (276) AIRFIELD ROAD, BAMBUN</b>                      |
| <b>OWNER:</b>             | <b>BASSAM AL HAIFY AND ALI ALZOU BAYDY</b>                       |
| <b>ZONING:</b>            | <b>GENERAL RURAL (40)</b>  |
| <b>WAPC NO:</b>           | <b>N/A</b>   |
| <b>AUTHOR:</b>            | <b>JAMES BAYLISS – STATUTORY PLANNING OFFICER</b>                |
| <b>REPORTING OFFICER:</b> | <b>LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT</b> |
| <b>REPORT DATE:</b>       | <b>17 OCTOBER 2017</b>   |
| <b>REFER:</b>             | <b>NIL</b>   |

#### **OFFICER INTEREST DECLARATION**

Nil

#### **PURPOSE**

To consider an Application for Development Approval for a proposed Agriculture Intensive (Date Palms and Pomegranates) on Lot 3687 (276) Airfield Road, Bambun.

#### **BACKGROUND**

The subject lot consists of a total area of 73ha and currently contains an existing dwelling that is dilapidated. The proponent is seeking approval to plant 9ha of mixed date palms and pomegranates over a relatively clear portion of the site. The northern portion of the property consists of native vegetation that is to be retained.

The submitted plans indicate three horticultural areas identified for agricultural intensive uses, however this proposal relates specifically to horticultural area one. Any future stages will require separate approval and the applicant has been advised accordingly.

A location plan, aerial image and a copy of the applicant's proposal are attached as **Appendix 1**.

#### **COMMENT**

##### Community Consultation

The application was advertised to the surrounding landowners for a period of 21 days and to State referral agencies for a period of 42 days in accordance with clause 64 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

One submission was received from the Department of Water and Environmental Regulation (DWER) which considered the application and provided general comments. The response from DWER is outlined under the 'Water Supply' section below.

## **PLANNING FRAMEWORK**

### Local Planning Scheme No 9 (LPS 9)

The subject lot is zoned General Rural (40) under LPS 9, the objectives of which are to:

- a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and*
- d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

Agriculture Intensive is identified as a "D" – Discretionary land use within the general rural coding. Agriculture Intensive is considered to be a primary use in the zone and as such should be encouraged as per the objectives above.

The land use 'Agriculture Intensive' is defined as follows:

*"Agriculture – Intensive means, premises used for trade or commercial purposes, including outbuildings and earthworks, associated with the following:*

- a) *The production of grapes, vegetables, flowers, exotic, or native plants, or fruit or nuts;*
- b) *The establishment and operation of plant or fruit nurseries;*
- c) *The development of land for irrigated fodder production or irrigated pasture (including turf farms); or*
- d) *Aquaculture".*

### Local Planning Scheme No 9 Setbacks

The planting area is required to be setback a minimum of 20m from the lot boundaries, unless a greater setback is required (i.e. buffer/separation distances to sensitive land uses or wetlands). The proponent intends to plant a vegetative buffer 15m from the lot boundary resulting in the cropping area being setback the required 20m.

### Local Planning Policy 1.6 – Agriculture Intensive (LPP 1.6)

The proposal is considered to be 'Perennial Horticulture' as defined by LPP 1.6.

LPP 1.6 defines Perennial Horticulture as:

*"The commercial production of all varieties of long lived fruit, vine and nut species, generally deep rooting, where the land is only cultivated deeply at the initial planting stage, but may be regularly fertilised".*

Perennial horticulture shall achieve a minimum setback of 50m from the highest known level of a waterway (riverine environments). The proposed horticulture is located beyond 50m from the nearest wetland.

### Environmental Impact/Separation from Sensitive Land Uses

The following external guidelines provide guidance in relation to buffer/separation distances for Local Government when considering applications of irrigated horticulture and sensitive uses (i.e. dwellings).

- State Planning Policy 2.5 Rural Planning;
- Department of Health (DOH) – Guidelines for Separation of Agricultural and Residential Land Uses (August 2012) (DOH Guidelines); and
- Environmental Protection Authority – Guidance for the Assessment of Environmental Factors; Separation Distances between Industrial and Sensitive Land Uses (June 2005).

The proposal falls under the definition of an 'Orchard' for the purpose of calculating the recommended buffer distance using the abovementioned policies. A 500m buffer setback is recommended from the Irrigated Horticulture and the closest sensitive land use (i.e. single dwelling). The distance outlined is not intended to be an absolute distance, rather a guide to avoid conflicts between land uses (i.e. spray drift).

The proposed planting areas have no sensitive land uses within the 500m buffer that can cause a potential for conflict of interest.

The nearest sensitive land use (dwelling) is identified as being located approximately 450m to the west of the horticulture area. It should be noted that existing poultry sheds are located between the proposed horticulture area and the nearest sensitive land use. Given the 500m buffer setback is simply a guide it is deemed that the 450m setback is sufficient, particularly given the presence of the poultry sheds.

The proponent advised that they intend to plant a vegetative barrier 15m from the boundary which will consist of Casuarinas, She-Oaks, Tea Tree and Banksias. The applicants have also advised that date palms and pomegranates do not require regular spraying of chemicals and the appropriate management practices will be implemented to reduce spray drift when spraying is required.

### Traffic Implications

The proponents have advised that light vehicles (two cars and two trailers) will be used for general farm use and transporting goods. The applicants do acknowledge that as the operation increases in the coming years (i.e. as horticulture areas two and three are implemented) then they will probably require a truck to transport goods. It is considered that the scale of the proposed development forming this application does not create any traffic issues.

### Stable Fly

Stable Fly is a declared pest under the *Biosecurity and Agriculture Management Act 2007* and is managed by the *Biosecurity and Agriculture Management (Stable Fly) Management Plan 2016*. It is generally inappropriate to impose a planning condition for a regulatory aspect that is already covered under another Act of Parliament. Instead, an advice note has been added to the Development Approval with respect to Stable Fly.

The Shire is still required to be satisfied that the horticultural activity manages waste appropriately on the site. Given the nature of the irrigated horticultural activity and that there is no processing onsite, waste will be minimal and appropriately managed.

### Servicing

Any additional servicing requirements will be the applicant's responsibility.

### Water Supply

The property is serviced with a 57,000kL water license that will be applied through sub soil drip lines. This will reduce water spray drift and ensure little evaporation occurs. The applicants have advised that the existing water supply, in conjunction with annual rainfall is sufficient for the proposed cropping area. Notwithstanding the above, the DWER provided the following response as a result of the advertising process:

*The Department of Water and Environmental Regulation (DWER) advises that the proponent currently has a groundwater license for the property, however the annual entitlement is not sufficient for the proposed development.*

*The groundwater resource in the area is currently fully allocated and therefore any application to take additional water would likely be refused. The proponent therefore needs to consider options such as amending the development proposal to fit with their current licensed allocation (e.g. reduce the area of irrigation) or trading water with another licensed user to secure their needs.*

*Information on water availability as well as searching for other licenses in their area can be accessed via our water register <http://www.water.wa.gov.au/maps-and-data/maps/water-register>.*

Given LPP 1.6 outlines that development applications for irrigated horticulture will be processed purely on land use planning grounds without regard to water licensing. Administration is of the view that it is the applicants responsibility to ensure an appropriate water source is secured and approved by DWER.

## Summary

In view of the above assessment, Administration is of the view that the site is capable of accommodating the proposed Agriculture Intensive (Perennial Horticulture) activity and that the activity is consistent with the objectives of LPS 9.

## Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- Note 1: If you are aggrieved by the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: Premises are to comply with the requirements of the *Public Health Act 2016* and all relevant health legislation.
- Note 3: This approval is not a building permit or an approval under any law other than the *Planning and Development Act 2005*. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licences required under any other law, and to commence and carry out development in accordance with all relevant laws.
- Note 4: Fire permits may be required at certain times of the year for onsite burning. Please contact the Shire of Gingin for further information.
- Note 5: The Applicant is reminded that this Development Approval is not to be interpreted as an approval to extract and use groundwater supplies, nor does it imply that the Shire of Gingin has knowledge in relation to availability of groundwater supplies.
- Note 6: It is advised that the proposal should at all times comply with the *Biosecurity and Agriculture Management (Stable Fly) Management Plan 2016* in order to minimise the effects of stable flies on the community.
- Note 7: The operation will be required to comply with the *Environmental Protection (Noise) Regulations 1997*.
- Note 8: Where any native vegetation clearing is proposed, it will be necessary to contact the Department of Water and Environmental Regulation (DWER) to obtain necessary approvals.
- Note 9: Please be advised that the property may attract Differential Rating for Intensive Agriculture.

## STATUTORY ENVIRONMENT

### *Local Planning Scheme No 9*

#### Part 3 – Zones and the Use of Land

#### 3.2 Objectives of the Zones

#### Part 4 – General Development Requirements

#### 4.7 General Development Standards

#### 4.8.6 General Rural Zones

#### Local Planning Policy 1.6 Agriculture Intensive

#### State Planning Policy 2.5 Rural Planning

#### Department of Health (DOH) Guidelines for Separation of Agriculture and Residential Land Uses (August 2012) (DOH Guidelines)

#### Environmental Protection Authority Guidance for the Assessment of Environmental Factors; Separation Distances between Industrial and Sensitive Land Uses (June 2005)

## POLICY IMPLICATIONS

Nil

## BUDGET IMPLICATIONS

Nil

## STRATEGIC IMPLICATIONS

### Shire of Gingin Strategic Community Plan 2017-2027

|                         |  |
|-------------------------|--|
| <b>Focus Area</b>       | <i>Infrastructure and Development</i>  |
| <b>Objective</b>        | <i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner.</i> |
| <b>Outcome</b>          | <i>3.1 Development<br/>New and existing developments meet the Shire's Strategic Objectives and Outcomes. (&gt;WDC)</i>                                 |
| <b>Key Service Area</b> | <i>Building and Planning Permits</i>   |
| <b>Priorities</b>       | <i>3.1.1 Support strategies that facilitate commercial development (&gt;RC)</i>  |
| <b>Focus Area</b>       | <i>Economic Development</i>  |
| <b>Objective</b>        | <i>4. To support economic development through the Shire's service delivery.</i>  |
| <b>Outcome</b>          | <i>4.2 Food Bowl<br/>A strategically significant agricultural hub to the Perth Metropolitan Area</i>   |

## **VOTING REQUIREMENTS – SIMPLE MAJORITY**

### **RECOMMENDATION**

It is recommended that Council grant Development Approval for the proposed Agriculture Intensive (Date Palms and Pomegranates) on Lot 3687 (276) Airfield Road, Bambun, subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;
2. The development area shall be limited to a maximum of 9 hectares at any one time and shall at all times be set back a minimum of 20 metres from all lot boundaries and 50 metres from wetlands to the satisfaction of the Shire of Gingin;
3. This Approval is for Agriculture Intensive (Perennial Horticulture) Date Palms and Pomegranates for Horticulture Area 1 only, as marked in red on the approved plans;
4. The crossover servicing the existing subject lot is required to be upgraded to the satisfaction of the Shire of Gingin;
5. The Agriculture Intensive (Perennial Horticulture) shall at all times comply with at all times the submitted Farm Management Plan to the satisfaction of the Shire of Gingin;
6. The Shire reserves the right to inspect or request any of the management plans that are conditioned as part of this planning approval at any time; and
7. The area shall immediately be rehabilitated to pasture cover at the end of the Intensive Agriculture development.

### **RESOLUTION**

**Moved Councillor Ammon, seconded Councillor Aspinall that Council grant Development Approval for the proposed Agriculture Intensive (Date Palms and Pomegranates) on Lot 3687 (276) Airfield Road, Bambun, subject to the following conditions:**

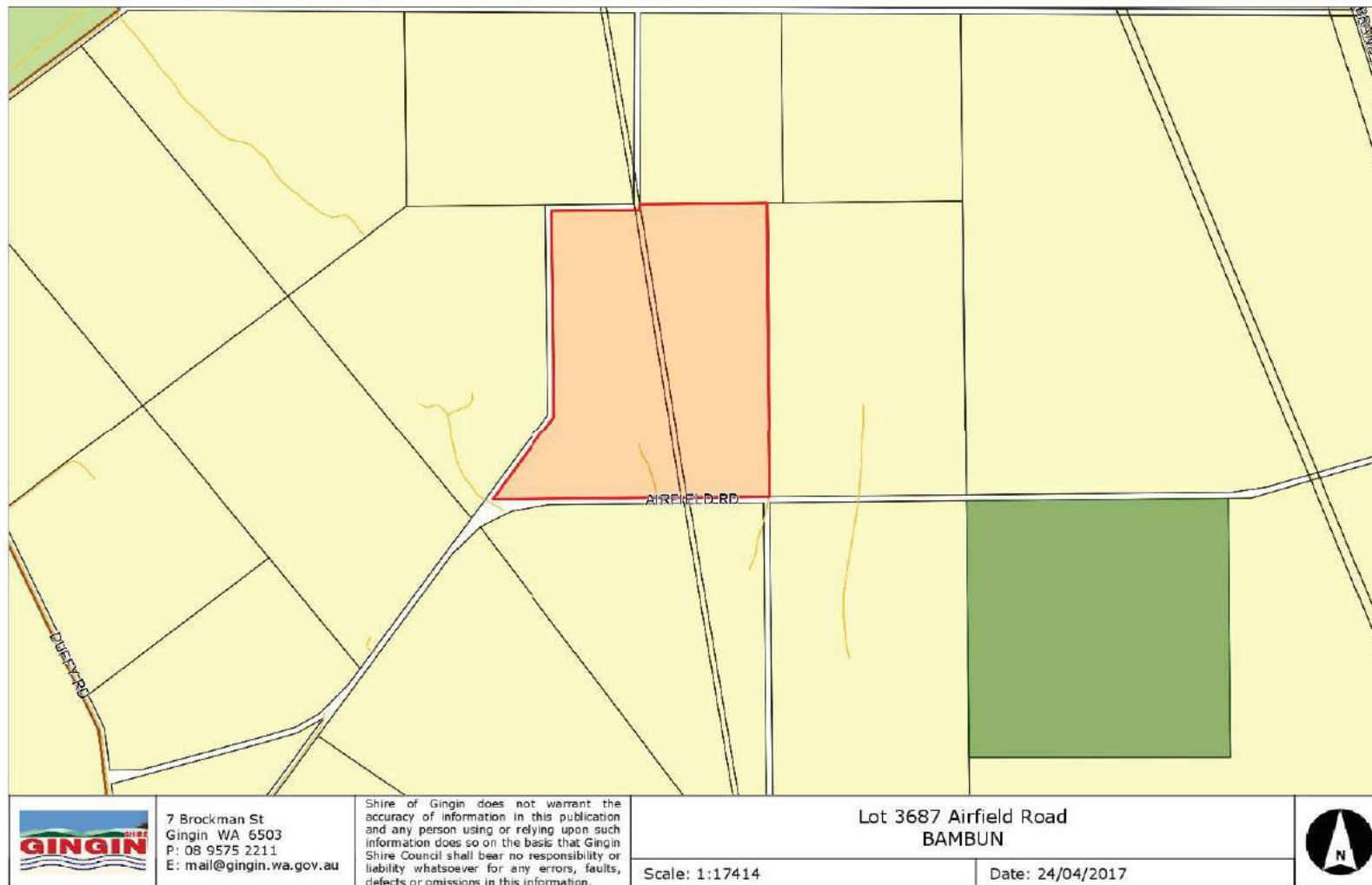
1. **The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;**
2. **The development area shall be limited to a maximum of 9 hectares at any one time and shall at all times be set back a minimum of 20 metres from all lot boundaries and 50 metres from wetlands to the satisfaction of the Shire of Gingin;**
3. **This Approval is for Agriculture Intensive (Perennial Horticulture) Date Palms and Pomegranates for Horticulture Area 1 only, as marked in red on the approved plans;**
4. **The crossover servicing the existing subject lot is required to be upgraded to the satisfaction of the Shire of Gingin;**

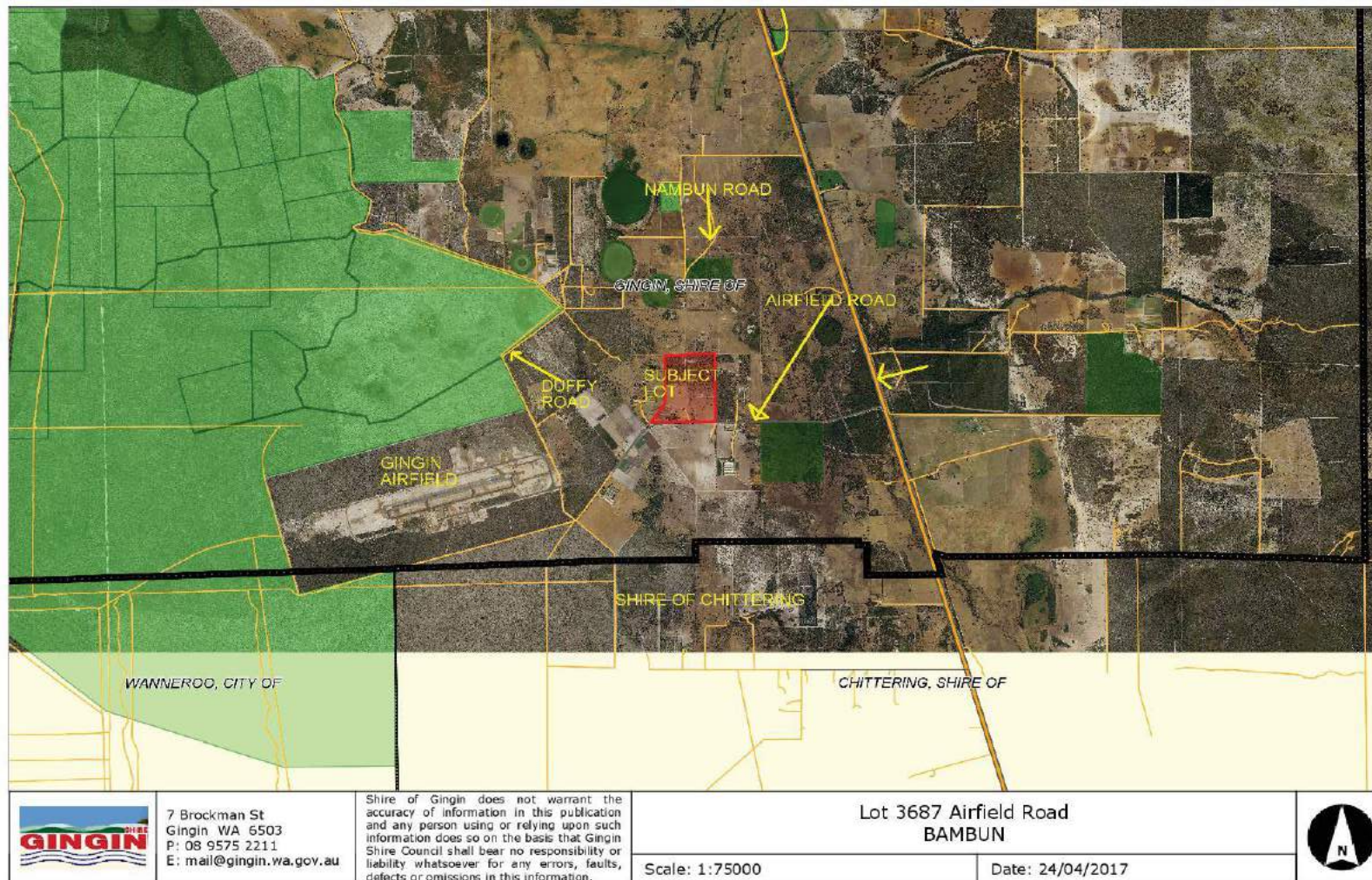


- 5. The Agriculture Intensive (Perennial Horticulture) shall at all times comply with at all times the submitted Farm Management Plan to the satisfaction of the Shire of Gingin;**
- 6. The Shire reserves the right to inspect or request any of the management plans that are conditioned as part of this planning approval at any time; and**
- 7. The area shall immediately be rehabilitated to pasture cover at the end of the Intensive Agriculture development.**

**CARRIED UNANIMOUSLY**

# APPENDIX 1











### **Current Agricultural Plan for 276 Airfield Rd Bambun**

**Proposed Address:** Lot 3687 (#276) Airfield Rd Bambun

**Proposed Area:** Horticultural area 1 only

**Size of Proposed Area:** 92 130m3

**Plants to Be Grown in Horticultural area 1:**

- a) Pomegranate
- b) Date Palms

**Watering:**

Approved 57 600 KI of water for property. This water allowance plus yearly rainfall is well over needed water requirements for planting of 9Ha of mixed Pomegranate and Date palms.

**Reticulation:**

Sub-soil drip lines are to be used to water plants. It is vital to use the correct applicators and nozzles to ensure the largest and droplet size possible as smaller droplets are likely to drift.

**Clearing of Vegetation:**

The Department of Environment and Regulation has been contacted regarding planting fruit trees in the cleared area.

Area to be planted requires NO clearing of plants, thus requiring no Dept. of Environment permit.

**Establishment of Plants:**

Planting is to begin at southern boundary of Horticultural Area 1

Rows are to be spaced 5m apart.

1<sup>st</sup> row is to be a row of Date Palms followed by a row of Pomegranates. Repeating over whole area.

Date palms to have a spacing of 10m between each plant, Pomegranates to have a spacing of 4m between each plant.

**Spray drift control**

There are no chemical sprays planned to be used at all and sub soil drip feeders will be used for irrigation, thus eliminating most over spraying concerns.

A vegetative barrier is to be installed which consist of a mixture of trees and shrubs. The barrier is to be located 15m in from boundary perimeter along proposed agricultural area 1 where the boundary runs along neighbouring Lot.

Proposed plants for barrier:

Casuarina, She-Oaks, Tea-tree and Banksia

Furthermore, monitoring weather conditions and avoid spraying in windy days also prevents spray drift. However, spraying should not be carried out under calm or still conditions as the droplets are more likely to be suspended in the air, the ideal wind speeds are between 3-15km/h. It is better carried out in temperatures near or above 30 degrees and specifically when humidity is low, because spray droplet size may be resumed therefore increasing the risk of spray drift. It is also highly recommended no to spray in fog, dew, frost and smoke or dust hanging in the air to avoid drift. Detailed record of each spray application must be retained in case any complaints are made afterwards.

In general, there will be mainly date palm trees and pomegranates trees planted in the land, and these trees have little to almost no diseases/pests therefore in the initial period of planting spraying is highly unnecessary.

**Waste control:**

The aim is to reuse and recycle whenever possible to help minimise waste. When purchasing materials, it is important to check that the components and packaging can be easily reused or recycled. Sort all product waste into categories such as compost, recycling, empty drums, oil products, chemicals and general waste, so they can be efficiently reused, recycled or disposed of.

Ensure that wastes are stored appropriately prior to reuse, recycling or disposal to avoid contamination of the environment or harm to people, animals or the produce.

Treat wastes where appropriate Green wastes can be composted and reused as a fertiliser and soil conditioner. Composting green wastes will assist in destroying weed seeds.

Dispose of wastes only where permitted. Do not dispose of waste that includes household rubbish, unwanted chemicals, waste oils or lubricants on the farm due to the high risk of contamination of land, water or air. Waste products that cannot be reused, recycled, composted or treated must be disposed of at a waste transfer station or appropriate landfill. Licensed commercial waste disposal companies such as Veola or Instant bins can be an option for removing wastes from the farm.

**Empty chemical drums and used containers:**

All empty chemical drums should be triple-rinsed immediately after use to prevent the chemical residue from solidifying in the drum. Triple-rinsing should be directly into the spray tank or, if this is not possible, it should be performed in an area that will not contaminate the environment or impact on people, stock or produce. Used containers can often be reused for repackaging and should be



returned to the retailer. Where containers are non-returnable, the following disposal options are available:

- DrumMUSTER: Is a national program for the collection and recycling of non-returnable, empty, cleaned crop production and on-farm animal health chemical containers. Eligible containers are identified by a DrumMUSTER logo (sticker, label or embossed).
- If the container is not eligible for DrumMUSTER, it should be triple rinsed, then punctured in the base and recycled or disposed of to an appropriately licensed landfill.
- Contact local council for details of transfer stations or recycling services.
- All empty containers should be stored in a safe area on the farm prior to reuse, recycling or disposal.

**Chemicals (unwanted or excess):**

ChemClear is a program to collect unwanted rural chemicals manufactured by member companies of Avcare and the Veterinary Manufacturers and Distribution Association (VDMA). Users of agricultural and veterinary chemicals who need to dispose of their unwanted chemicals must register their products on the ChemClear website.

**Oil and oil filters Used:**

Oil is a valuable resource and can be collected from our farm by waste oil collection contractors (there may be minimum volumes for collection) or we can deliver it to approved premises. The shire can provide details of sites that can accept waste oil. Used oil filters have a classification that prohibits their disposal to landfill as used oil filters can be recycled to recover both the metal and oil. Using waste oil as a dust suppressant will cause contamination of the land and may cause pollution of surface or groundwaters. The clean-up cost and potential impact on property value may result in significant liability to the farm. Where there is a possibility that soil contamination has occurred (for example, from chemical or fuel/oil spills) the EPA must be contacted for further guidance.

**Tree and plant waste:**

Tree waste can be left in place for natural habitation or used as firewood. Stubble can enhance soil structure and reduce erosion due to rainfall. Burning tree, plant and stubble is an appropriate management practice where impacts are controlled. Air quality may be affected by the smoke and impact on human health. In cases of burning trees and plant wastes, the burning must comply with local laws.

**Dust control:**

Slasher will be placed in between trees to remove weed to minimise dust as compared to rotary hoe.

The trees that will be planted will minimise dust in its self.

Limiting activity during high wind events.

Create wind barriers by planting a row of trees or shrubs.

Combining tractor operations to reduce soil compaction and the number of passes across a commercial farm by using a tractor, implement, harvester, or other farming support vehicle to perform two or more tillage, cultivation, planting, or harvesting operations at the same time. Combining tractor operations reduces the number of passes or trips that a tractor makes across a field, thereby reducing the amount of soil disturbed.

**Traffic:**

We currently have two trailers and two cars being used for the goods to be transported. The project is going to be carried out in stages therefore production will increase from one year to the other hence increasing the transportation fleet. Goods will be generally exported; It is estimated that a <12.5m truck with a max mass of 27.5 ton will be needed in the coming years as production increases. Since the pomegranates and the dates have different harvest seasons the same vehicles will be available to use each time around with no extra vehicles needed.

### **11.3.2 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED HOME BUSINESS (LAND BASED FISHING CHARTERS) ON LOT 103 (74) GINGIN ROAD, LANCELIN**

**FILE:** BLD/6856  
**APPLICANT:** PETER FULLARTON AND LEANNE FULLARTON  
**LOCATION:** LOT 103 (74) GINGIN ROAD, LANCELIN  
**OWNER:** PETER FULLARTON AND LEANNE FULLARTON  
**ZONING:** RESIDENTIAL R12.5/20  
**WAPC NO:** N/A  
**AUTHOR:** JAMES BAYLISS – STATUTORY PLANNING OFFICER  
**REPORTING OFFICER:** LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

#### **OFFICER INTEREST DECLARATION**

Nil

#### **PURPOSE**

To consider an Application for Development Approval for a Home Business (Land Based Fishing Charters) to operate from Lot 103 (74) Gingin Road, Lancelin.

#### **BACKGROUND**

The Shire received an Application for Development Approval on 16 August 2017 for a home business to operate from the abovementioned site. The subject property is 969m<sup>2</sup> and currently contains a Single House and an Outbuilding.

The application seeks approval to operate land based fishing charters from the property, with the business name being 'Tailored Treks'. The business will provide clients that are generally new to beach four-wheel-driving and fishing, with an opportunity to accompany an experienced guide to off-road beach locations for a fishing charter service.

The applicant have a licensed charter vehicle capable of accommodating up to five passengers per charter. However clients are able to use their own four-wheel-drive vehicle and drive to the destination in convoy. The charter vehicle is proposed to be housed at the subject property and is a common four-wheel-drive vehicle.

The proposal includes an advertising sign 600mm in width and 400mm in height, located within the property boundary adjacent to the existing driveway. The sign displays the company logo and directs audiences to the business website.

Consideration by Council is required as a home business is considered to be an 'A' use under Local Planning Scheme No 9 (LPS 9), which Administration does not have delegation to determine.

A location plan and a copy of the applicant's proposal are provided as **Appendix 1**.

## COMMENT

### Community Consultation

The application was advertised to surrounding landowners for period of 21 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

The Shire received no submissions with respect to the application.

## PLANNING FRAMEWORK

### Local Planning Scheme No 9

The subject land is zoned Residential R12.5/20 under LPS 9, the objectives of which are to:

- a) *Provide for a range of housing types and encourage a high standard of residential development;*
- b) *Maintain and enhance the residential character and amenity of the zone;*
- c) *Limit non-residential activities to those of which the predominant function is to service the local residential neighbourhood and for self-employment or creative activities, provided such activities have no detrimental effect on the residential amenity; and*
- d) *Ensure that the density of development takes cognisance of the availability of reticulated sewerage, the effluent disposal characteristics of the land and other environmental factors.*

The applicable objectives above are addressed within the ensuing report.

LPS 9 defines a home business as:

*“A business, service or profession carried out in a dwelling or on land around a dwelling by an occupier of the dwelling which –*

- a) *Does not employ more than 2 people not members of the occupier’s household;*
- b) *Will not cause injury to or adversely affect the amenity of the neighbourhood;*
- c) *Does not occupy an area greater than 50 square metres;*
- d) *Does not involve the retail sale, display or hire of goods of any nature;*
- e) *In relation to vehicles and parking, does not result in traffic difficulties as a result of the inadequacy of parking or an increase in traffic volumes in the neighbourhood, and does not involve the presence, use or calling of a vehicle more than 3.5 tonnes tare weight; and*
- f) *Does not involve the use of an essential service of greater capacity than normally required in the zone”.*

The proposal meets with the provision stipulated above.

### Car Parking and Operating Times

As provided in the applicant's proposal, the charters will predominantly occur during the summer months for a period of 3-4 hours. The charter duration and operating hours will be largely based on weather conditions, however will generally commence at dawn (6am) or dusk (6pm). The preferred locations are between Seabird and Wedge Island, away from established townsites.

In instances where clients are residing in Ledge Point or Lancelin, the charter operator will collect patrons from their accommodation and proceed to the fishing destination. In some circumstances the subject property will at times be used as a meeting point for clients. It should be noted the property has ample room to accommodate additional vehicle parking internally, with vehicle access to the backyard available.

Notwithstanding the above, the applicants have advised that instances of several patrons meeting at the property will occur infrequently, as the charter will only cater for between 1-5 persons to ensure private interaction occurs with the tour guide. The applicants have advised they intend to have a rendezvous location, likely being the beach entry point, to avoid clients attending the property where possible. Given bookings are essential the applicant is able to control these variables.

With proper management of the above scenarios, potential adverse impacts (i.e. noise) to surrounding residential properties is expected to be controlled to an acceptable level. Parking associated with the home business is not anticipated to be an issue.

### Objectives of the Residential Zone

The applicable objectives of the Residential Zone as outlined in LPS 9 are addressed below.

#### *b) Maintain and enhance the residential character and amenity of the zone;*

The proposed home business is not considered to enhance the character of the residential zone, however it is not considered to impose a detrimental effect on nearby properties. It is therefore considered to simply be maintaining the existing amenity prevalent throughout the Lancelin locality.

#### *c) Limit non-residential activities to those of which the predominant function is to service the local residential neighbourhood and for self-employment or creative activities, provided such activities have no detrimental effect on the residential amenity; and*

As indicated above, the proposed home business is not anticipated to have a detrimental effect on the residential amenity of the nearby area. The proposed business provides the landowner with self-employment opportunities and offers services to not only the local community, but also tourists to Lancelin.

Based on the above information the proposal is considered to satisfy the relevant objectives of the Residential Zone as outlined under LPS 9.



Shire of Gingin By Laws Relating To Signs and Bill Posting 1982

The above by-laws apply to the advertising signs proposed to be erected at the subject property. The sign is considered to be a 'pylon sign' and will be located within the property boundary.

A pylon sign is defined as:

*"A sign supported by one or more piers and not attached to a building".*

Clause 26 of the above by-laws is applicable to the pylon sign. The relevant development standards are outlined below:

*Pylon Signs*

26. (1) *A person shall not erect more than one pylon sign on a lot.*
- (a) *A person shall only erect a pylon sign on a lot zoned as commercial or industrial.*
- (2) *A pylon sign shall –*
- (b) *Not exceed 2.5m measured in any direction across the face of the sign or have a greater superficial area than 4m<sup>2</sup>;*
- (c) *Not project over a street;*
- (d) *Be supported on one or more piers or columns of brick, stone, cement, concrete, steel or timber of sufficient strength to support the sign under all conditions;*
27. *The Council may issue a license in respect of a pylon sign notwithstanding it does not comply with by-law 26(2) if –*
- (c) *Will be of a width not exceeding 1.8m;*
- (d) *Will have two vertical supports with horizontal flat boards of a maximum height of 200mm with a minimum space between each board of 50mm".*

The proposed sign is 600mm in height and 400mm in width equating to an area of 0.24m<sup>2</sup>. It should be noted that a 'Home Occupation' is able to install an advertising sign 0.2m<sup>2</sup> in area and does not require approval issued by the Shire. In this instance, the sign is considered to be relatively discrete and is not likely to detract from the existing streetscape.

Summary

In view of the above assessment administration is of the view that the proposed home business is able to coexist within the residential zone provided appropriate management practises are implemented by the applicant to mitigate potential conflicts around parking and noise, particularly in the early mornings. Appropriate conditions have been recommended to ensure the residential amenity is preserved.

### Advice Notes

Should Council approve this Application, the following Advice Notes will be included:

- Note 1: If you are aggrieved by the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: Further to this approval, the applicant is required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and *Public Health Act 2016*, which are to be approved by the Shire of Gingin.
- Note 3: Please be advised that the owner/manager has the responsibility to ensure noise levels are compliant with the *Environmental Protection (Noise) Regulations 1997*.
- Note 4: Please note that non-compliance with conditions of a development approval constitutes an offence under the *Planning and Development Act 2005* of which penalties do apply.

### **STATUTORY ENVIRONMENT**

*Local Planning Scheme No 9*

Part 3 – Zones and the Use of the Land

3.2 Objectives of the Zones

Planning and Development (Local Planning Scheme) Regulations 2015

Schedule 2 – Deemed Provisions for Local Planning Schemes

State Planning Policy 3.1 Residential Design Codes

By Laws Relating To Signs and Bill Posting 1982

### **POLICY IMPLICATIONS**

Nil

### **BUDGET IMPLICATIONS**

Nil

### **STRATEGIC IMPLICATIONS**

Shire of Gingin Strategic Community Plan 2017-2027

|                   |   |
|-------------------|---|
| <b>Focus Area</b> | <i>Infrastructure and Development</i>   |
| <b>Objective</b>  | <i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financial responsible manner</i> |
| <b>Outcome</b>    | <i>3.3 Connectivity and Accessibility<br/>The Shire's community infrastructure supports connectivity and</i>  |



|  |                                |
|--|--------------------------------|
|  | <i>accessibility (&gt;WDC)</i> |
|--|--------------------------------|

## **VOTING REQUIREMENTS – SIMPLE MAJORITY**

### **RECOMMENDATION**

It is recommended that Council grant Development Approval for a Home Business on Lot 103 (74) Gingin Road, Lancelin, subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;
2. The number of client vehicles to be parked at the subject lot at any one time is not to exceed four cars. Parking is to be contained within the property boundary.

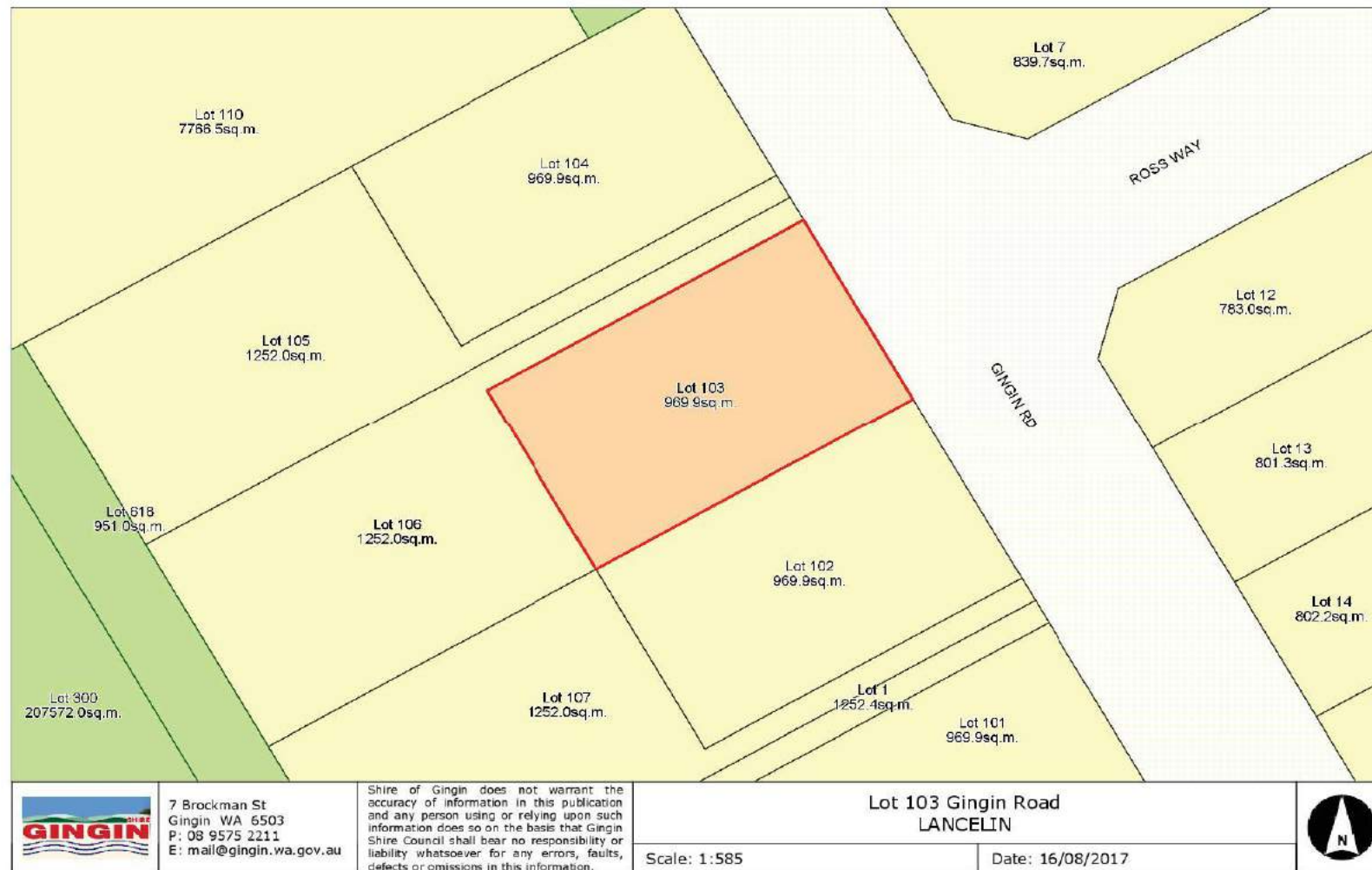
### **RESOLUTION**

**Moved Councillor Peczka, seconded Councillor Court that Council grant Development Approval for a Home Business on Lot 103 (74) Gingin Road, Lancelin, subject to the following conditions:**

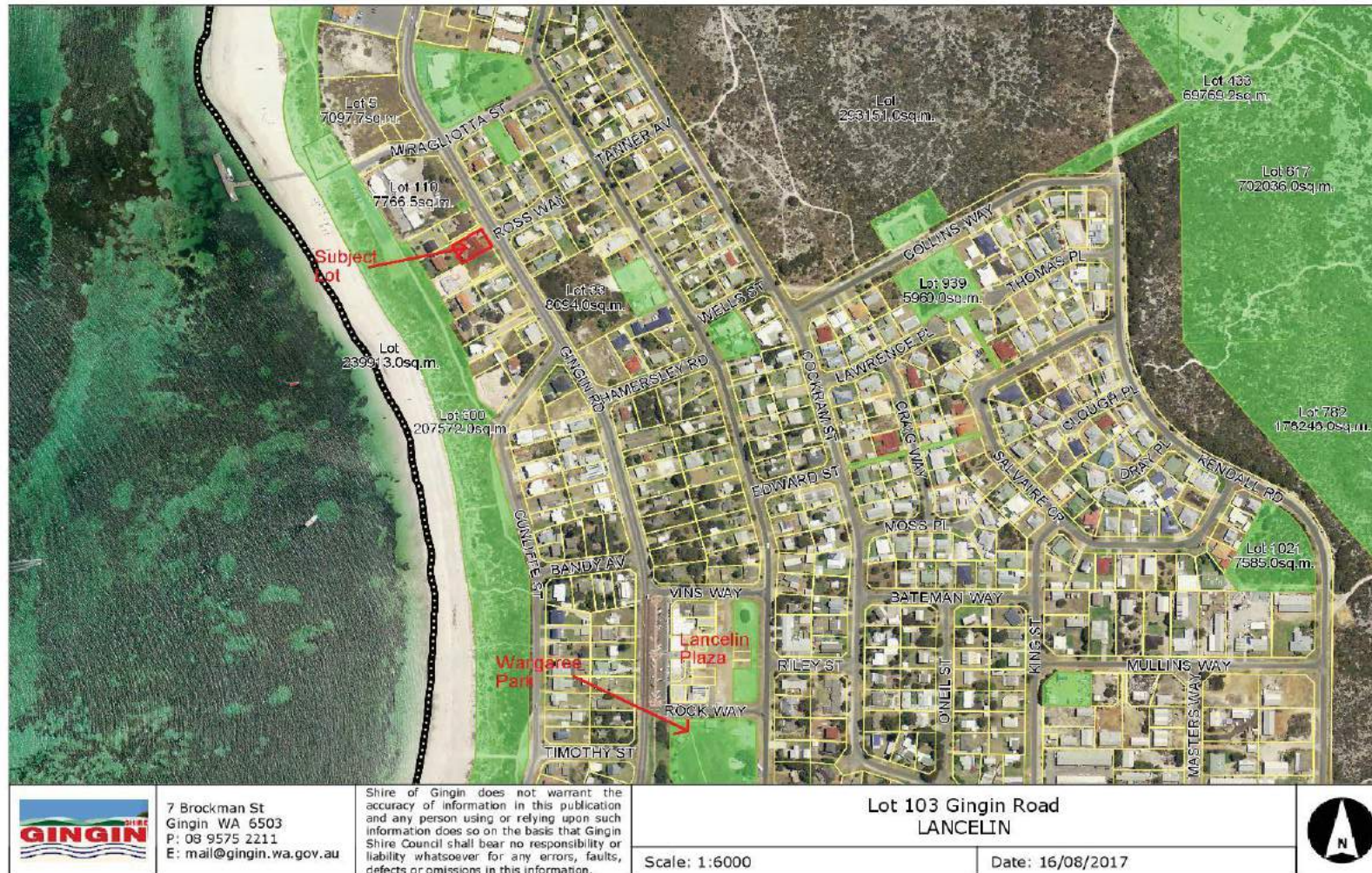
1. **The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;**
2. **The number of client vehicles to be parked at the subject lot at any one time is not to exceed four cars. Parking is to be contained within the property boundary.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**













**Application for trading in public places Peter and Leanne Fullarton Trading as /  
Tailor'ed Treks.**

Our primary function is beach fishing trips and tuition. We will provide our customers with fishing trips, catering for 1-5 people. Each adventure can be specifically tailored to suit the customers' needs and the available conditions. We specialize in getting people and families new to beach fishing or 4WD started providing the experience to confidently continue independently.

We supply all necessary bait and quality gear, taking our customers to a location at a time to best expect a good catch.

Within the fishing trip we offer to teach people new to beach fishing what they need to know to get started catching fish from the beach. Lessons are based on needs and current abilities.

We also offer within the trip demonstrations to our customers how to sensibly and safely tackle beach driving without risk to them, their family or 4WD. Driving on the beach can be daunting to those who have little experience and they can quickly get into trouble without the knowledge required. Our tuition is primarily to get our customers driving on the beach to their favorite fishing spot with the confidence they will be able to get back off again at the end of the day. We do not do any form of extreme off roading or take any risk at all. The sole purpose of this service we provide is to prevent people from getting into any trouble at all by teaching how to stay within their and their vehicles' ability.

The 4wd coaching is done both verbally as we drive and via demonstration to and from the fishing location. In this case the customer does not drive at all.

Alternatively, the customer brings along their own 4wd. We will use portable vhf communication to both 4wds and coach the customer how to safely drive on the beach. Our vehicle will accompany all trips and be fitted out specifically for beach driving and have sufficient recovery gear to provide safe escort to the location.

Each accompanied beach fishing trip would be limited to take one 4wd along to provide the best service to the customer and minimizing interactions with the public.

**Our operation.**

Our vehicle we would use will be a licensed under the department of transport as a charter vehicle. We are still to decide exactly what make and model it will be, but it will be a conventional 4wd 6 seater able to take 5 paying passengers per trip. In the event the customer brings along their own family 4wd to gain confidence in beach driving, they will be limited to the capacity of the vehicle for passengers and gear.

Our vehicle will be garaged at our house 74 Gingin Road, Lancelin.

Our booking system is Internet based through the web site Tailoredtreks.com.au and social media. All payments planning and communications are conducted via mobile telephone and internet.

**Our experience;**

Peter Fullarton will be the primary instructor/ tour guide. Peter has been a avid recreational angler all his life and has always owned 4WD vehicles accessing the most remote areas of Western Australia. He has 20 years experience as a professional fisherman operating his own business in several state wide fisheries in Western Australia. He holds a current bus class driving license as required by the department of transport for operation of charter license vehicle. Before conducting any tours without the presence of Leanne Fullarton he will complete and keep current senior first aid qualifications.

Leanne Fullarton is a qualified radiographer with some 30 years experience. She has worked in many hospital emergency departments across the state. She currently volunteers at Lancelin St Johns Ambulance as a level 2 ambulance officer holding current senior first aid qualifications. She has extensive experience in commercial and recreational fishing and is a competent 4wd driver. Leanne has completed training with the Western Australian chamber of commerce in occupational and work place safety for her radiology workplace.

Both Peter and Leanne have worked in commercial fisheries that have high exposure to the public and recreational sector. They have a great understanding and knowledge in how to avoid any adverse interactions with other user groups such as swimmers, recreational fishers, and surfers.



Both Peter & Leanne are experienced small business and internet trading. They also own and operate an Internet based aquaculture business 'Oceanarium' from their farm in Wanerie, in the shire of Gingin.

**Our customer base;**

We will be offering Lancelin and Ledge Point holidaymakers with an experience of a 3-4 hour beach fishing trip during mainly summer months. These will be either around the dawn or dusk hours of the day depending on the weather conditions available.

Weather is an important part of a successful fishing trip on the Lancelin and Ledge Point coast. Strong winds, swell and seaweed wrack heavily dictate timing and location a successful trip. Winter swells making fishing near impossible for many months of the year.

When possible the fishing trips would be along the coast between Seabird and Wedge Island. Other times of heavy seaweed wrack we would travel further north from the Gingin shire.

During winter months we would get most our client base from Perth, taking bookings online offering available seats on more extended pre planned trips outside of the shire.

**Benefits for Lancelin;**

The services we provide will give holiday makers further option to enjoy and extend their stay within the shire.

We will attract people to come and stay in Lancelin who book with us for our training supporting local businesses and accommodation. These people will then likely return as recreational fishing tourists to the town again for future holidays.

**Areas of operation;**

We won't have any specific location of operation. We will need to adapt on a daily basis for the best location to suit the available conditions and respect for the other users of the beach, surfers, fishers, swimmers etc. Certainly we need to find the fish for our customers best experience, so our main aim will be where the fishing is good.

We wont be fishing near any of the established town sites. The experience we give the customer requires us to be out of site of any development.

Locations may be further afield in other shires of the region or on extended trips in other areas of the state.

Once we are operational we will be seeking accreditation with Parks and Wildlife to conduct our fishing tours in national parks.

**Environmental Protection.**

We will only drive on well established tracks or beach sand, never disturbing or driving over any vegetation.

No rubbish, bait or fish of any kind will be left at any fishing location. It is already our practice to clean up other people's rubbish before leaving the beach.

**Safety management.**

Customer;

Customers will be given information on safe fishing practices before the trip begins and will be supervised throughout the trip. First aid kit will be on board the main vehicle and maintained. There will always be someone present during each trip with current senior first aid certification.

Public;

We will avoid any direct interactions with the other public fishing maintaining at least a 80 meters separation away from any other angler and 500 meters from any swimmers or surfers as an absolute minimum.

When driving on the beach within 30 meters of any other user of the beach speed will be restricted to less than 10 km per hour.

25/2/17

### **11.3.3 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED SINGLE HOUSE ON LOT 104 (38) JONES STREET, LEDGE POINT**

**FILE:** BLD/6754  
**APPLICANT:** AK HOMES CONSTRUCTION  
**LOCATION:** LOT 104 (38) JONES STREET, LEDGE POINT  
**OWNER:** DANIEL DE BATTISTA  
**ZONING:** RESIDENTIAL R12.5/20  
**WAPC NO:** N/A  
**AUTHOR:** JAMES BAYLISS – STATUTORY PLANNING OFFICER  
**REPORTING OFFICER:** LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

#### **OFFICER INTEREST DECLARATION**

Nil

#### **PURPOSE**

To consider an Application for Development Approval for a Single House with reduced boundary setbacks on Lot 101 (38) Jones Street, Ledge Point.

#### **BACKGROUND**

The Shire is in receipt of an Application for Development Approval for a Single House with reduced setbacks to the rear and side boundaries at the abovementioned property. The site is 1145m<sup>2</sup> in area and has a 24 metre frontage to Jones Street. The rear portion of the lot has a moderate gradient, tapering approximately three metres from north to south. The alignment of the northern boundary is unusual, which contributes somewhat to the proposed setback variations.

The proposed single house is setback 23 metres from the primary street, approximately three metres from the side (northern) boundary and 4.56 metres from the rear boundary. The application includes a freestanding carport setback 11.7 metres from Jones Street and one metre from the side (northern) boundary.

The design of the dwelling includes a partially screened first floor balcony setback three metres from the side (northern) boundary. This balcony extends the length of the dwelling and is located 4.56m from the rear boundary. The proposal also includes a second floor 'viewing deck' and is setback 4.56 metres from the rear boundary.

Consideration by Council is required as the proposal seeks variations to the Residential Design Codes of Western Australia (R-Codes) and submissions were received during the advertising process.

A location plan and a copy of the applicant's proposal is provided as **Appendix 1**.

## COMMENT

### Community Consultation

The application was advertised to surrounding landowners for a period of 14 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

The Shire received two submissions providing general comments on the application, though they can be interpreted as objecting to aspects of the proposal. One submission provided support for the application subject to compliance with the rear setback, thus interpreted as objecting to the proposed location of the dwelling. The other submission requested non-reflective cladding be used on the external of the dwelling and requested design modifications to the proposed carport.

A copy of the Schedule of Submissions is attached as **Appendix 2**.

## PLANNING FRAMEWORK

### Local Planning Scheme No 9 (LPS 9)

The subject land is zoned Residential 12.5/20 under LPS 9, the objectives of which are to:

- a) *Provide for a range of housing types and encourage a high standard of residential development;*
- b) *Maintain and enhance the residential character and amenity of the zone;*
- c) *Limit non-residential activities to those of which the predominant function is to service the local residential neighbourhood and for self-employment or creative activities, provided such activities have no detrimental effect on the residential amenity; and*
- d) *Ensure that the density of development takes cognisance of the availability of reticulated sewerage, the effluent disposal characteristics of the land and other environmental factors.*

The proposal is not considered to contravene any of the objectives outlined above.

Clause 4.3.2 of LPS 9 states:

*“Within areas that are dual coded on the Scheme Map, development and subdivision in accordance with the higher code shall only be supported where reticulated sewage is available”.*

The subject property is not serviced by reticulated sewage and is therefore assessed at the lower coding, Residential 12.5.

State Planning Policy 3.1 – Residential Design Codes of Western Australia

The R-Codes provide a comprehensive basis for the control of residential development throughout Western Australia. When a development does not meet with the deemed-to-comply provisions, the application is assessed against the associated design principles to determine whether the variation is acceptable.

The deemed-to-comply provisions require an unenclosed outdoor habitable space to be setback 7.5m from the property boundary unless provided with permanent screening to restrict viewing into adjoining land. The application includes a first floor balcony setback 3m from the side boundary and 4.56m from the rear boundary, thus a variation of 4.5m and 2.94m is being sought by the applicant for the first floor balcony. The second floor 'viewing deck' is also setback 4.56m from the rear boundary and therefore a variation of 2.94m is also sought for this component.

The zoning applicable to the property (R12.5) requires a dwelling to be setback 6 metres from the rear boundary (as per Table 1 of the R-Codes), therefore the applicant seeks a variation of 1.44 metres to the rear setback.

The variations outlined above are assessed against the relevant design principles outlined in Table 1 below.

| <b>Design Principles</b><br><i>Development demonstrates compliance with the following design principles (P)</i>   | <b>Officer Comments</b>   |
|---|---|
| <b>5.1.3 Lot Boundary Setback</b><br><br>P3.1 Buildings set back from lot boundaries so as to: <ul style="list-style-type: none"><li>• Reduce impacts of building bulk on adjoining properties;</li><li>• Provide adequate direct sun and ventilation to the building and open spaces on the site and adjoining property; and</li><li>• Minimise the extent of overlooking and resultant loss of privacy on adjoining property.</li></ul> | <ul style="list-style-type: none"><li>• The proposed dwelling is not considered to impose excessive building bulk on the adjoining property as a result of the 1.4m variation. The building height is compliant. It should be noted that if the land was provided with deep sewer, the rear setback would be compliant;</li><li>• The structure will have no impact on access to sunlight or ventilation for adjoining land;</li><li>• The reduced setback does contribute to overlooking concerns associated with the first floor balcony and second floor viewing deck. This can be minimised through the provision of screening.</li></ul> |
| <b>5.4.1 Visual Privacy</b><br><br>P1.1 Minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:  | <ul style="list-style-type: none"><li>• The portion of land being overlooked by the first and second floor balconies on both adjoining properties are not currently being used as an active habitable space (i.e. outdoor living</li></ul>  |

|  |  |
|--|--|
| <ul style="list-style-type: none"> <li>• Building layout and location;</li> <li>• Design of major openings;</li> <li>• Landscape screening of outdoor active habitable spaces; and/or</li> <li>• Location of screening devices.</li> </ul> <p>P1.2 Maximum visual privacy to side and rear boundaries through measures such as:</p> <ul style="list-style-type: none"> <li>• Offsetting the location of ground and first floor windows so that viewing is oblique rather than direct;</li> <li>• Building to the boundary where appropriate;</li> <li>• Setting back the first floor from the side boundary;</li> <li>• Providing higher or opaque and fixed windows; and/or</li> <li>• Screen devices (including landscaping, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters).</li> </ul> | <p>area).</p> <ul style="list-style-type: none"> <li>• The adjoining properties do contain some existing vegetation that act as a vegetative screening device to minimise the overlooking impacts, however these are not necessarily permanent and can be removed at any time;</li> <li>• The design of the dwelling is able to accommodate additional screening to minimise overlooking, yet still provide ocean views to the west;</li> <li>• No justification has been provided that necessitates the lack of screening.</li> </ul> |
|--|--|

Table 1 – Design Principles Assessment

Further Comments

The applicant intends to keep the existing retaining walls located at the property and has positioned the dwelling to ensure no significant modifications are required. This contributes to the rear setback variation, as moving the dwelling forward is restricted by an existing retaining wall adjacent to the dwelling.

It should be noted that the rear setback is compliant at an R20 coding. The variation to the rear setback is a result of the application being assessed at an R12.5 coding given the land is not currently serviced by reticulated sewer. The impact the dwelling will have from an amenity perspective is the same regardless of the density coding. For this reason the variation is considered acceptable in this instance.

The design of the dwelling includes privacy screening along the northern portion of the first floor balcony, however this does not continue along the frontage of the balcony. The unusual alignment of the side boundary results in a portion of the adjoining land being overlooked. It is suggested the applicant extend the proposed screening device along a portion of the balcony frontage to be in line with the lot boundary, thus reducing the extent of overlooking. This will ensure the current and future landowners of the adjoining lot are not adversely affected by overlooking.

It is also recommended that the rear section of the first floor balcony and the rear portion of the 'viewing deck' also have privacy screening installed to avoid overlooking into the adjoining properties. The potential privacy impacts resulting from overlooking can have significant consequences on the amenity of adjoining landowners and any variations sought should have adequate justification. In this instance, no justification has been provided which warrants a departure to the extent being sought.

### Bushfire Planning

*State Planning Policy 3.7 – Planning in Bushfire Prone Areas* (SPP 3.7) provides a foundation for land use planning to address bushfire risk management. The subject lot is designated as being bushfire prone. The applicant has provided a Bushfire Attack Level (BAL) Assessment as part of the submission which demonstrates a rating of 12.5. The risk is considered to be low with a potential threat from ember attack.

### Summary

In view of the above assessment Administration considers the proposed rear setback variation to be acceptable. However, privacy screening is recommended to be installed along portions of the first floor balcony and the second floor viewing deck. Appropriate conditions have been imposed reflecting Administrations recommendation to Council.

### Advice Notes

Should Council approve this Application, the following Advice Notes will be included:

- Note 1: If you are aggrieved by the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: If the development subject to this approval is not substantially commenced within a period of two years, the approval shall lapse and have no further effect.
- Note 3: Where an approval has so lapsed, no development must be carried out without further approval of the local government having first been sought and obtained.
- Note 4: Further to this approval, the applicant is required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and the *Public Health Act 2016*, which are to be approved by the Shire of Gingin.
- Note 5: This planning approval shall not be construed as an approval or support of any kind for any other planning related application (including subdivision) on the subject land.
- Note 6: The applicant/landowner is advised to refer to the requirements of the *Health (Treatment of Sewerage and Disposal of Effluent and Liquid Waste) Regulations 1974*.

Note 7: This approval does not authorise any interference with dividing fences, nor entry onto neighbouring land. Accordingly, should you wish to remove or replace any portion of a dividing fence, or enter onto neighbouring land, you must first come to a satisfactory arrangement with the adjoining property owner. Please refer to the *Dividing Fences Act 1961*.

Note 8: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment.

## STATUTORY ENVIRONMENT

*Local Planning Scheme No 9*

Part 4 – Zones and the Use of Land

State Planning Policy 3.1 Residential Design Codes

Part 5

## POLICY IMPLICATIONS

Nil

## BUDGET IMPLICATIONS

Nil

## STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017 – 2027

|                   |   |
|-------------------|---|
| <b>Focus Area</b> | <i>Infrastructure and Development</i>   |
| <b>Objective</b>  | <i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner</i> |
| <b>Outcomes</b>   | <i>3.3 Connectivity and Accessibility<br/>The Shire's community infrastructure supports connectivity and accessibility.</i>                           |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

### RECOMMENDATION

It is recommended that Council grant Development Approval for a Dwelling on Lot 104 (38) Jones Street, Ledge Point, subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;
2. This Approval is for a Single House only as indicated on the approved plans;



3. Prior to the occupation of the house, the first floor balcony and second floor viewing deck shall be provided with permanent privacy screening as marked in red ink on the approved plans;
4. All privacy screens indicated on the approved plans such as obscure glazing, timber screens, external blinds, window hoods and shutters are to be at least 1.6m in height from Finished Floor Level, at least 75% obscure, permanently fixed, made of durable material and restrict view in the direction of overlooking into any adjoining property (as per Clause 5.4.1, subclause C1.2 of the Residential Design Codes); and
5. Stormwater runoff shall be collected and contained within the site.

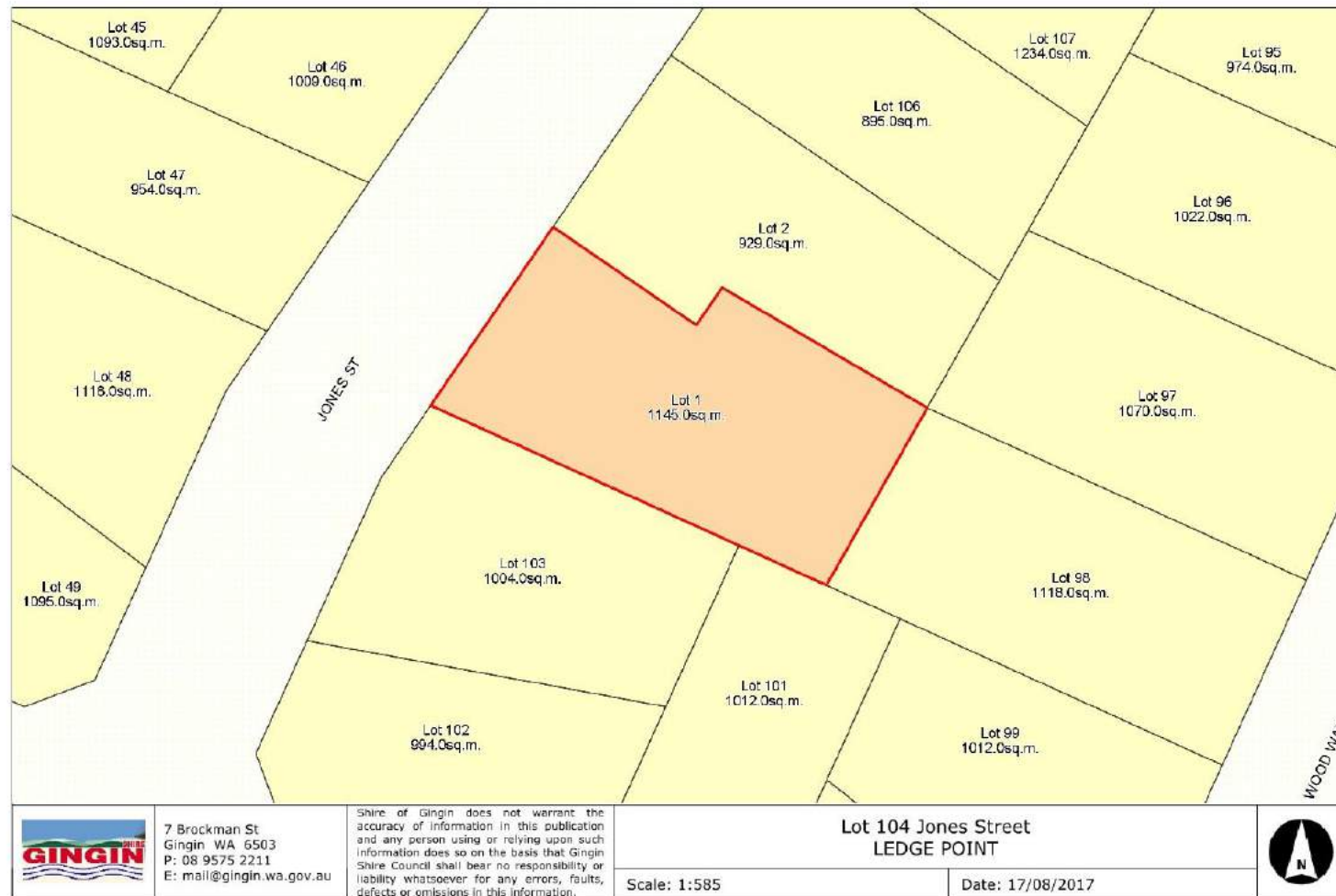
## **RESOLUTION**

**Moved Councillor Elgin, seconded Councillor Ammon that Council grant Development Approval for a Dwelling on Lot 104 (38) Jones Street, Ledge Point, subject to the following conditions:**

1. **The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;**
2. **This Approval is for a Single House only as indicated on the approved plans;**
3. **Prior to the occupation of the house, the first floor balcony and second floor viewing deck shall be provided with permanent privacy screening as marked in red ink on the approved plans;**
4. **All privacy screens indicated on the approved plans such as obscure glazing, timber screens, external blinds, window hoods and shutters are to be at least 1.6m in height from Finished Floor Level, at least 75% obscure, permanently fixed, made of durable material and restrict view in the direction of overlooking into any adjoining property (as per Clause 5.4.1, subclause C1.2 of the Residential Design Codes); and**
5. **Stormwater runoff shall be collected and contained within the site.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**



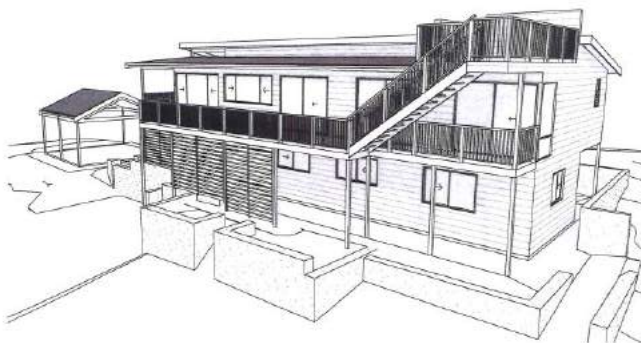
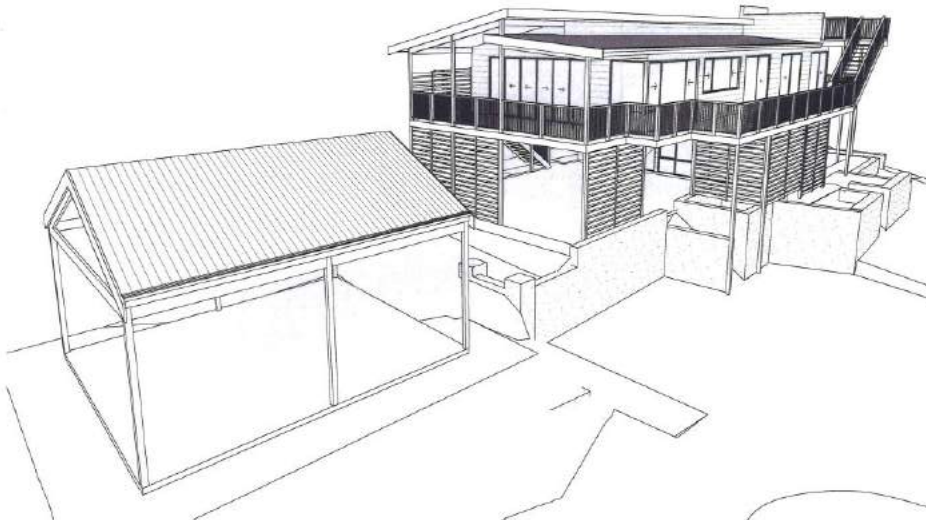




# PROPOSED DE BATTISTA RESIDENCE

LOT 01 H38,  
JONES STREET,  
LEDGE POINT

001148



## BAL NOTES - BAL 12.5

FLOOR - CONCRETE SLAB ON GROUND.

### FLOOR SYSTEMS & DECKS:

#### FLOOR SYSTEM (100 TO 2400 ABOVE G.L.)

- 100 X 100 ROUGH SAWN HS STUMPS CAST INTO 500 X 500 X 500 PAD @ 2400CTS MAX.
- BEARERS - 150 X 80 X 2.0 RHS OR TIMBER
- JOISTS - 200 X 30 LVL @ 450CTS & RIPPED DOWN TO 170 FOR WET AREAS.
- UNDERSIDE OF FLOOR'S SYSTEM LINED WITH 4.5MM FIBRE CEMENT SHEETS.
- R4.0 INSULATION BATT'S USED IN FLOOR

#### FLOOR SYSTEM (2400 AND OVER ABOVE G.L.)

- 100 X 100 ROUGH SAWN HS STUMPS CAST INTO 500 X 500 X 500 PAD
- BEARERS - 150 X 60 X 2.0 RHS OR TIMBER
- JOISTS - 200 X 30 LVL @ 450CTS & RIPPED DOWN TO 170 FOR WET AREAS.
- UNDERSIDE OF FLOOR'S SYSTEM LINED WITH 4.5MM FIBRE CEMENT SHEETS.
- R4.0 INSULATION BATT'S USED IN FLOOR

#### DECKING AT GROUND LEVEL

- GALV. STIRRUPS CAST INTO 300 X 300 X 300 PAD FOOTING @ 1500CTS MAX.
- BEARERS - 90 X 90 X 3 OR 200 X 45
- JOISTS - 60 X 45 H3 @ 450CTS
- DECKING - PINE, MERBAU, JARRAH & COMPOSITE DECKING PRODUCTS

#### DECKING WITH GROUND CLEARANCE (100 TO 2400 ABOVE G.L.)

- 100 X 100 ROUGH SAWN HS STUMPS CAST INTO 500 X 500 X 500 PAD
- FOOTINGS 2400CTS MAX. OR CCA TREATED POLES
- BEARERS - 150 X 50 X 2.0 RHS
- JOISTS - 150 X 45 H3 @ 450CTS

#### DECKING WITH GROUND CLEARANCE (2400 AND OVER ABOVE G.L.)

- 90 X 90 X 3.5 SH3 STUMPS CAST INTO 500 X 500 X 500 PAD FOOTINGS @ 2400CTS MAX.
- BEARERS - 150 X 50 X 2.0 RHS
- JOISTS - 150 X 45 H3 @ 450CTS

#### EXTERNAL WALLS, POSTS AND FINISHERS:

- DECKING - PINE, MERBAU, JARRAH & COMPOSITE DECKING PRODUCTS
- CLADDING A MINIMUM OF 9MM IN THICKNESS WITHIN 400MM OF GROUND OR EXTERNAL SURFACE.

#### VENTS IN WALLS:

- SCREENED WITH ALUMINIUM MESH WITH MAXIMUM APERTURE OF 2MM.

#### WINDOWS:

- ALUMINIUM METAL FRAME, OPENABLE PORTION FITTED WITH AN ALUMINIUM MESH SCREEN WITH MAXIMUM APERTURE OF 2MM. WHERE GLAZING IS LESS THAN 400MM ABOVE GROUND/PAVING LEVEL, TO BE GRADE A SAFETY GLASS MINIMUM 4MM.

#### DOORS SIDE-HUNG:

- NON-COMBUSTIBLE OR SOLID-TIMBER SPECIES AS SPECIFIED IN PARAGRAPH E1 (JARRAH) WITH A MINIMUM THICKNESS OF 35MM FOR THE FIRST 400MM AND GLAZING INCORPORATED TO BE GRADE A SAFETY GLASS MINIMUM 4MM.

#### DOORS SLIDING-DOORS:

- ALUMINIUM METAL FRAME GLAZING INCORPORATED TO BE GRADE A SAFETY GLASS COMPLYING WITH AS 1288.

#### ROOF:

- NON-COMBUSTIBLE AND FULLY SARKED, ROOF VENTS FITTED WITH EMBER GUARDS, RIDGE, RIP, VALLEY AND FASCIA LOCATIONS HAVING GAPS/CORRUPTIONS GREATER THAN 3MM TO BE SEALED WITH ALUMINIUM MESH WITH MAXIMUM APERTURE OF 2MM OR MINERAL WOOL.

#### ROOF PENETRATIONS:

- TO BE SEALED TO PREVENT GAPS GREATER THAN 3MM MATERIAL USED TO BE NON-COMBUSTIBLE. OPENINGS TO BE FITTED WITH EMBER GUARDS WITH ALUMINIUM MESH WITH MAXIMUM APERTURE OF 2MM. ALL OVERHEAD GLAZING SHALL BE GRADE A SAFETY GLASS.

#### GARAGE DOOR:

- NON-COMBUSTIBLE FITTED WITH DRAUGHT SEALS WITH A MAXIMUM GAP NO GREATER THAN 3MM.



## AK Homes

Construction Pty Ltd  
32 Wellington Street,  
Bunbury WA 6230  
9221 7425

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may result in legal action.

CLIENT : DE BATTISTA

SITE :  
LOT 01 H38,  
JONES STREET,  
LEDGE POINT

JOB No :

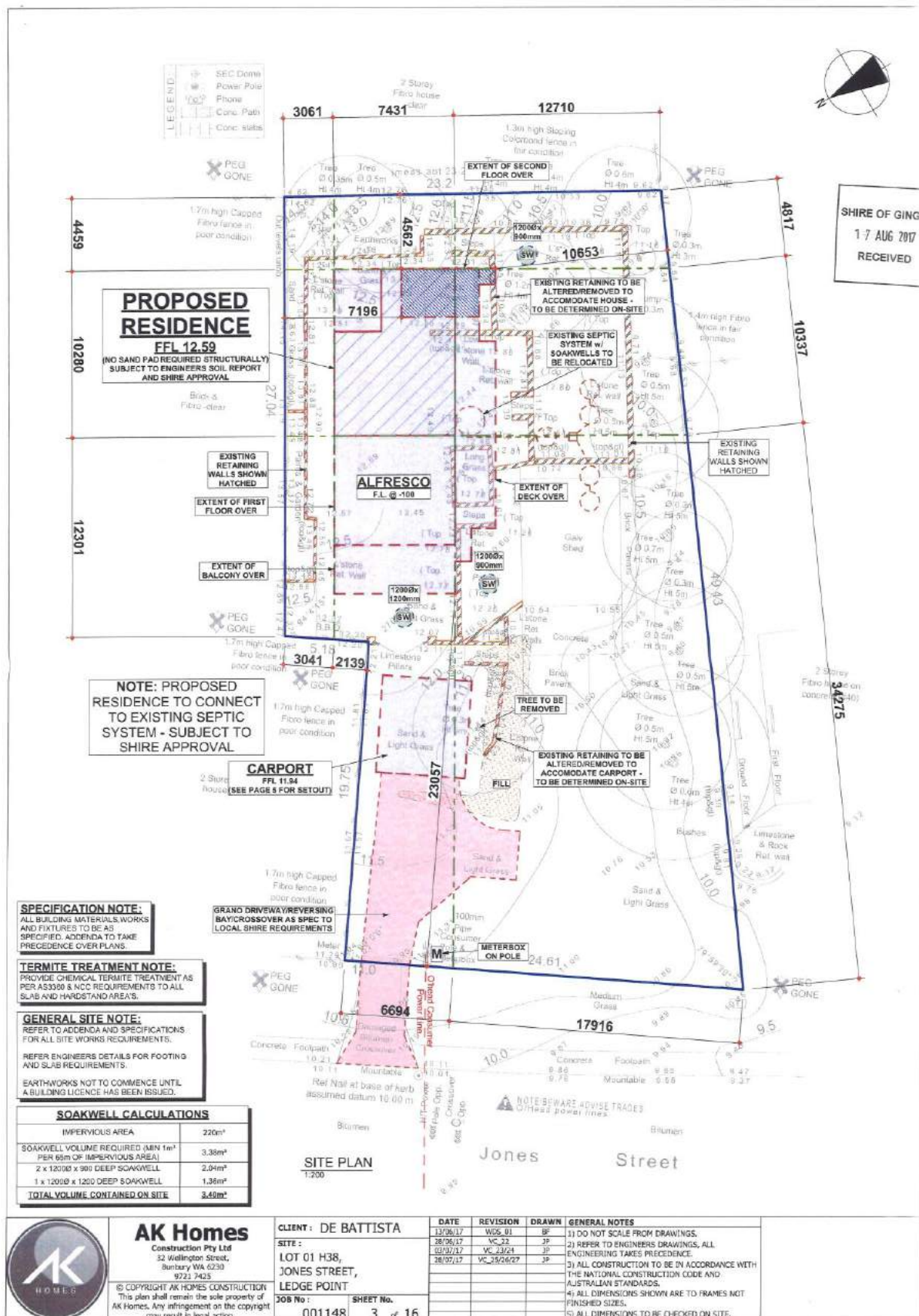
SHEET No :

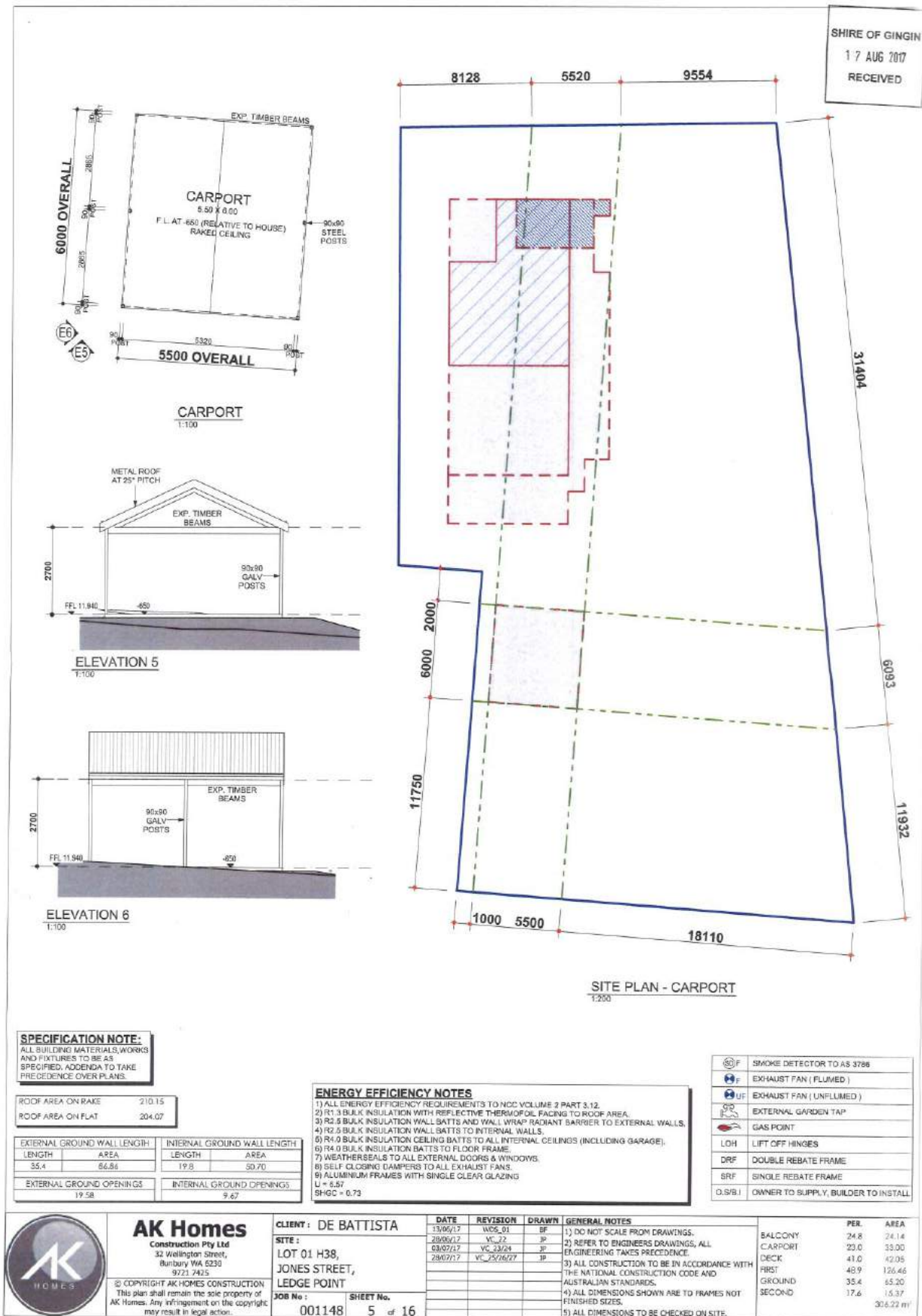
001148 1 of 16

| DATE     | REVISION    | DRAWN | GENERAL NOTES                                |
|----------|-------------|-------|--|
| 13/06/17 | WDS_01      | BF    | 1) DO NOT SCALE FROM DRAWINGS.               |
| 25/06/17 | VC_22       | JP    | 2) REFER TO ENGINEERS DRAWINGS, ALL          |
| 01/07/17 | VC_23/24    | JP    | ENGINEERING TAKES PRECEDENCE.                |
| 29/07/17 | VC_25/26/27 | JP    | 3) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH |
|          |             |       | THE NATIONAL CONSTRUCTION CODE AND           |
|          |             |       | AUSTRALIAN STANDARDS.                        |
|          |             |       | 4) ALL DIMENSIONS SHOWN ARE TO FRAMES NOT    |
|          |             |       | FINISHED SIZES.                              |
|          |             |       | 5) ALL DIMENSIONS TO BE CHECKED ON SITE.     |

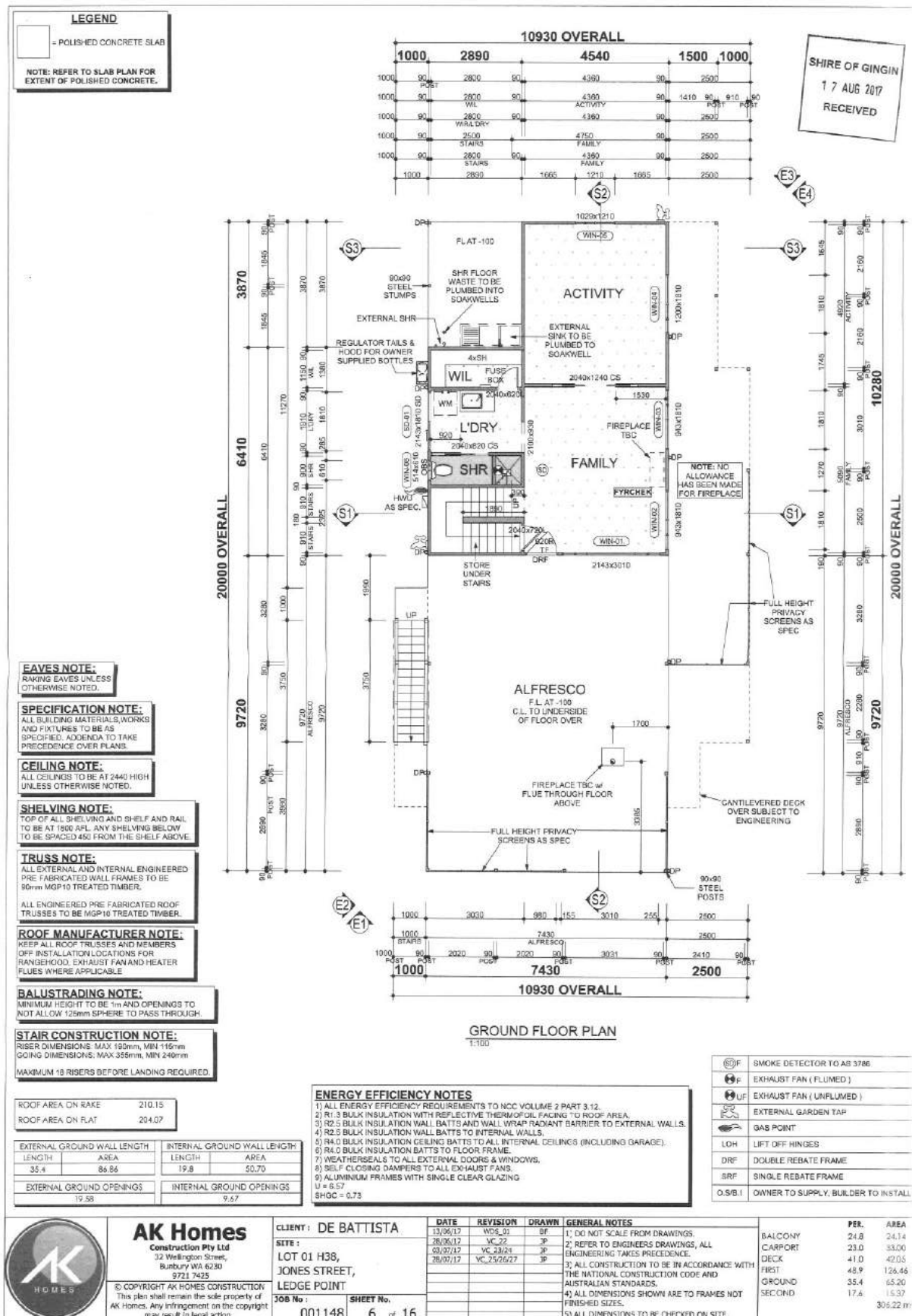




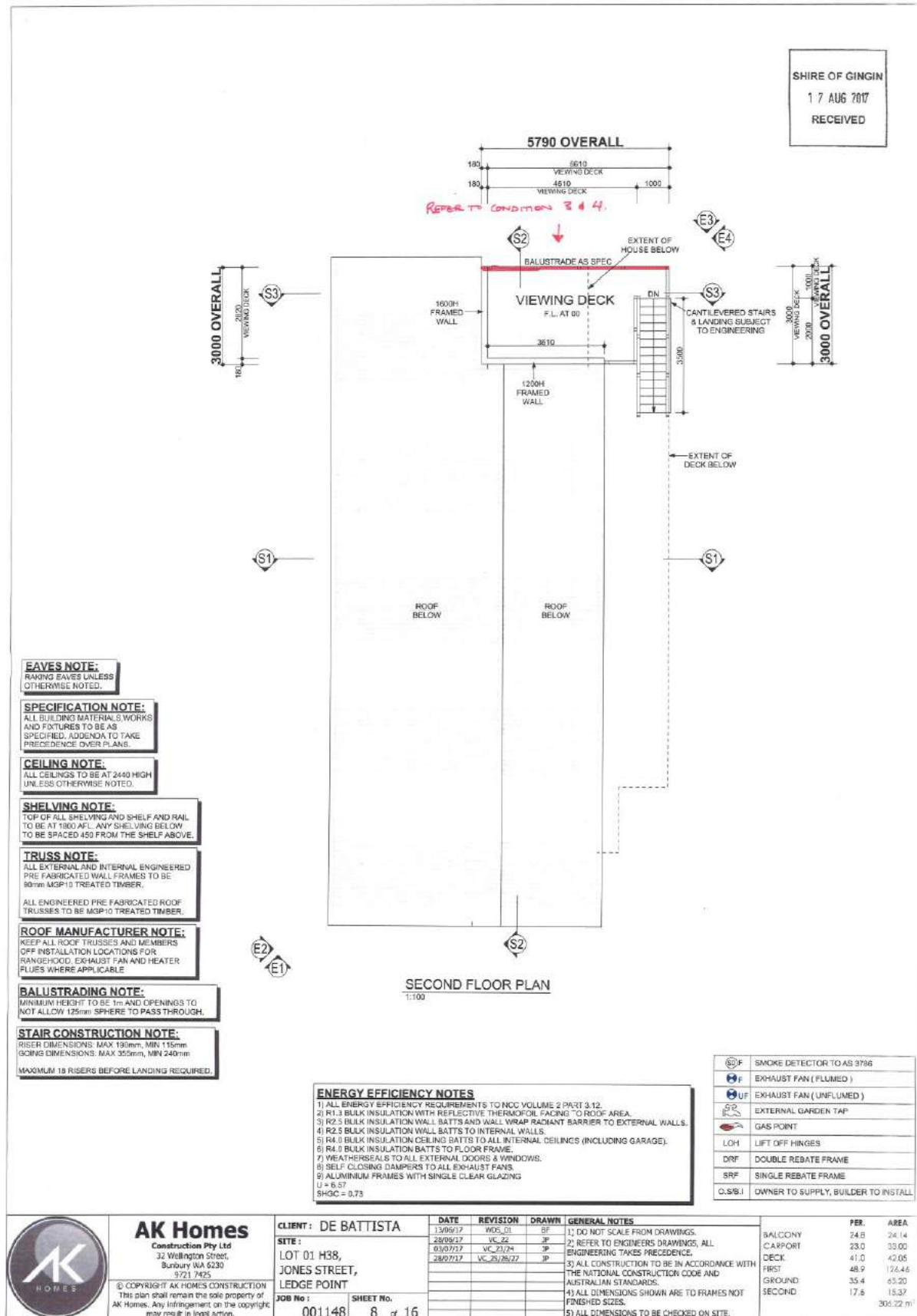






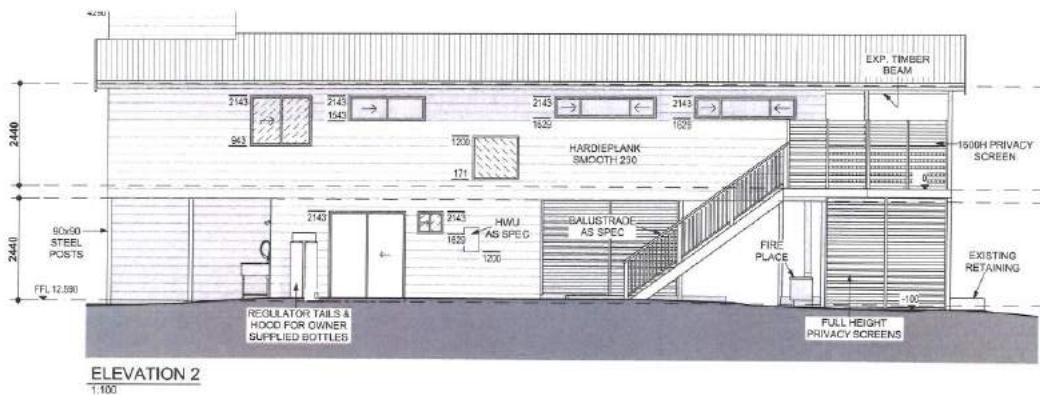
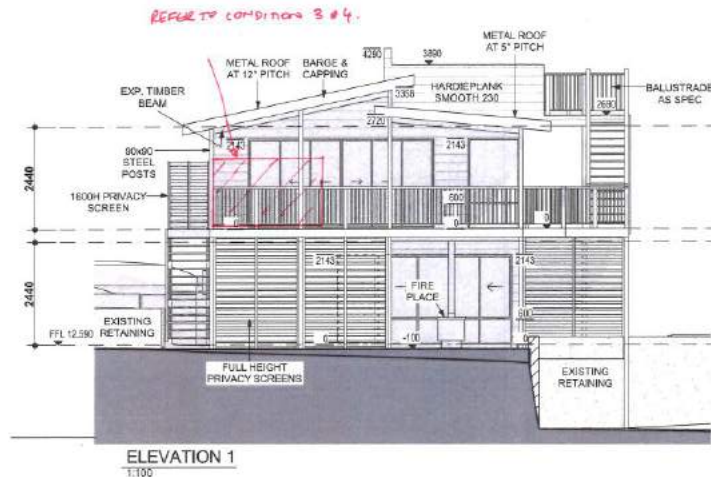









SHIRE OF GINGIN  
17 AUG 2017  
RECEIVED

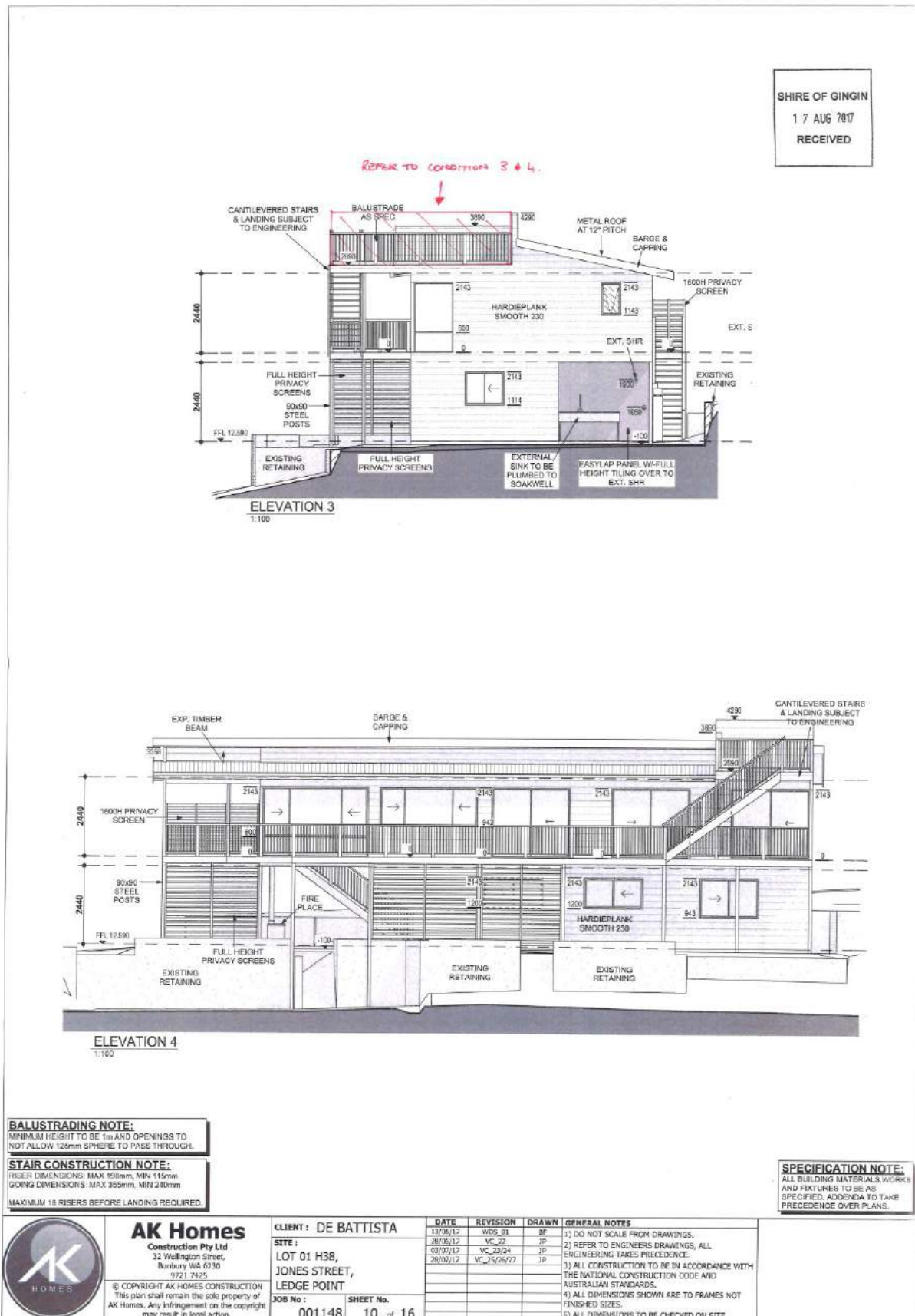


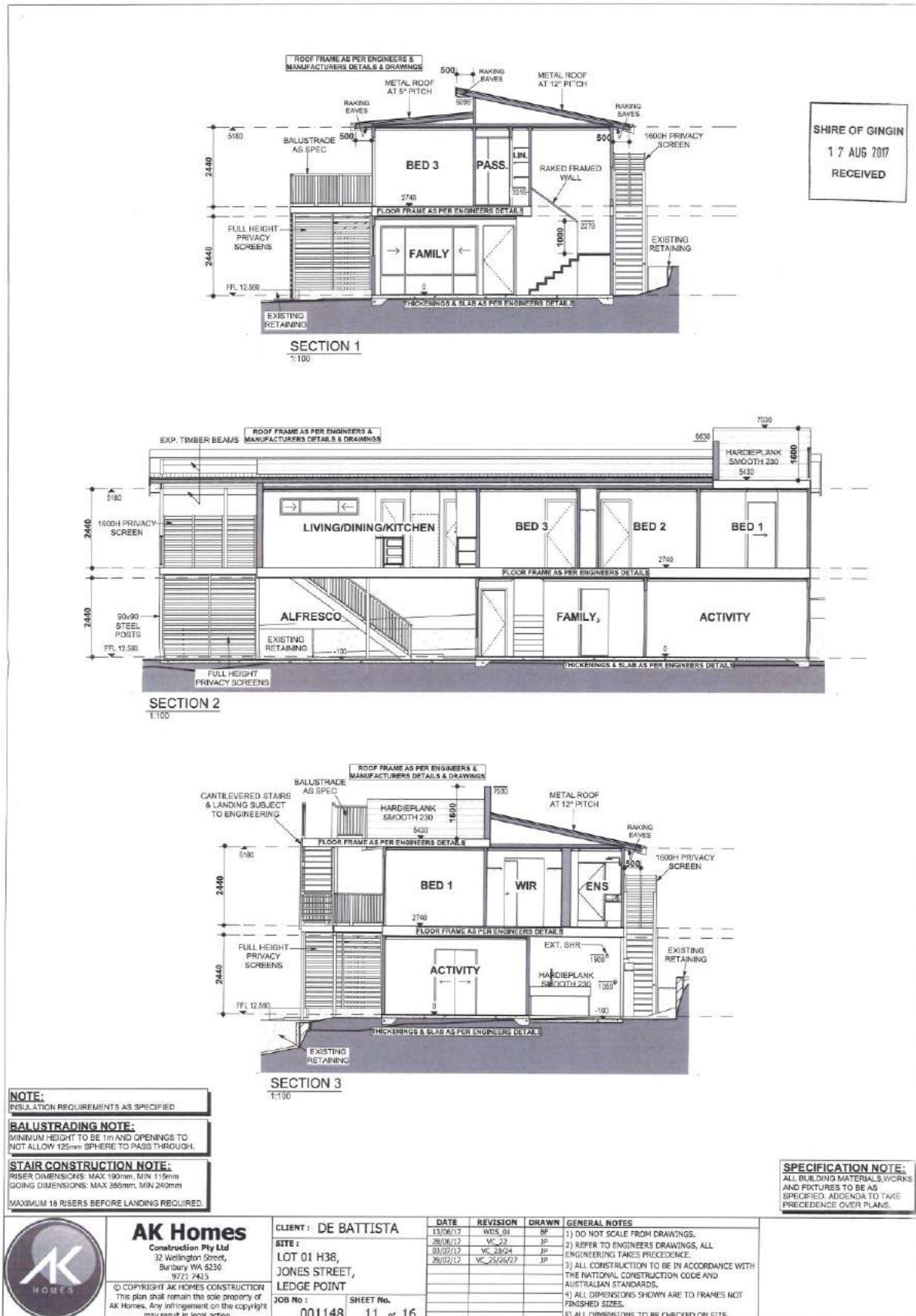
**BALUSTRADING NOTE:**  
MINIMUM HEIGHT TO BE 1m AND OPENINGS TO NOT ALLOW 125mm SPHERE TO PASS THROUGH.

**STAIR CONSTRUCTION NOTE:**  
RISER DIMENSIONS: MAX 180mm, MIN 115mm  
GOING DIMENSIONS: MAX 355mm, MIN 240mm  
MAXIMUM 18 RISERS BEFORE LANDING REQUIRED.

**SPECIFICATION NOTE:**  
ALL BUILDING MATERIALS, WORKS AND FIXTURES TO BE AS SPECIFIED. ADDENDA TO TAKE PRECEDENCE OVER PLANS.

|  |   |   |              |       |   |
|--|---|---|--------------|-------|---|
|  <p><b>AK Homes</b><br/>Construction Pty Ltd<br/>32 Wellington Street,<br/>Bunbury WA 6230<br/>9721 2425</p> <p>© COPYRIGHT AK HOMES CONSTRUCTION<br/>This plan shall remain the sole property of<br/>AK Homes. Any infringement on the copyright<br/>may result in legal action.</p> | CLIENT : DE BATTISTA                                      | DATE                                    | REVISION     | DRAWN | GENERAL NOTES   |
|  | SITE :<br><br>LOT 01 H38,<br>JONES STREET,<br>LEDGE POINT | 13/06/17                                | WDS, 01      | BF    | 1) DO NOT SCALE FROM DRAWINGS.  |
|  |   | 28/06/17                                | VC, 22       | JP    | 2) REFER TO ENGINEERS DRAWINGS, ALL<br>ENGINEERING TAKES PRECEDENCE.  |
|  |   | 02/07/17                                | VC, 23-24    | JP    | 3) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH<br>THE NATIONAL CONSTRUCTION CODE AND<br>AUSTRALIAN STANDARDS. |
|  |   | 28/07/17                                | VC, 25/26/27 | JP    | 4) ALL DIMENSIONS SHOWN ARE TO FRAMES NOT<br>FINISHED SIZES.  |
| JOB NO : 001148  | SHEET No. 9 of 16   | 5) ALL DIMENSIONS TO BE CHECKED ON SITE |              |       |   |





# APPENDIX 2

## SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

### APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED SINGLE HOUSE ON LOT 104 JONES STREET, LEDGE POINT

| No. | Submitter | Submission Detail   | Recommended Response  |
|-----|-----------|---|---|
| 1.  | Ratepayer | <p>The Submitter has no objections to the above proposal and makes the following comments:</p> <p><i>We request that non-reflective external cladding be used on the house and carport and we request the carport roof be flat, rather than gabled.</i></p>   | <p>1. Dismissed. The design and location of the carport meets the deemed-to-comply provision of the R-Codes. The Shire cannot enforce that modifications be made to complaint structures.</p>   |
| 2.  | Ratepayer | <p>The Submitter has no objections to the above proposal and makes the following general comments:</p> <p><i>I support the application subject to compliance with the recommended Rear Boundary set back of 6m – particularly as this is the location also of the unscreened roof top balcony which requires an even greater setback.</i></p> | <p>2. Noted. The applicant is unable to meet the 6 metre setback requirement stipulated within the R-Codes hence part of the reason for advertising. Please refer to the report for further details with respect to the rear setback and unscreened roof top balcony.</p> |



### **11.3.4 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED SECOND DWELLING ON LOT 101 GINGIN BROOK ROAD, COONABIDGEE**

**FILE:** BLD/6869  
**APPLICANT:** TERRI MANNS AND PETER MANNS  
**LOCATION:** LOT 101 GINGIN BROOK ROAD, COONABIDGEE  
**OWNER:** PJ AND TH MANNS SUPERANNUATION PTY LTD  
**ZONING:** GENERAL RURAL (GR30)  
**WAPC NO:** N/A  
**AUTHOR:** JAMES BAYLISS – STATUTORY PLANNING OFFICER  
**REPORTING OFFICER:** LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

#### **OFFICER INTEREST DECLARATION**

Nil

#### **PURPOSE**

To consider an application for development approval for proposed Staff Workers Accommodation on Lot 101 Gingin Brook Road, Coonabidgee.

#### **BACKGROUND**

The Shire received an Application for Development Approval on 20 September 2017 for proposed Staff Workers Accommodation at the subject property. The site is 27 hectares in area and currently contains an existing single house and associated outbuildings. It should be noted that the applicants own adjoining land titles that create an overall farming area of 167 hectares.

The application consists of three second hand transportable units and a patio that will be positioned in a matter to function as a dwelling. The structure is setback 45 metres from the side (western) boundary and approximately 106 metres from Gingin Brook Road, partially screened by the existing dwelling.

The landowners seek to engage an employee to reside at the property on a permanent basis to manage the farming operations as they move towards retirement. The owners seek approval to construct the staff workers accommodation to enable themselves to temporarily reside at the property throughout the year and on weekends to assist in farming operations during busy periods, without the need to live with their employees.

The property is currently running a commercial cattle operation. The existing vehicle access from Gingin Brook Road will service both dwellings.

Council consideration is required as Administration does not have the authority to approve an 'A' use under delegation.

A location plan and a copy of the applicant's proposal is provided as **Appendix 1**.

## COMMENT

### Community Consultation

The applicant's provided the Shire with signed consent from all adjoining landowners which were subsequently verified by Administration. Given the nature of the proposal, clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015* also required that an advertising sign be erected at the property for a period of 21 days.

The Shire did not receive any response from the advertising process.

## PLANNING FRAMEWORK

### Local Planning Scheme No 9 (LPS 9)

The subject land is zoned General Rural (GR30) under LPS 9, the objectives of which are to:

- a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and water course systems from damage; and*
- d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

Clause 4.8.6.2 of LPS 9 states:

*"No more than one single dwelling house shall be erected on a lot zoned General Rural unless the Local Government is satisfied that an additional house is necessary or desirable for the continuation of a bona fide agricultural activity, and is satisfied that the land can be adequately services, surrounding amenity is not adversely impacted on or any other consideration it considers relevant".*

LPS 9 defines Staff Workers Accommodation as:

*"self-contained living accommodation (separate to a single dwelling) used for the accommodation of persons directly employed in an approved activity carried out on the lot and does not include a Caretakers Dwelling."*

The existing livestock operation would benefit from a staff worker being onsite permanently, particularly during summer months to check water and undertake day to day farm maintenance. It is acknowledged that it is desirable to have an employee reside at the property, however to facilitate this, the applicant's require standalone accommodation of their own.

The application is consideration to satisfy the above clause as the surrounding amenity is not adversely affected and neighbours consent has been provided. The provision of a second dwelling will enable the landowners to continue operating agricultural activity at the property.

### Setbacks

In accordance with Table 2 – Site Requirements of LPS 9, the dwelling is located more than 20 metres from all lot boundaries. The structure will be setback approximately 45 metres from the side boundary and approximately 106 metres from the front boundary (Gingin Brook Road).

### Local Planning Policy 1.5 – Transportable Dwellings (LPP 1.5)

LPP 1.5 provides guidelines for development of second hand relocated and transportable dwellings throughout the Shire and is applicable in this instance. LPP 1.5 designates second hand transportable dwellings as a “P” permitted use within the General Rural zoning.

The amenity of transportable units is given particular consideration to ensure the structures are visually acceptable. The applicant has provided photographs of the proposed transportables which form the dwelling, demonstrating they are in good condition visually. The application is conservative to satisfy the requirements of LPP 15.

### Bushfire Planning

*State Planning Policy 3.7 – Planning in Bushfire Prone Areas* (SPP 3.7) provides a foundation for land use planning to address bushfire risk management. The subject lot is designated as being partially bushfire prone, with the development footprint located over 100 metres from the area of the lot identified as a bushfire risk.

As such the applicant has provided a Bushfire Attack Level (BAL) Assessment (basic) indicating a rating of BAL – LOW. This is deemed to be acceptable.

### Servicing

Any additional servicing requirements will be the applicant’s responsibility, however it is noted that the existing dwelling is connected to relevant services and the applicant intends to utilise the existing connections.

### Summary

In view of the above assessment, Administration is of the view that the site is capable of accommodating the second dwelling. The proposal satisfies LPS 9 and LPP 1.5 as explained in the preceding report.

### Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- Note 1: If you are aggrieved by the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: Further to this approval, the applicant is required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and *Public Health Act 2016*, which are to be approved by the Shire of Gingin.
- Note 3: This planning approval shall not be construed as an approval or support of any kind for any other planning related application (including subdivision) on the subject land.
- Note 4: The applicant/landowner is advised to refer to the requirements of the *Health (Treatment of Sewerage and Disposal of Effluent and Liquid Waste) Regulations 1974*.
- Note 5: It is the landowners' responsibility to implement and maintain bushfire protection and mitigation measures on their property.

## STATUTORY ENVIRONMENT

*Local Planning Scheme No 9*

Part 4 – General Development Requirements

4.7 General Development Standards

4.8.6 General Rural Zones

Local Planning Policy 1.5 – Transportable Dwellings

## POLICY IMPLICATIONS

Nil

## BUDGET IMPLICATIONS

Nil

## STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017 – 2027

|                   |  |
|-------------------|--|
| <b>Focus Area</b> | <i>Infrastructure and Development</i>  |
| <b>Objective</b>  | <i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner.</i> |
| <b>Outcomes</b>   | <i>3.1 Development<br/>New and existing development meets the Shire's Strategic Objectives and Outcomes (&gt;WDC)</i>                                  |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

## RECOMMENDATION

It is recommended that Council grant Development Approval for a Staff Workers Accommodation on Lot 101 Gingin Brook Road, Coonabidgee subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;
2. This approval is for Staff Workers Accommodation only as indicated on the approved plans; and
3. The Staff Workers Accommodation is not to be used for any form of short stay accommodation.
4. Prior to the issue of a Building Permit the landowner / applicant is to lodge a \$5000 bond with the Shire of Gingin in accordance with Local Planning Policy 1.5 – Transportable Dwellings.

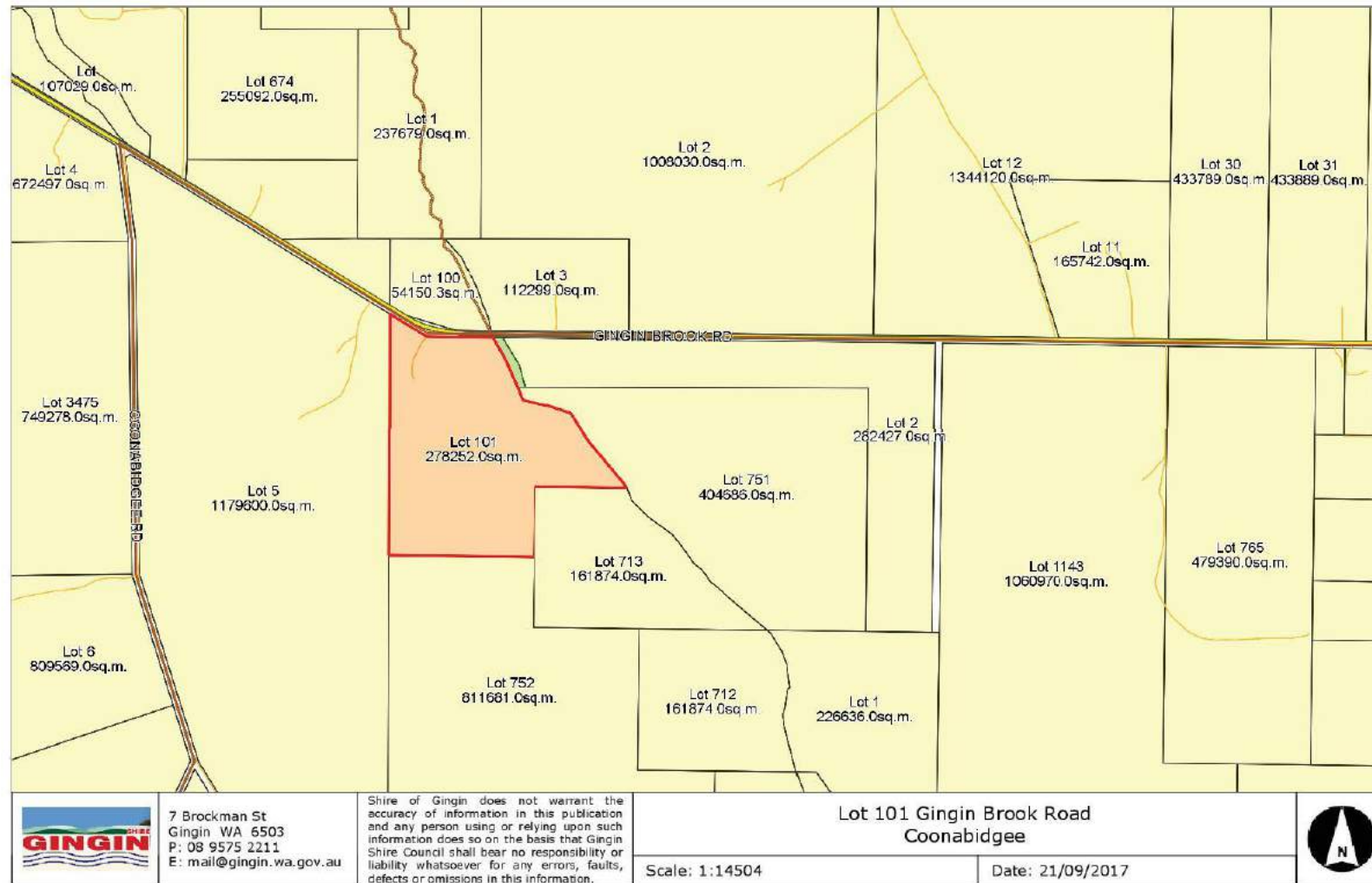
## RESOLUTION

**Moved Councillor Aspinall, seconded Councillor Smiles that Council grant Development Approval for a Staff Workers Accommodation on Lot 101 Gingin Brook Road, Coonabidgee subject to the following conditions:**

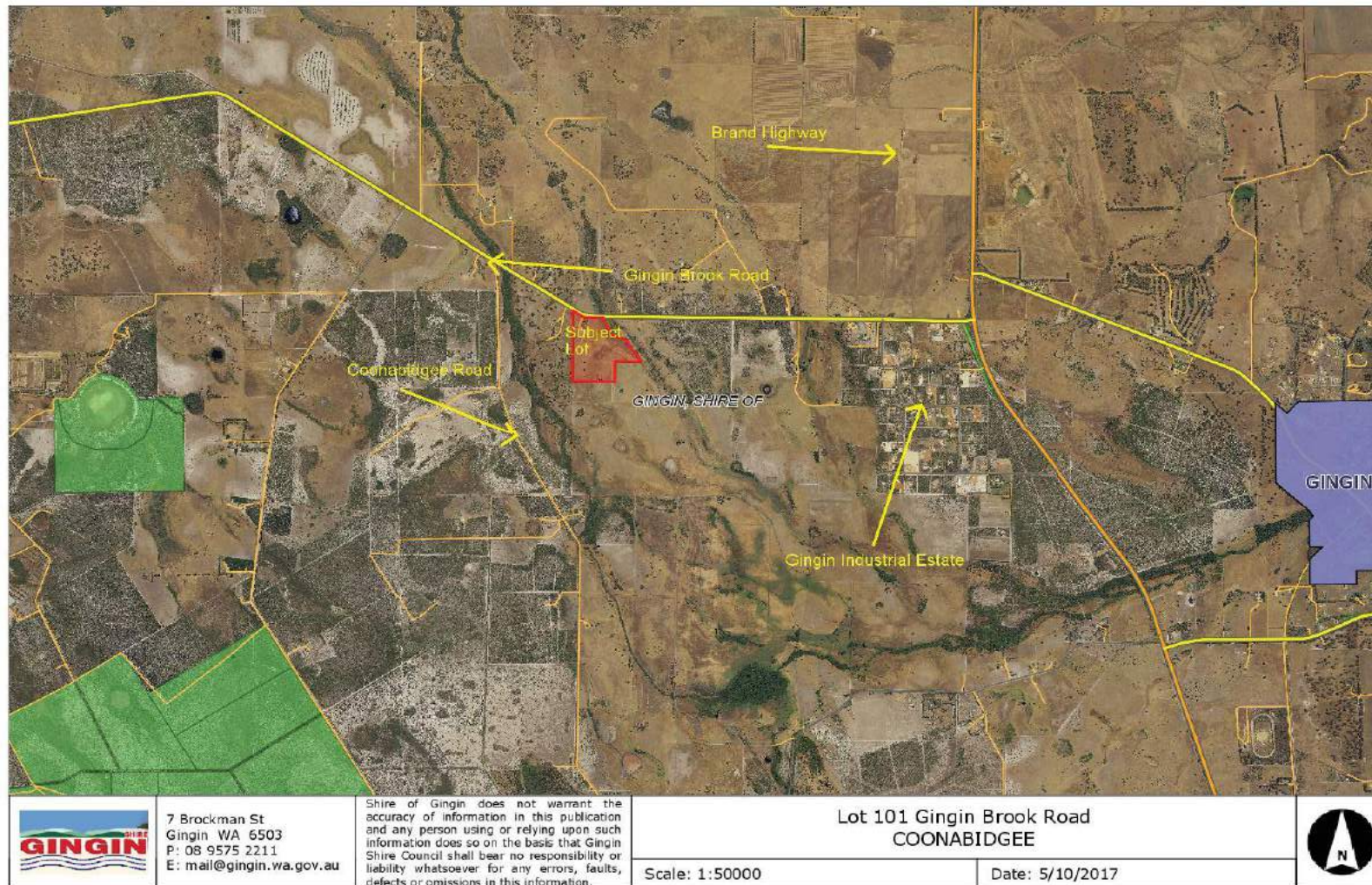
1. **The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;**
2. **This approval is for Staff Workers Accommodation only as indicated on the approved plans;**
3. **The Staff Workers Accommodation is not to be used for any form of short stay accommodation; and**
4. **Prior to the issue of a Building Permit the landowner / applicant is to lodge a \$5000 bond with the Shire of Gingin in accordance with Local Planning Policy 1.5 – Transportable Dwellings.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**











**Karlu Grazing Pty Ltd**

Members of Lime WA Incorporated  
Watheroo Dolomite  
ABN 29 498 013 357

Peter & Terri Manns  
PO Box 487 Gingin WA 6503  
Peter: 0428 922 340  
Terri: 0418 922 340  
Email: terri@dolomite.com.au

Shire of Gingin  
Planning Department  
Brockman Road  
Gingin WA 6503  
18/9/17

Attention to James Bayliss:

We wish to apply to locate three second-hand transportable units to create a second dwelling on Rural Lot 101, 361 Gingin Brook Road, Coonabidgee. Please find attached:

- Application forms
- Site plan indicating location on Lot 101 in relation to boundaries and other buildings x 2
- Part site plan showing detail of the proposed dwelling x 2
- Pictorial information to demonstrate the visual appearance of the units
- Signed letters of support from all neighbours that may be affected.

Reason for Application:

The property (167ha) is currently running a commercial cattle operation of 240 head and has a reasonable 3x1 transportable dwelling plus normal farm outbuildings.

We are moving closer to retirement but need to continue to run the farm as a commercial operation. In order to do this it is essential to have someone living here full time, to check water daily in summer and to ensure that the health and day to day care of the stock is maintained. We will relocate to our other residence at 20 Grigson St Jurien Bay, where we plan to eventually retire. The farm does not generate sufficient income to allow us to employ a full time worker, so it is essential that we are able to come back to Gingin to complete the refencing programme and carry out drenching, marking of calves, pasture renovation, fertiliser spreading, firebreak maintenance and other farming activities on a regular, ongoing basis. As we age and are less able to physically manage some of the tasks, it will allow us to access some assistance and continue to farm in a competent manner and also give us the ability to travel a little without worrying about the care of our stock.

We have purchased 3 transportable units in excellent condition. One of these is a Western Portable unit previously used as an office by Main Roads in Northam and we plan to convert this into a kitchen/living area. The other 2 are Nomad units from Gap Ridge in Karratha, each currently containing 4-ensuited bedrooms. We will convert one bedroom into a storage room, another into a laundry. This will provide sufficient room for our family (our 2 children and their partners and an elderly parent who quite often stays a night or two as she is struggling to come to terms with the loss of my father) and any casual workers that may be required to assist on the odd occasion.

The area we propose to locate the buildings on is flat and cleared pasture with no vegetation or trees needing to be removed or any fill required, on firm ground. It is close to services (power and our own water supply) but not visible from the main house. There is limited visibility from the Gingin Brook Road and no visibility from neighbours diagonally to the north-east (Greenwells) or Garry Thomas who neighbours us on the west and the east, but has no habitable dwellings on these locations. We own the land to the south. The only neighbours with line of sight will be Adam and Tanya Martinovich and they have signed a letter to state that they have no objections to this, as have the other neighbours. It is set back from the Gingin Brook Road and will utilise the current access on and off this road, which has good visibility in both directions.

We do have some assessed fire risk areas on the location but it is well over 150m from the proposed location of the dwelling and I have completed the BALS assessment (attached).

[www.dolomite.com.au](http://www.dolomite.com.au)



**Karlu Grazing Pty Ltd**

Members of Lime WA Incorporated  
Watheroo Dolomite  
ABN 29 498 013 357

Peter & Terri Manns  
PO Box 487 Gingin WA 6503  
Peter: 0428 922 340  
Terri: 0418 922 340  
Email: [terri@dolomite.com.au](mailto:terri@dolomite.com.au)

Having approval to put this on the property will enable us continue to run the farm and gradually move toward retirement without having to sell up. It is not viable to build a new residence on the property, as it does not generate enough income to justify this. We commit to ensuring that the result is aesthetically pleasing and that it is completed in a professional manner, compliant with the requirements of the Shire.

If you require any further information, please let me know. Thanks very much for your assistance in ensuring that our application is in accordance with the Shire guidelines.

Kind Regards

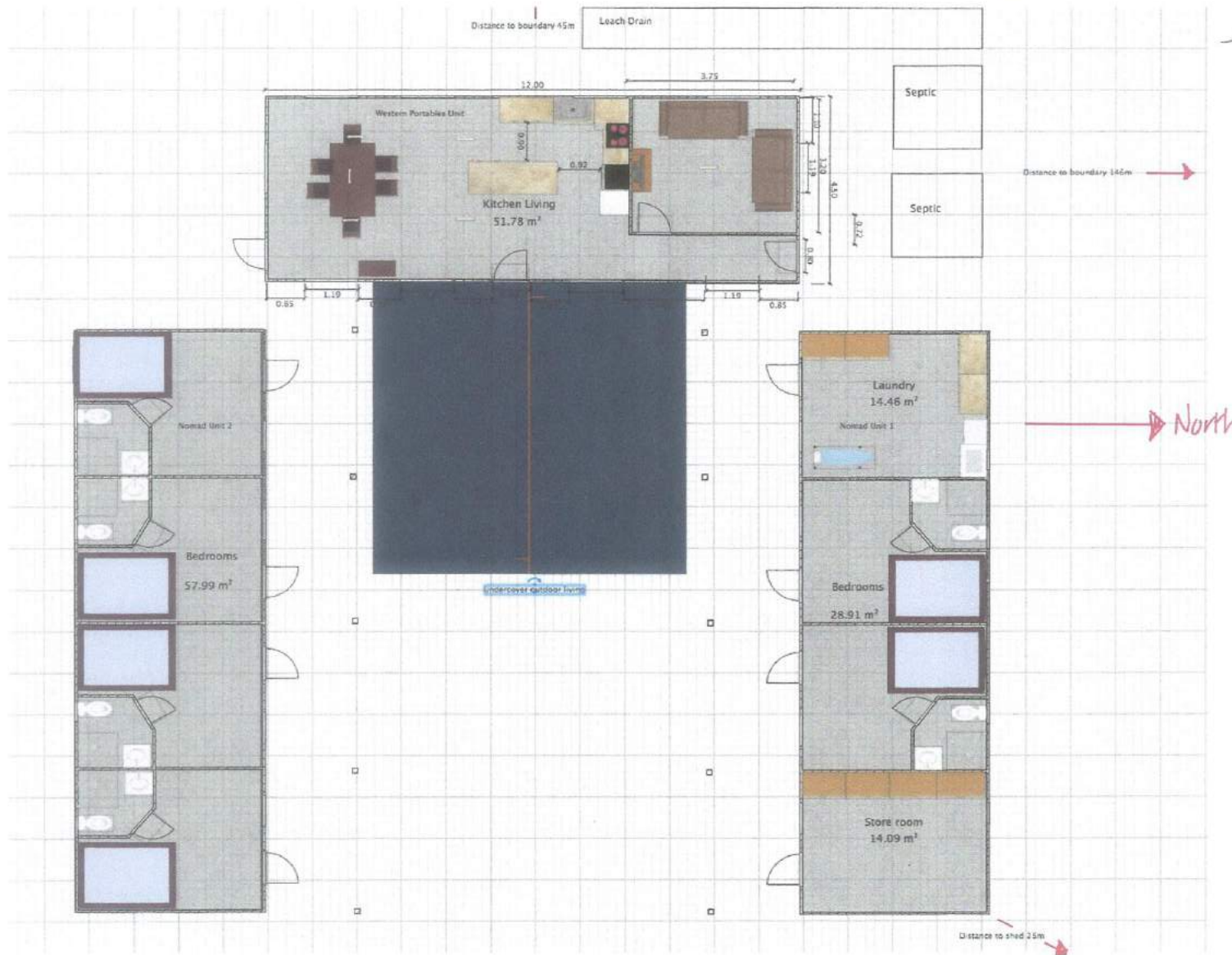
Terri Manns

Peter Manns

Distance to boundaries, other buildings & neighbours

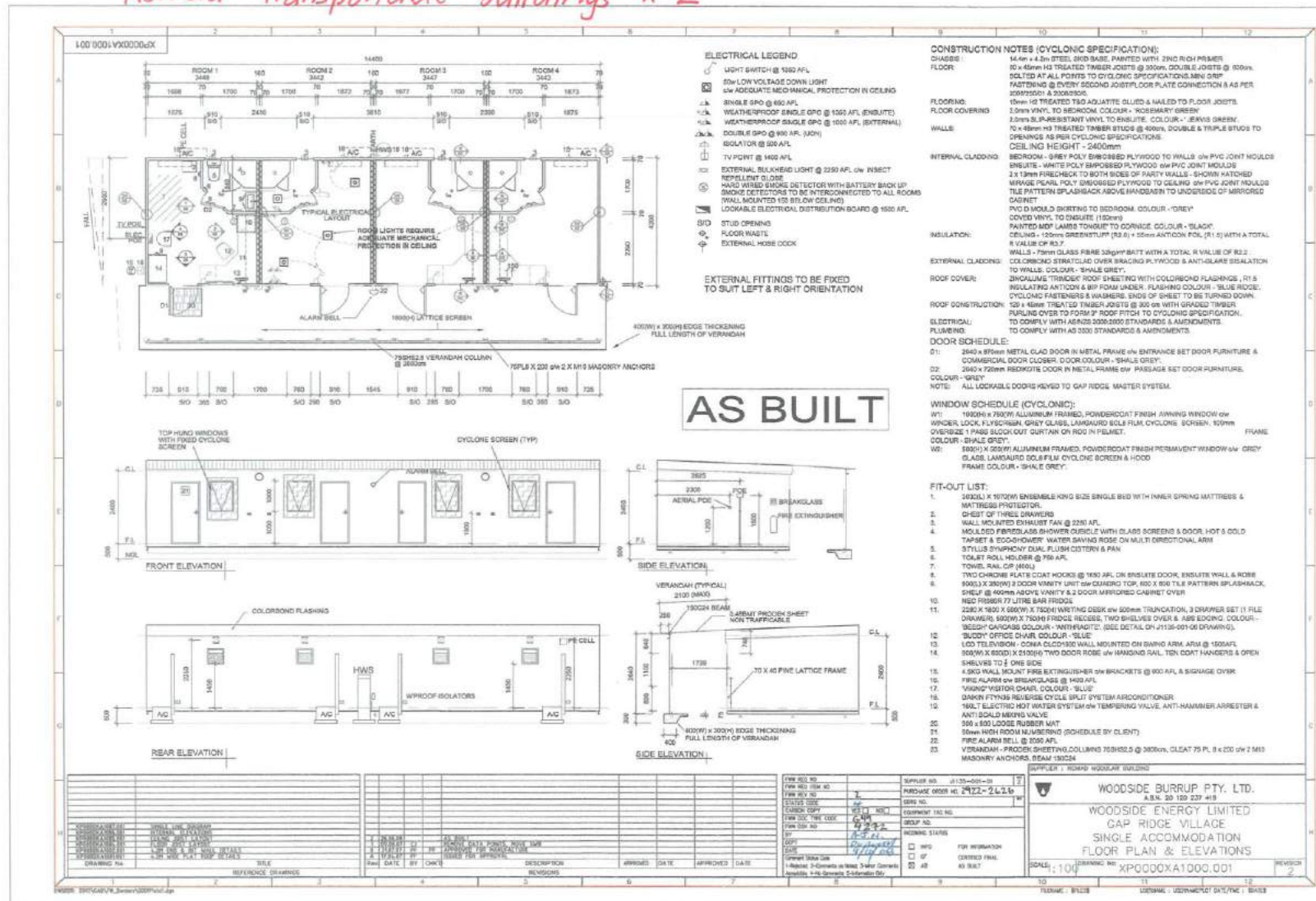








Nomad transportable buildings x 2







### **11.3.5 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED ANIMAL HUSBANDRY INTENSIVE (HARD BOILED EGG ROOM) ON LOT 908 GINGIN BROOK ROAD, NEERGABBY**

**FILE:** BLD/4304  
**APPLICANT:** AAA EGG COMPANY PTY LTD  
**LOCATION:** LOT 908 GINGIN BROOK ROAD, NEERGABBY  
**OWNER:** AAA EGG COMPANY PTY LTD  
**ZONING:** GENERAL RURAL  
**WAPC NO:** N/A  
**AUTHOR:** KYLIE BACON – MANAGER STATUTORY PLANNING  
**REPORTING OFFICER:** LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT SERVICES  
**REPORT DATE:** 19 SEPTEMBER 2017  
**REFER:**

|                   |                 |
|-------------------|-----------------|
| 16 APRIL 1998     | ITEM TP 10-4/98 |
| 18 NOVEMBER 2008  | ITEM 11.3.7     |
| 16 DECEMBER 2008  | ITEM 11.3.5     |
| 19 SEPTEMBER 2014 | ITEM 11.1.8     |
| 21 APRIL 2015     | ITEM 11.3.1     |
| 15 SEPTEMBER 2015 | ITEM 11.3.1     |
| 19 APRIL 2016     | ITEM 11.3.3     |
| 20 DECEMBER 2016  | ITEM 11.3.7     |
| 21 MARCH 2017     | ITEM 11.3.3     |

#### **OFFICER INTEREST DECLARATION**

Nil

#### **PURPOSE**

To consider an application for development approval for an Animal Husbandry Intensive (Hard Boiled Egg Room) on Lot 908 Gingin Brook Road, Neergabby.

#### **BACKGROUND**

Planning consent was first granted at Council's meeting of 16 April 1998 for an Egg Production Farm at the above location, including seven rearing sheds and 21 layer sheds. The following proposal is for a hardboiled egg room setback 36 metres to its closest boundary (eastern boundary). The hours of operation will be the same as the existing egg production on site with the plant operating two to three days per week. The Applicant has advised there shouldn't be any additional staff required. The plant will produce between three to four tonnes of product per week with the eggs being containerised and shipped offsite.

The Shire undertook a site inspection on Thursday 26 September 2017 to discuss waste management issues which are addressed in further detail below.

A location plan and aerial photograph are provided as **Appendix 1**.

A copy of the Applicant's proposal is provided as **Appendix 2**.



## **COMMENT**

### Community Consultation

The application was advertised for a period of 21 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme Regulations) 2015* Deemed Provisions for Local Planning Schemes (deemed provisions).

The Shire has not received any submissions or comments regarding the proposal.

## **PLANNING FRAMEWORK**

### Local Planning Scheme No. 9 (LPS 9)

The subject lot is zoned General Rural under LPS 9, the objectives of which are to:

- a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and water course systems from damage; and*
- d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

The proposal falls into the definition of Animal Husbandry – Intensive, which, under LPS 9, is:

*“Premises used for keeping, rearing or fattening of pigs, poultry (for either egg or meat production), rabbits (for either meat or fur production) and other livestock in feedlots.*

Animal Husbandry – Intensive is a Discretionary land use in the General Rural zone.

The proposal is considered to satisfy the objectives of the General Rural zone outlined above. The building assists in the operation of the existing Animal Husbandry Intensive use (Egg Farm). The land use remains unchanged and the provision of a building of this nature is not anticipated to have a detrimental effect on the locality.

### Local Planning Scheme No 9 Setbacks

The building is setback 36 metres from its closest boundary (eastern boundary). Therefore, the proposal is compliant with the General Rural setbacks prescribed under LPS 9.

### External Guidelines and Policies

The following external guidelines provide guidance in relation to buffer/separation distances for Local Government when considering applications of poultry farms and sensitive uses (i.e. dwellings).

- West Australian Planning Commission – *State Planning Policy 2.5 Rural Planning (SPP 2.5)*; and
- Environmental Protection Authority – *Guidance for the Assessment of Environmental Factors; Separation Distances between Industrial and Sensitive Land Uses* (June 2005) (EPA Guidelines).

The proposal is for a food processing plant. The EPA Guidelines requires a buffer distance to the closest dwelling of between 100 – 300m depending on size and type of product. The hardboiled egg room is not located within a 300m buffer to any adjoining sensitive land use.

### Waste Management

The Applicant has advised the following with respect to how waste from the plant room will be managed:

- *All the waste water will be plumbed in to the present waste water treatment plant;*
- *The waste water treatment plant is known as the DAF (Dissolved Air Flotation) system;*
- *We are using Integra Water Treatment who supplied the waste water plant and act as our waste water consultants;*
- *It separates the solids from the liquids and balances the pH, then the water goes on to pasture;*
- *The solids from the DAF are shipped off site; and*
- *The shell is presently been buried on site but we are currently in discussions to have this taken for use in broad acre cropping due to its high quality calcium component.*

Administration undertook a site inspection on Thursday 26 September 2017 to discuss Waste Management issues with the Applicant for the proposed development and generally for the whole poultry farm. As a result of these discussions the Applicant will be required to update their existing Waste Management Plan to incorporate details of how waste will be managed from the hardboiled egg room into their existing waste system and how other poultry waste (manure/dead birds/damaged eggs) is managed within the current *Stable Fly Management Plan 2016*.

### Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- Note 1: Further to this approval, the Applicant will be required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011*, the *Building Regulations 2012* and the *Public Health Act 2016*, and all relevant health legislation, which are to be approved by the Shire of Gingin.
- Note 2: This approval is not a building permit or an approval under any law other than the *Planning and Development Act 2005*. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licences required under any other law, and to commence and carry out development in accordance with all relevant laws.
- Note 3: It is the landowners' responsibility to implement and maintain bushfire protection and mitigation measures on their property.
- Note 4: The operation will be required to comply with the *Environmental Protection (Noise) Regulations 1997*.

### **STATUTORY ENVIRONMENT**

*Local Planning Scheme No. 9*

Part 3 – Zones and the Use of Land

3.2 Objectives of the Zones

Part 4 – General Development Requirements

4.7 General Development Standards

4.8.6 General Rural Zones

State Planning Policy 2.5 Rural Planning

Environmental Protection Authority Guidance for the Assessment of Environmental Factors; Separation Distances between Industrial and Sensitive Land Uses (June 2005)

### **POLICY IMPLICATIONS**

Nil

### **BUDGET IMPLICATIONS**

Nil

## STRATEGIC IMPLICATIONS

### Shire of Gingin Strategic Community Plan 2017 – 2027

|                   |  |
|-------------------|--|
| <b>Focus Area</b> | <i>Infrastructure and Development</i>  |
| <b>Objective</b>  | <i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner.</i> |
| <b>Outcomes</b>   | <i>3.1 Development<br/>New and existing developments meet the Shire's Strategic Objectives and Outcomes (&gt;WDC)</i>                                  |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

### RECOMMENDATION

It is recommended that Council:

1. Advise the applicant/landowners that, within 60 days of notice, they are required to submit a revised detailed Waste Management Plan to the satisfaction of the Shire of Gingin demonstrating the following;
  - a. How waste from the Hard Boiled Egg Room is managed and incorporated into the existing waste system; and
  - b. How other poultry waste (manure/dead birds/damaged eggs) is managed within the current *Stable Fly Management Plan 2016*.
2. Subject to compliance with the requirements of Part 1 (above), authorise the Chief Executive Officer to grant Development Approval for a proposed Animal Husbandry Intensive (Hard Boiled Egg room) on Lot 908 Gingin Brook Road, Neergabby, subject to the following conditions:
  - a. All development shall be undertaken in accordance with the approved plans and specifications (including any modifications marked in RED) unless conditioned otherwise in this approval;
  - b. This Approval is for a Hard Boiled Egg Room only;
  - c. The proposal is to comply at all times with the approved Waste Management Plan to the satisfaction of the Shire of Gingin;
  - d. The Shire of Gingin will direct the landowner/operator, in writing, to undertake management measures as outlined in the Waste Management Plan to the satisfaction of the Chief Executive Officer; and
  - e. At any time the Shire reserves the right to inspect or request any of the management plan(s) that are conditioned as part of this planning approval.

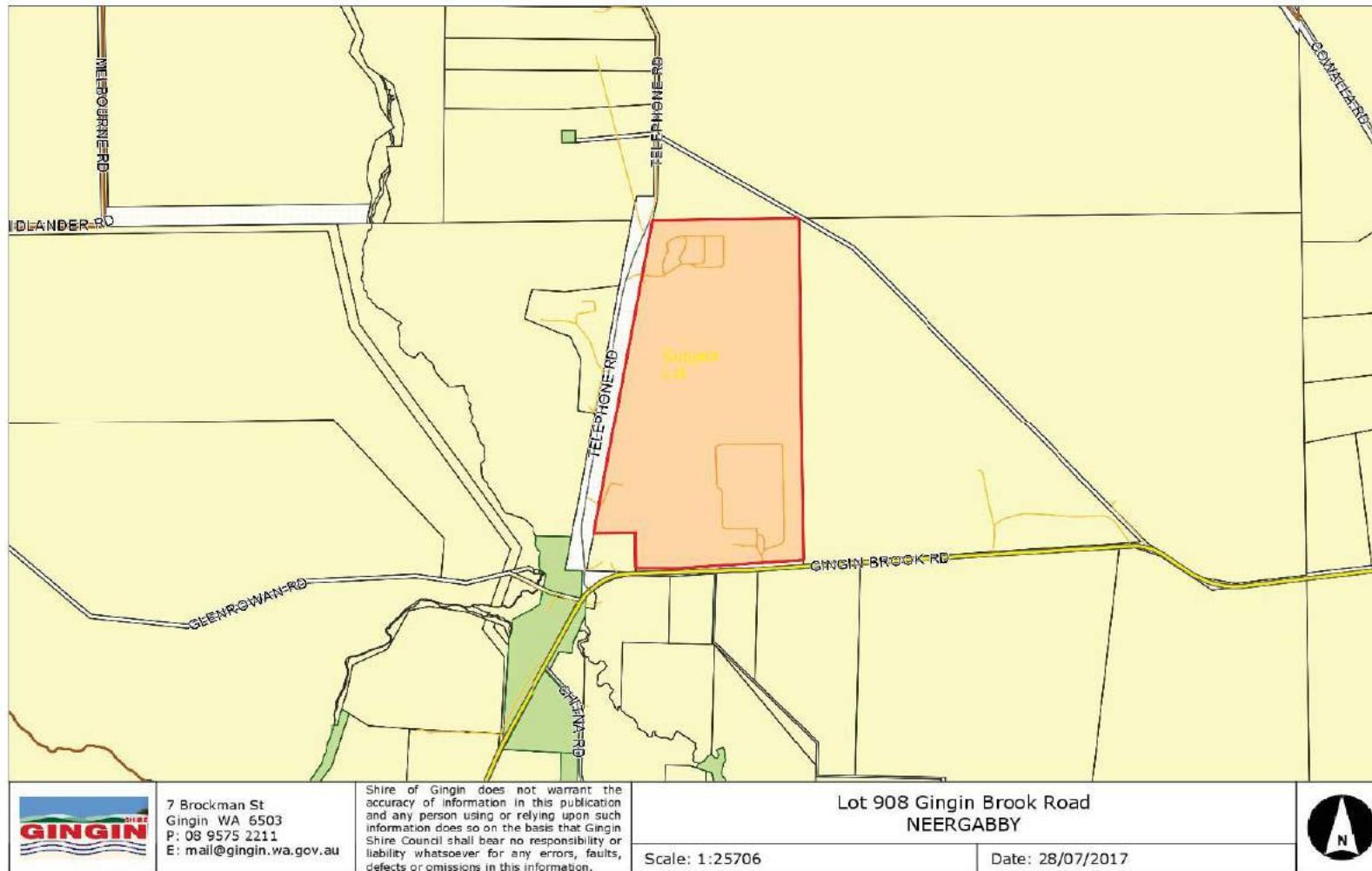
## **RESOLUTION**

**Moved Councillor Collard, seconded Councillor Aspinall that Council:**

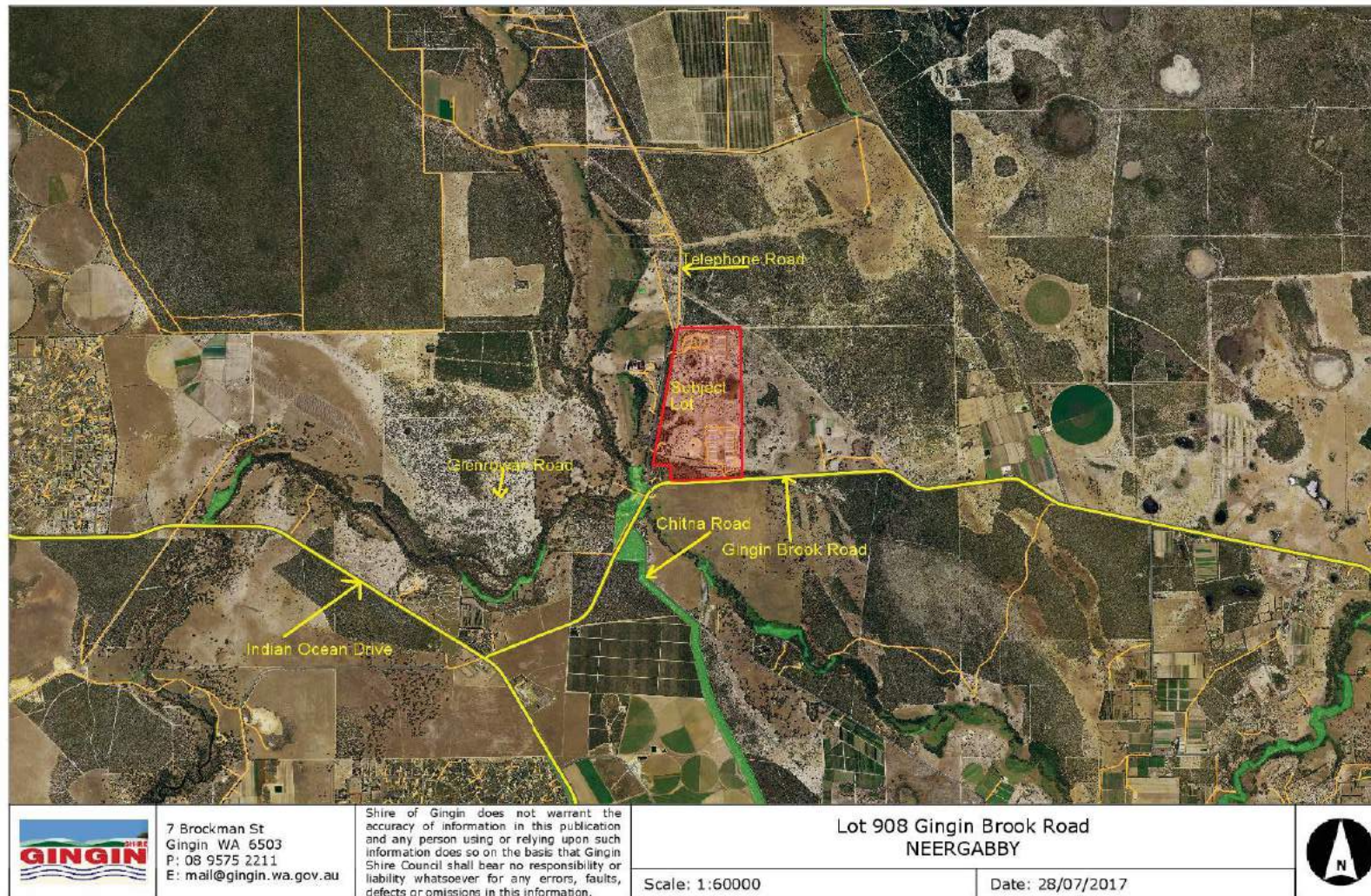
- 1. Advise the applicant/landowners that, within 60 days of notice, they are required to submit a revised detailed Waste Management Plan to the satisfaction of the Shire of Gingin demonstrating the following;**
  - a. How waste from the Hard Boiled Egg Room is managed and incorporated into the existing waste system; and**
  - b. How other poultry waste (manure/dead birds/damaged eggs) is managed within the current *Stable Fly Management Plan 2016*.**
- 2. Subject to compliance with the requirements of Part 1 (above), authorise the Chief Executive Officer to grant Development Approval for a proposed Animal Husbandry Intensive (Hard Boiled Egg room) on Lot 908 Gingin Brook Road, Neergabby, subject to the following conditions:**
  - a. All development shall be undertaken in accordance with the approved plans and specifications (including any modifications marked in RED) unless conditioned otherwise in this approval;**
  - b. This Approval is for a Hard Boiled Egg Room only;**
  - c. The proposal is to comply at all times with the approved Waste Management Plan to the satisfaction of the Shire of Gingin;**
  - d. The Shire of Gingin will direct the landowner/operator, in writing, to undertake management measures as outlined in the Waste Management Plan to the satisfaction of the Chief Executive Officer; and**
  - e. At any time the Shire reserves the right to inspect or request any of the management plan(s) that are conditioned as part of this planning approval.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**

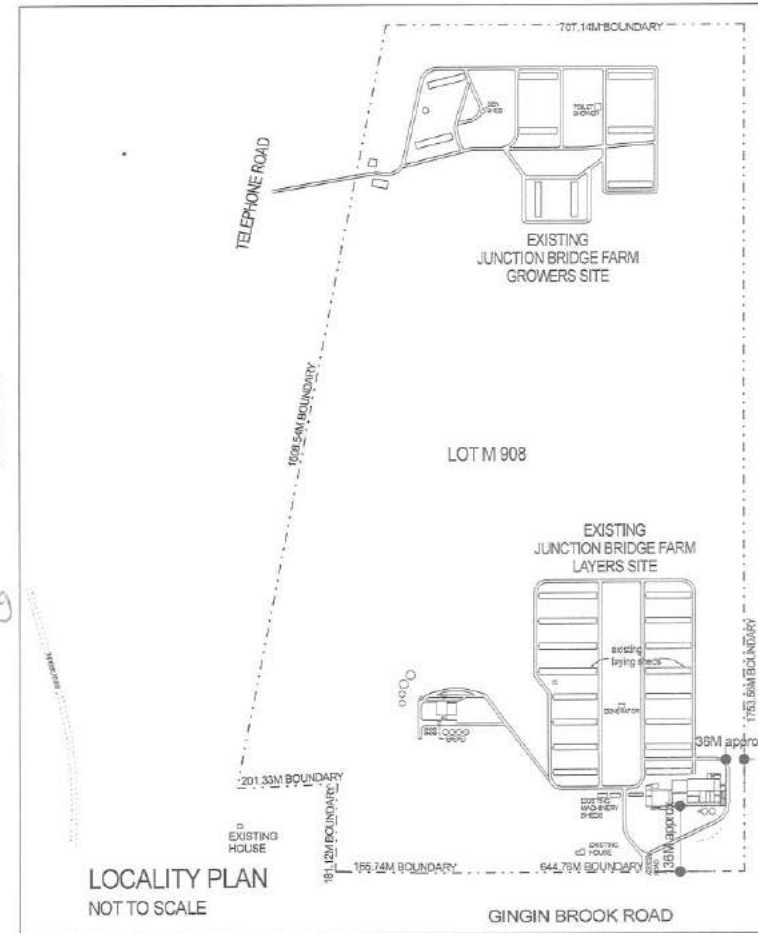
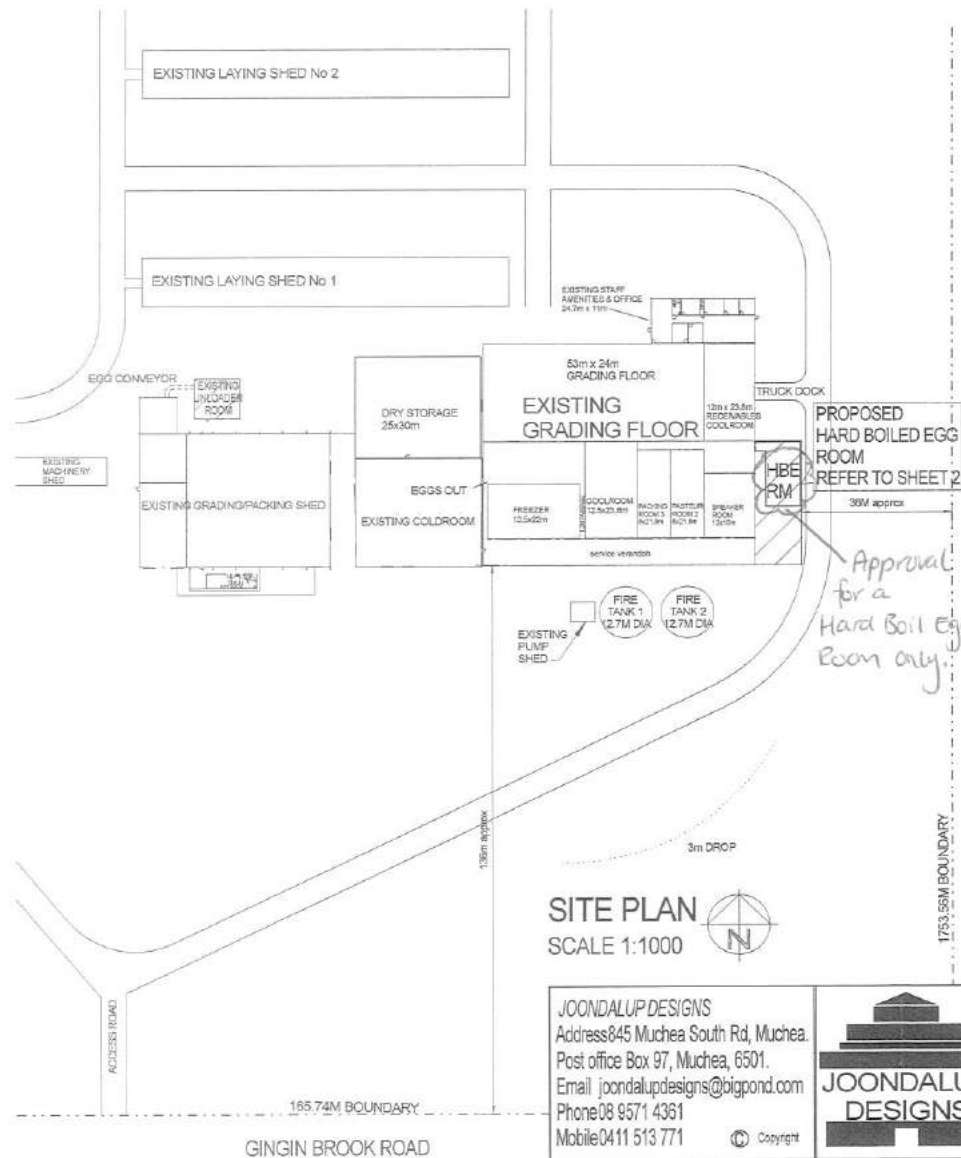




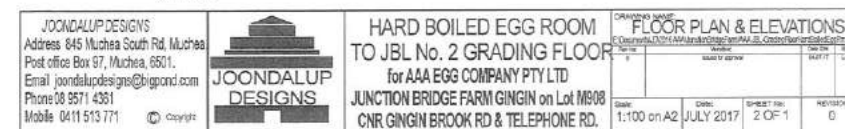




# APPENDIX 2



| DRAWING NAME                                       |                     |           |           |
|--|---------------------|-----------|-----------|
| SITE & LOCALITY PLAN                               |                     |           |           |
| E:\Documents\J02014\J02014-JBL-StrPlan-HBEroom.SVP |                     |           |           |
| Rev/No:  | Issued for approval | Date On:  | By:       |
| 1  |                     | 05.07.17  | LA        |
| Scale:   | Date:               | SHEET No: | REVISION: |
| 1:1000 on A3                                       | JULY 2017           | 1 OF 2    | 0         |



### 11.3.6 ADOPTION OF SHIRE OF GINGIN HERITAGE LIST AND REVIEW OF HERITAGE INVENTORY 2016

**FILE:** BLD/49  
**AUTHOR:** KYLIE BACON – MANAGER STATUTORY PLANNING  
**REPORTING OFFICER:** LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** 21 FEBRUARY 2017 **ITEM 11.3.4**

#### OFFICER INTEREST DECLARATION

Nil

#### PURPOSE

To consider adoption of the Shire of Gingin Heritage List and Heritage Inventory.

#### BACKGROUND

The *Heritage of Western Australia Act 1990* (the Act) requires all Local Government authorities in Western Australia to compile, and periodically update and review, a Municipal Inventory of Heritage Places. The Shire of Gingin adopted its current Municipal Inventory (MI) in 2005.

As part of the review process, the Shire is required to compile a Heritage List, which is a list compiled under Local Planning Scheme No. 9 (LPS 9) of places for which planning approval will be required for demolition, alterations or other development affecting the cultural heritage significance of the place.

In keeping with the requirements of the Act, the Shire engaged heritage consultant Laura Gray to undertake a review of the Municipal Inventory, including the compilation of a Heritage List. The review was presented to Council at the February Concept Forum for further discussion and subsequently at the 21 February 2017 Ordinary Council Meeting, Council adopted the Shire of Gingin Heritage Inventory Review and draft Heritage List for the purposes of public consultation.

Public consultation was undertaken by sending letters to the owners and occupiers of all the properties proposed to be included on the Heritage List. A public notice was also placed in local circulating newspapers, outlining where the information on the review could be accessed and how submissions could be made to the Shire. The notice was also made available on the Shire's website.

The final consultation lasted 21 days, in accordance with Section 45(4) of the Heritage of Western Australia Act 1990. A total of seven submissions were received.

The reviewed Heritage Inventory 2017 and final draft Heritage List are provided for Council's information as **Appendices 1 and 2** respectively.

A summary of submissions and corresponding comments by the Heritage Consultant are attached as **Appendix 3** – Schedule of Submissions, and a compiled Heritage List of proposed amendments as **Appendix 4**.

## COMMENT

### Statutory/Legal Implications

Initially, the draft Planning and Development (Local Planning Scheme) Regulations 2015 proposed the automatic recognition of all places on a municipal heritage inventory, unless the Local Government had separately adopted a Heritage List. However, the gazetted version of the *Planning and Development (Local Planning Scheme) Regulations 2015*, Schedule 2 – Deemed Provisions for local planning schemes (hereafter referred to as the ‘deemed provisions’) requires that:

*‘the local government must establish and maintain a heritage list to identify places within the Scheme area that are of cultural heritage significance and worthy of built heritage conservation’.*

The Shire currently has no established/adopted Heritage List. Hence, as a result of the deemed provisions, the Shire has no power to trigger a planning application for any proposed demolition or substantial change to a place on the current Municipal Inventory.

### External Consultation

The Shire of Gingin’s 2005 Municipal Inventory of Heritage Places (MI) listed a number of places and sites in four categories. In undertaking the review, the consultant has recommended that Categories 1 and 2 (now Grades A and B) be automatically included in the Heritage List and Categories 3 and 4 be classed as places of note. However, some entries classified as Category 3 in the 2005 MI should be reclassified as either Grade A or B so they can be included on the Heritage List (this is discussed further in the report).

Every place listed in the 2005 Inventory has been reviewed, including taking photographs of most places that can be viewed from public spaces. Places that were not visible from the public space and/or required entry to private property, and all regional places have not been photographed at this time. All places have been assessed against the relevant criteria with the information available.

### Consultation

The Shire received seven submissions during the advertising period. Four of the submissions objected to their place being included on the Heritage List. One of the objections relates to a building that is already a State Listed Building and therefore the proposed listing as a Category A, changes nothing other than to correct the Shire of Gingin’s record. This is important, as the Shire has an obligation to refer any development to the State Heritage Office. The other three objections are being recommended to remain as Category 3. The remaining three submissions provided general comment. As outlined in **Appendix 3** –the Heritage Consultant has provided a detailed response to each of the seven submissions received.

The recommended changes to the Heritage List are discussed in more detail below.

### Heritage Inventory

The Shire of Gingin's Municipal Inventory of Heritage Places simply provides recognition of a place's importance to the local community. Places entered in the Inventory do not have legal (statutory) protection under LPS 9 unless they are also listed on the Shire's Heritage List adopted under LPS 9 (which is the subject of this review), or have been entered in the State Register of Heritage Places.

The review document has replaced Categories 1 and 2 with Grades A and B (which form the Heritage List). Categories 3 and 4 have been combined as Grade C. Places classified as Grade C will not be included on the Heritage List. The consultant has recommended that the following entries classified as Category 3 in the 2005 Municipal Inventory be reclassified to either Grade A or B so that they can be included on the Heritage List.

- Moondah Homestead (State Registered);
- Railway Hotel (fmr) Dewars (State Registered);
- St Luke's Rectory (State Registered);
- Ashby;
- Beedamunup Homestead;
- Cheriton (Homestead and Manager's residence);
- Downa House and Graveyard;
- Gingin Hotel;
- Granville; and
- Honeycomb.

It is also recommended that the following entries be downgraded from Categories 1 or 2 in the 2005 Municipal Inventory to Grade C, as it is not considered that they require the additional protection offered by inclusion on the Heritage List.

There are no implications for the properties concerned other than the opportunity to record the place prior to development or demise, and in the case of a site, recognise and interpret, as recognition of their cultural heritage significance.

- Boobabbie Crossing site;
- Lancelin Sand Dunes site;
- Our Lady of Fatima Church;
- Three Bridges site; and
- Tuppin House.

## Heritage List

The Heritage of Western Australia Act 1990 and Part 3 of the deemed provisions require the Shire to establish and maintain a Heritage List. Demolition of or substantial change to a place on a Heritage List would then require planning approval.

In accordance with State Heritage Office guidelines, the Heritage List is drawn from the higher conservation priority places within the Shire's Heritage Inventory (refer **Appendix 1**).

Following public consultation, the Heritage Consultant has reviewed those places that were being considered for adoption on the Heritage List and has provided a number of recommendations that are outlined in **Appendix 4**.

## Summary

The Heritage Inventory review and compilation of the final draft Heritage List has been conducted in order to fulfil the Shire's statutory obligations under the *Planning and Development (Local Planning Schemes) Regulations 2015* and the *Heritage of Western Australia Act 1990*. A deliberate effort was made in the course of the review to engage landowners in order to collect any information relevant to listing of their property.

Categories have been slightly modified to better match State Heritage Office standards. Changes to the properties have been recorded, and properties listed as Categories 1, 2, 3 and 4 have all now been reviewed. It is therefore considered appropriate for Council to adopt a new Heritage List and Heritage Inventory.

## **STATUTORY ENVIRONMENT**

*Planning and Development Act 2005*

*Planning and Development (Local Planning Schemes) Regulations 2015*

Shire of Gingin Local Planning Scheme No 9

Shire of Gingin Local Planning Strategy

## **POLICY IMPLICATIONS**

State Planning Policy 3.5 Historic Heritage Conservation

## **BUDGET IMPLICATIONS**

Nil

## **STRATEGIC IMPLICATIONS**

Shire of Gingin Strategic Community Plan 2017 – 2027

|                   |   |
|-------------------|---|
| <i>Focus Area</i> | <i>Built Environment</i>  |
| <i>Objective</i>  | <i>2. To support a healthy natural environment3. To effectively manage growth and provide for community</i> |



## **VOTING REQUIREMENTS – SIMPLE MAJORITY**

### **RECOMMENDATION**

It is recommended that Council:

1. Adopt the Shire of Gingin Heritage Inventory 2017 as shown in Appendix 1;
2. Adopt the Shire of Gingin Heritage List as shown in Appendix 2 pursuant to Clause 8 of the Planning and Development (Local Planning Schemes) Regulations 2015, Schedule 2 – Deemed provisions for local planning schemes; and
3. Notify the Heritage Council of Western Australia and owners of places included on the Heritage List in accordance with *Section 8(4) of the Planning and Development (Local Planning Schemes) Regulations 2015, Schedule 2 – Deemed Provisions for Local Planning Schemes*.

### **SUBSTANTIVE MOTION WITH AMENDMENT**

**Moved Councillor Aspinall, seconded Councillor Peczka that Council:**

1. **Adopt the Shire of Gingin Heritage Inventory 2017 as shown in Appendix 1;**
2. **Adopt the Shire of Gingin Heritage List as shown in Appendix 2 pursuant to Clause 8 of the Planning and Development (Local Planning Schemes) Regulations 2015, Schedule 2 – Deemed provisions for local planning schemes;**
3. **Notify the Heritage Council of Western Australia and owners of places (submitters) included on the Heritage List in accordance with *Section 8(4) of the Planning and Development (Local Planning Schemes) Regulations 2015, Schedule 2 – Deemed Provisions for Local Planning Schemes*; and**
4. **Include reference in the Historical Notes of Place Record No 2 (Gingin Railway Station and Quarters (fmr) to reflect the works and the dates that the Lions Club Gingin/Chittering have managed and undertaken conservation at the site.**

**CARRIED UNANIMOUSLY**

### **REASON FOR AMENDMENT**

*Council was of the view that part 3 should be amended to make it clear that notification of Councils decision will be provided to all submitters and that the inclusion of an additional part 4 was necessary to formally record the contribution made by the Lions Club Gingin/Chittering to the preservation of the Gingin Railway Station.*

**APPENDIX 1**

SHIRE OF GINGIN  
**HERITAGE INVENTORY  
REVIEW 2017**

**FINAL DRAFT REPORT**



Heritage Intelligence (WA)  
*Laura Gray*  
Heritage & Conservation Consultant

OCTOBER 2017

**HERITAGE INVENTORY  
REVIEW 2017**

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**HERITAGE INVENTORY  
REVIEW 2017**

**EXECUTIVE SUMMARY**

The review of the Municipal Inventory of Heritage Places is a requirement of the Heritage Act (1990).

The assessment criteria detailed in the State Heritage Office's guidelines entitled *Criteria for the assessment of local heritage places and areas* (Appendix 1) as recommended in *State Planning Policy 3.5 Historic Heritage Conservation*, has been the primary guiding document for the Heritage Inventory review for the Shire of Gingin.

The review has been undertaken in 2 stages. Stage One undertaken in 2014, comprised a desk top review of the 2005 Heritage Inventory to ascertain a possible a Heritage List. Stage Two completed the entire review, including reconsideration of the 2014 proposed Heritage List, a subsequent Draft report for Council consideration for public comment and contribution prior to finalising the review. The responses from the community consultation process and the opportunity to view some of the recommended places resulted in the final draft recommendations to Council.

The review references the 2005 Heritage Inventory. No specific historical research has taken place for this review.

The Shire of Gingin's 2005 Municipal Inventory of Heritage Places listed 106 places and sites in four categories. Categories 1 and 2 were recommended for inclusion in the Shire of Gingin's Local Planning Scheme, and categories 3 and 4 were places of note.

Every place listed in the 2005 inventory has been reviewed, including taking photographs of most places that can be viewed from public spaces. Places that were not visible from the public space and/or required entry to private property, and all regional places have not been photographed at this time. All places have been assessed against the relevant criteria with the information available.

The review has amended the reference numbers and the 2005 reference numbers are included on each place record.

The Heritage List is numbered first, with Grade A places preceding the Grade B places, and then the Grade C places that are not part of the Heritage List.

Grade C places have no implications other than the opportunity to record the place prior to development or demise, and in the case of a site, recognise and interpret, as a recognition of their cultural heritage significance.

The Heritage Inventory review 2016 comprises the following places with Grades A and B forming the Heritage List and Grade C places not to be included in the Heritage List.

HERITAGE INVENTORY  
REVIEW 2017**HERITAGE LIST**

The Heritage List proposal lists 23 places comprising 11 Grade A places that are State Registered, and 12 Grade B places that are of a high level of significance to the Shire of Gingin.

**GRADE A PLACES****Town**

- |   |  |              |
|---|--|--------------|
| 1 | Gingin Post Office                           | (Registered) |
| 2 | Gingin Railway Station & Quarters (fmr)      | (Registered) |
| 3 | Railway Hotel (fmr)                          | (Registered) |
| 4 | St Luke's Anglican Church, Cemetery & Belfry | (Registered) |
| 5 | St Luke's Rectory                            | (Registered) |

**District**

- |    |   |              |
|----|---|--------------|
| D1 | Cowalla Homestead Group, Cowalla                | (Registered) |
| D2 | Mogumber Mission (fmr) & Cemetery, Mindarra     | (Registered) |
| D3 | Moondah Homestead, Moolabeenee                  | (Registered) |
| D4 | Old Junction Hotel, Neergabby                   | (Registered) |
| D5 | Old North Road Stock Route (Stage 1), Neergabby | (Registered) |
| D6 | Old Junction Bridge, Neergabby                  | (Registered) |

**GRADE B PLACES****Town**

- |    |                                      |
|----|--------------------------------------|
| 6  | Gingin War Memorial                  |
| 7  | Gingin Road Board office (fmr)       |
| 8  | St Catherine's Roman Catholic Church |
| 9  | Gingin Hotel                         |
| 10 | Granville                            |
| 11 | Uniting Church                       |

**District**

- |     |                                      |
|-----|--------------------------------------|
| D7  | Orange Springs, Cowalla              |
| D8  | Cleveland, Gingin                    |
| D9  | Beedamanup Homestead, Gingin         |
| D10 | Cheriton, Gingin                     |
| D11 | Downa House and graveyard, Neergabby |
| D12 | PWD Road, Wannerie                   |

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**GRADE C PLACES- NO IMPLICATIONS**

- 12 Philbey's Cottage
- 13 Mrs Jones' Cottage
- 14 Gingin School SITE
- 15 Gingin Cemetery
- 16 House, 7 Brook Street
- 17 Tippeton SITE
- 18 House, 6 Church Street
- 19 Gingin Agricultural hall SITE
- 20 Headmaster's House (fmr) CWA
- 21 Police Station SITE
- 22 The Horseshoe (Police Paddock) SITE
- 23 Ashworth Cottage
- 24 House, 15 Constable Street
- 25 House, 4 Daw Street
- 26 Gingin Golf Club
- 27 House, 17 Fraser Street
- 28 House, 21 Fraser Street
- 29 House, 2 Lefroy Street
- 30 House, 10 Lefroy Street
- 31 House, 38 Lefroy Street
- 32 Gingin Oval & swimming pool
- 33 Three Bridges SITE
- 34 Linden Park
- 35 Good Templars Hall SITE

**District**

**BAMBUN**

- D13 Bambun Lake SITE

**BEERMULLAH**

- D14 Beermullah Race Course SITE
- D15 Beermullah School SITE
- D16 Harris House

**COWALLA**

- D17 Limestone caves SITE
- D18 Bandy's Cottage & Swamp garden SITE
- D19 Old Bridge SITE
- D20 Fernwood SITE
- D21 Moore River School

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**GINGIN**

- D22 Honeycomb
- D23 Dacresfield SITE
- D24 Ralph Dewar's Home SITE
- D25 WS Dewar's Home SITE
- D26 Strathalbyn
- D27 Whakea, Ginginup
- D28 Mount Ginginup SITE,
- D29 Molecap Hill Quarry SITE
- D30 Charlton's Mill SITE
- D31 Creaton SITE
- D32 Eclipse Hill SITE
- D33 One Tree Hill SITE
- D34 Gingin Race Course SITE
- D35 Casuarina stone quarry SITE

**GUILDERTON**

- D36 Guilderton Caravan Park
- D37 Caraban
- D38 Boobabbie Crossing SITE
- D39 Tuppin House
- D40 Creek House SITE

**LANCELIN**

- D41 Lancelin Scout Hall
- D42 Lancelin School (fmr) Surf Shack
- D43 Our Lady of Fatima Church
- D44 Lancelin jetty
- D45 Plaque Frederick Smith
- D46 Lancelin Sand dunes SITE
- D47 Timothy's Clump SITE, Ocean Farm

**LENNARDS BROOK**

- D48 Ashby
- D49 Cockram's Hotel SITE

**MOOLIABEENIE**

- D50 Army Camp SITES
- D51 Mooliabeenie Townsite SITE

**MOORE RIVER**

- D52 Bulgurra SITE

**NEERGABBY**

- D53 Chitna

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- D54 Junction Hall SITE
- D55 Woodloes SITE
- D56 Nolan's Bridge SITE
- WANNERIE**
- D57 Greenwood
- D58 Millbank SITE
- D59 Horseworks Flour Mill

The 2017 final draft of the review of the Shire of Gingin's Heritage Inventory further reiterates the considerable significance of the rich heritage and history of the Gingin town and region, and provides strategic guidance to conserve those places of assessed as having a high level of cultural significance, on the Heritage List.

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## HERITAGE INVENTORY REVIEW 2017

### 1.0 HERITAGE

Heritage means different things to different people, and can be quite subjective. However, objective consideration has been provided through the State Heritage Office guidelines: *Criteria for the assessment of local heritage places and areas* (Appendix 1) that provide a consistency of assessment and comparative significance both within the local government area and to other places throughout the state.

### 2.0 PROCESS

The process is relatively tried and true.

A desktop review of the existing (2005) heritage inventory provides an overview with particular regard to the management categories (Grades) with consideration of the Heritage List inclusion.

Strong recommendation that ONLY the HERITAGE LIST is appended to the Local Planning Scheme (not the entire Inventory).

Information and photographs (where possible) recorded the current condition and integrity of each place.

Statements of Significance for each place were reassessed against the *Criteria for the assessment of local heritage places and areas*.

Draft review report was prepared for Officer review and further amendment as required in preparation for the draft document to be considered by Council.

Council endorsement will activate community comment/consultation process.

Community comment will be noted, document amended as required and final submission to Council.

Submit final Heritage Inventory Review 2017.

The final draft, as for the final version of the Heritage Inventory Review 2017 is a dynamic document with an electronic version to manage the Shire of Gingin's Heritage Inventory in-house for the future.

### 3.0 DOCUMENTARY RESEARCH

The Shire of Gingin's history is well documented in publications and detailed in the 2005 inventory.

No further specific research has been undertaken for the 2016 review.

HERITAGE INVENTORY  
REVIEW 2017

**4.0 CRITERIA for SIGNIFICANCE**

Every place either previously listed or proposed for inclusion in the Shire of Gingin's Heritage Inventory Review 2016, has been assessed within the State Heritage Office's guidelines; *Criteria for the assessment of local heritage places and areas* (Appendix 1). The four criteria for the assessment are summarised hereunder:

**Assessment of significance**

**Aesthetic value**

Criterion 1 It is significant in exhibiting particular aesthetic characteristic.

**Historic value**

Criterion 2 It is significant in the evolution or pattern of the history of the local district.

**Research value**

Criterion 3A: It has demonstrable potential to yield information that will contribute to an understanding of the natural or cultural history of the local district.

Criterion 3B: It is significant in demonstrating a high degree of technical innovation or achievement.

**Social value**

Criterion 4 It is significant through association with a community or cultural group in Western Australia for social, cultural, education or spiritual reasons.

**Degree of significance**

**Rarity**

Criterion 5 It demonstrates rare, uncommon or endangered aspects of the cultural heritage of the local district.

**Representativeness**

Criterion 6 It is significant in demonstrating the characteristics of a class of cultural places or environments in the local district.

Condition refers to the current state of the place in relation to each of the values for which the place has been assessed. Condition reflects the cumulative effects of management and environmental effects.

Integrity is a measure of the likely long-term viability or sustainability of the values identified, or the ability of the place to restore itself or be restored, and the time frame for any restorative process.

Authenticity refers to the extent to which the fabric is in its original state.

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For consistency, all references to architectural style are taken from Apperly, R., Irving, R., Reynolds, P. *A Pictorial Guide to Identifying Australian Architecture. Styles and Terms from 1788 to the Present*, Angus and Robertson, North Ryde, 2002.

HERITAGE INVENTORY  
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**5.0 LEVELS OF SIGNIFICANCE**

For each place deemed to be of heritage value, a level of significance and consequent grading is applied.

The following table from the State Heritage Office's *Criteria for the assessment of local heritage places and areas* (Appendix 1 p.22) illustrates the details, and the draft proposed gradings are listed against them with respect to the Shire of Gingin's 2016 review.

Each place assessed was graded on the basis of the following levels of significance:

| LEVEL OF SIGNIFICANCE         | DESCRIPTION   | DESIRED OUTCOME   |
|-------------------------------|---|---|
| A. Exceptional significance   | Essential to the heritage of the locality. Rare or outstanding example.   | The place should be retained and conserved.<br><br>Any alterations or extensions should reinforce the significance of the place, and be in accordance with a Conservation Plan (if one exists for the place).                                     |
| B. Considerable significance  | Very important to the heritage of the locality. High degree of integrity/ authenticity.   | Conservation of the place is highly desirable.<br><br>Any alterations or extensions should reinforce the significance of the place.   |
| C. Some/Moderate significance | Contributes to the heritage of the locality. Has some altered or modified elements, not necessarily detracting from the overall significance of the item. | Conservation of the place is desirable.<br><br>Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible.<br><br>Interpret the site, ruin or archaeological remnants |

HERITAGE INVENTORY  
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6.0 GRADINGS

Further to State Heritage Office's *Criteria for the assessment of local heritage places and areas* (Appendix 1), an important part of the recognition and understanding of cultural heritage significance of a place, is that some guidance is provided to the owners, managers and statutory authority, to respond to that assessed significance.

Grades have been determined relevant to the assessed level of significance for each place. Implications for each recommendation are also summarised.

**Grade A** A place of exceptional cultural heritage significance to Shire of Gingin and the state of Western Australia, that is either in the Heritage Council of Western Australia's Register of Heritage Places, or worthy of consideration for entry into the Register.

A place worthy of recognition and protection through provisions of the Shire of Gingin's Local Planning Scheme.

Planning application needs to be submitted to Shire of Gingin for any proposed development.

The development application needs to be submitted to State Heritage Office (SHO) for approval for any proposed development, and Shire of Gingin cannot approve contrary to SHO recommendation.

**Recommend:** Maximum encouragement to owners to retain and conserve the place. Full consultation with property owner prior to making the recommendation.

**IMPLICATIONS of REGISTRATION:**

A Memorial is lodged on the Certificate of Title of the Registered place under the provisions of the *Heritage Act (1990)*.

By virtue of the *Heritage Act (1990)*, the owner is bound to conserve the place.

**ALL development (including demolition) MUST be referred to State Heritage Office for consideration PRIOR to undertaking any works.**

**The Shire of Gingin cannot approve anything contrary to State Heritage Office recommendations.**

Private owners of Registered places qualify for the State Heritage Office's Heritage Grants Funding. A Conservation Management Plan or Conservation Management Strategy is a pre-requisite for conservation works funding assistance from the State Heritage Office.

Local Government, churches and community (not-for-profit) owners qualify for Lotterywest conservation funding. It is funded loosely on a \$ for \$ basis, although 'inkind' contributions are encouraged. Benefit to the community is a significant factor in assessment for funding. A Conservation Management Plan or Conservation Management Strategy is a pre-requisite for conservation works funding, and can also be funded.

Local Government owned Registered places qualify to claim for \$10,000 per annum 'Disability allowance' through the Grants Commission. Up to a maximum of \$50,000 is allowed for 5 buildings or more.

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**Grade B** A place of considerable cultural heritage significance to Shire of Gingin that is worthy of recognition and protection through provisions of the Shire of Gingin's Local Planning Scheme.

Planning application needs to be submitted to Shire of Gingin for any proposed development.

**Recommend:** Retain and conserve the place. Undertake photo record of the place prior to any development.

**IMPLICATIONS:**

**Planning applications must be submitted to Shire of Gingin for approval prior to undertaking any works.**

Private owners do not qualify for any funding.

Local Government, churches and community (not-for-profit) owners qualify for Lotterywest conservation funding. It is funded loosely on a \$ for \$ basis, although 'inkind' contributions are encouraged. Benefit to the community is a significant factor in assessment for funding. A Conservation Management Plan or Conservation Management Strategy is usually a pre-requisite for conservation works funding, and may also be funded on same basis as works funding assistance.

**Grade C** A place (including a site with no built remains) of some cultural heritage significance to Shire of Gingin.

No constraints.

**Recommend:** Encourage retention of the place, or where there are ruins, archaeological findings or no built remains: Interpret the place.

**IMPLICATIONS:**

If a planning application is submitted to the Shire of Gingin for approval, if approved a condition of development will require documentation and a photographic record of the place prior to any development or if retention is not possible.

There are no statutory requirements pertaining to heritage issues.

Private owners do not qualify for any funding.

Local Government, churches and community (not-for-profit) owners qualify for Lotterywest conservation funding, although at a lower priority. It is funded loosely on a \$ for \$ basis, although 'inkind' contributions are encouraged. Benefit to the community is a significant factor in assessment for funding. A Conservation Management Plan or Conservation Management Strategy is usually a pre-requisite for conservation works funding, and may also be funded on same basis as works funding assistance.



HERITAGE INVENTORY  
REVIEW 2017**7.0 PLACE LISTINGS**

The Heritage Inventory review 2017 Final Draft proposes 92 place listings.

The Heritage List comprises the places of the highest levels of heritage significance to the Shire of Gingin. Assessed against the *Criteria for assessing local heritage places and areas*, it identifies Grade A places as those of State significance, recognised by into the Register of Heritage Places (Heritage Council of Western Australia), and Grade B places of a high level of significance to the Shire of Gingin.

Together, places of Grades A and B, form the Heritage List and are subject to the provisions of the Local Planning Scheme to ensure consideration of their significance for the future. All other places to be included in the Heritage Inventory will be Grade C places with no statutory implications.

**HERITAGE LIST (Grades A and B)****Grade A places on State's Register of Heritage Places****Town**

|   |  |              |
|---|--|--------------|
| 1 | Gingin Post Office                           | (Registered) |
| 2 | Gingin Railway Station & Quarters (fmr)      | (Registered) |
| 3 | Railway Hotel (fmr)                          | (Registered) |
| 4 | St Luke's Anglican Church, Cemetery & Belfry | (Registered) |
| 5 | St Luke's Rectory                            | (Registered) |

**District**

|    |   |              |
|----|---|--------------|
| D1 | Cowalla Homestead Group, Cowalla                | (Registered) |
| D2 | Mogumber Mission (fmr) & Cemetery, Mindarra     | (Registered) |
| D3 | Moondah Homestead, Moolabeenee                  | (Registered) |
| D4 | Old Junction Hotel, Neergabby                   | (Registered) |
| D5 | Old North Road Stock Route (Stage 1), Neergabby | (Registered) |
| D6 | Old Junction Bridge, Neergabby                  | (Registered) |

**Grade B places- Local Planning Scheme****Town**

|    |                                      |
|----|--------------------------------------|
| 6  | Gingin War Memorial                  |
| 7  | Gingin Road Board office (fmr)       |
| 8  | St Catherine's Roman Catholic Church |
| 9  | Gingin Hotel                         |
| 10 | Granville                            |
| 11 | Uniting Church                       |

**District**

|     |                                      |
|-----|--------------------------------------|
| D7  | Orange Springs, Cowalla              |
| D8  | Cleveland, Gingin                    |
| D9  | Beedamanup Homestead, Gingin         |
| D10 | Cheriton, Gingin                     |
| D11 | Downa House and graveyard, Neergabby |
| D12 | PWD Road, Wannerie                   |

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**Grade C places - NO IMPLICATIONS**

- 12 Philbey's Cottage
- 13 Mrs Jones' Cottage
- 14 Gingin School SITE
- 15 Gingin Cemetery
- 16 House, 7 Brook Street
- 17 Tippeton SITE
- 18 House, 6 Church Street
- 19 Gingin Agricultural hall SITE
- 20 Headmaster's House (fmr) CWA
- 21 Police Station SITE
- 22 The Horseshoe (Police Paddock) SITE
- 23 Ashworth Cottage
- 24 House, 15 Constable Street
- 25 House, 4 Daw Street
- 26 Gingin Golf Club
- 27 House, 17 Fraser Street
- 28 House, 21 Fraser Street
- 29 House, 2 Lefroy Street
- 30 House, 10 Lefroy Street
- 31 House, 38 Lefroy Street
- 32 Gingin Oval & swimming pool
- 33 Three Bridges SITE
- 34 Linden Park
- 35 Good Templars Hall SITE

**District**

**BAMBUN**

- D13 Bambun Lake SITE

**BEERMULLAH**

- D14 Beermullah Race Course SITE
- D15 Beermullah School SITE
- D16 Harris House

**COWALLA**

- D17 Limestone caves SITE
- D18 Bandy's Cottage & Swamp garden SITE
- D19 Old Bridge SITE
- D20 Fernwood SITE
- D21 Moore River School

**GINGIN**

- D22 Honeycomb
- D23 Dacresfield SITE
- D24 Ralph Dewar's Home SITE
- D25 WS Dewar's Home SITE
- D26 Strathalbyn
- D27 Whakea, Ginginup

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- D28 Mount Ginginup SITE,
- D29 Molecap Hill Quarry SITE
- D30 Charlton's Mill SITE
- D31 Creaton SITE
- D32 Eclipse Hill SITE
- D33 One Tree Hill SITE
- D34 Gingin Race Course SITE
- D35 Casuarina stone quarry SITE
- GUILDERTON**
  - D36 Guilderton Caravan Park
  - D37 Caraban
  - D38 Boobabbie Crossing SITE
  - D39 Tuppin House
  - D40 Creek House SITE
- LANCELIN**
  - D41 Lancelin Scout Hall
  - D42 Lancelin School (fmr) Surf Shack
  - D43 Our Lady of Fatima Church
  - D44 Lancelin jetty
  - D45 Plaque Frederick Smith
  - D46 Lancelin Sand dunes SITE
  - D47 Timothy's Clump SITE, Ocean Farm
- LENNARDS BROOK**
  - D48 Ashby
  - D49 Cockram's Hotel SITE
- MOOLIABEENIE**
  - D50 Army Camp SITES
  - D51 Mooliabeenie Townsite SITE
- MOORE RIVER**
  - D52 Bulgurra SITE
- NEERGABBY**
  - D53 Chitna
  - D54 Junction Hall SITE
  - D55 Woodloes SITE
  - D56 Nolan's Bridge SITE
- WANNERIE**
  - D57 Greenwood
  - D58 Millbank SITE
  - D59 Horsecworks Flour Mill

The Heritage Inventory Review final draft 2017 reference numbers have been amended from the 2005 inventory. The 2005 reference numbers are included on each place record.

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**HERITAGE INVENTORY  
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The Heritage List is numbered first, with Grade A places preceding Grade B places, and the Grade C places that are not part of the Heritage List. Places have been listed in each Grading in street name alphabetical order and district name order.

Grade C places have no implications other than the opportunity to record the place prior to development or demise, and a recognition of their cultural heritage significance. Many of the "places" are sites of a place or activity that has a history that is worthy of recognition.

**HERITAGE INVENTORY  
REVIEW 2017**

**8.0 ABORIGINAL HERITAGE**

The Heritage Inventory under the requirements of the Heritage Act (1990) is relevant to places of Aboriginal significance of the post-contact period only.

The Department of Aboriginal Affairs (DAA) oversees an "Aboriginal Sites Database" and works with Aboriginal people to protect their culture and to protect and manage places and objects of significance to Aboriginal heritage.

**9.0 CONCLUSION**

The 2017 final draft of the review of the Shire of Gingin's Heritage Inventory further reiterates the considerable significance of the rich heritage and history of the Gingin town and region, and provides strategic guidance to conserve those places of assessed as having a high level of cultural significance, on the Heritage List.

**10.0 REFERENCES**

Shire of Gingin Municipal Inventory of Heritage Places 2005.

National Trust of Australia (WA) classification assessments

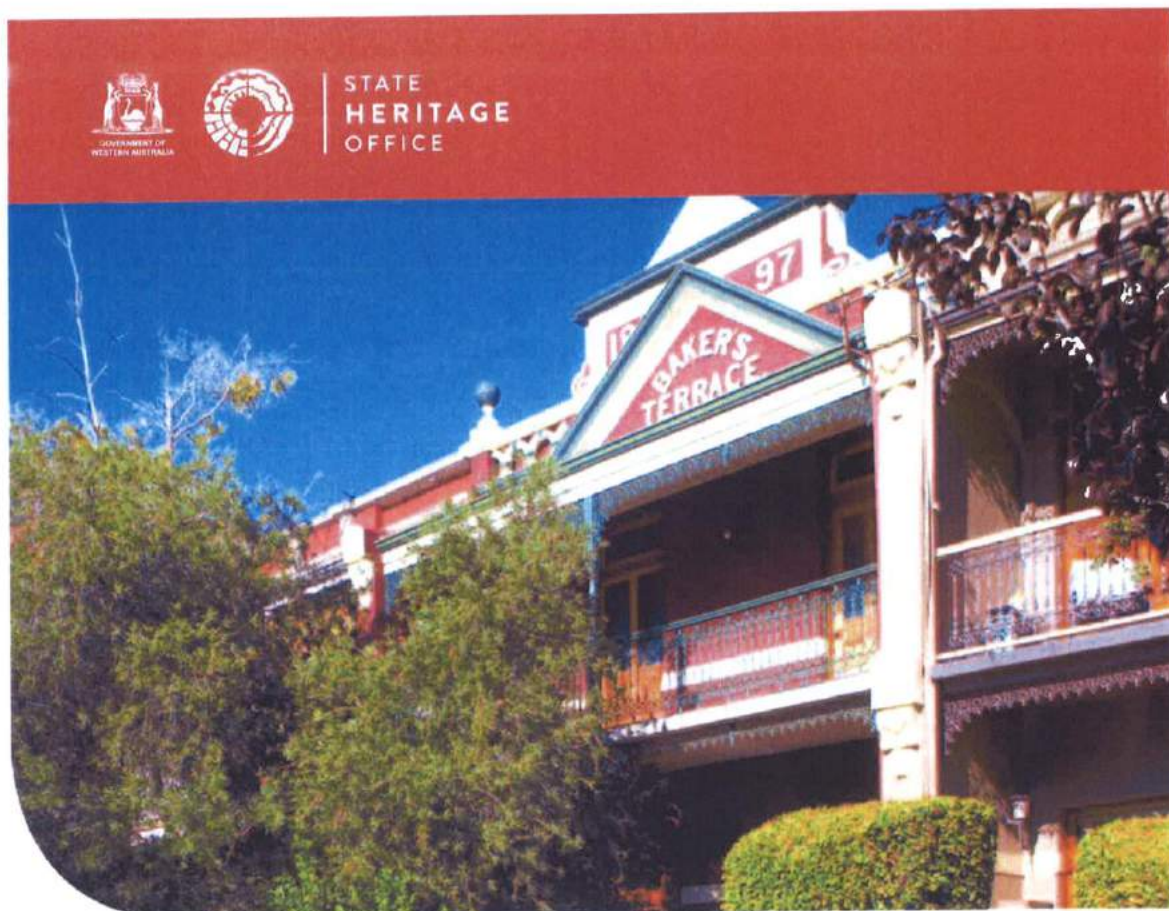
State Heritage Office: assessment documentation.

State Heritage Office: *Criteria for the assessment of local heritage places and areas.*

**11.0 APPENDICES**

1. *Criteria for the assessment of local heritage places and areas*
2. Place records

**Appendix 1: Criteria for the Assessment of Local Heritage Places and Areas**



## CRITERIA FOR THE ASSESSMENT OF LOCAL HERITAGE PLACES AND AREAS

A PRACTICAL GUIDE TO IDENTIFYING,  
GRADING AND DOCUMENTING PLACES AND  
AREAS IN LOCAL GOVERNMENT INVENTORIES

OUR HERITAGE - WHAT MAKES US WESTERN AUSTRALIAN





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# 1 INTRODUCTION

## 1.1 Legislative and policy background

The *Heritage of Western Australia Act 1990* requires each local government to identify buildings of cultural heritage significance in its district through a Local Government Inventory. This is commonly referred to as a Municipal Inventory or MI.

Most local planning schemes include an option to adopt a Heritage List (with older schemes, this may be a schedule or register). The Heritage Council recommends that all local governments adopt a Heritage List that includes all places on the State Register of Heritage Places, plus those local heritage places that require the protection of the local planning scheme.

While an MI may be used to identify places for inclusion in a Heritage List, the inventory itself does not have statutory force and effect in terms of planning controls. For a local government to have confidence in its ability to manage the development of a heritage place, it needs to be identified within the Heritage List.

These guidelines provide advice and information on assessing places for heritage values, recording them in an MI and creating a Heritage List from information contained in the MI.

## 1.2 Why do we need standard assessment criteria?

It is recommended that all assessments of local heritage places be carried out in accordance with the procedures described in this document so that assessments are:

- accountable and can be tested
- comparable
- consistent.

These criteria adhere to well-established 'best practice' in the identification and assessment of heritage places in WA and throughout Australia, both at the State and local levels.

## 1.3 When to use these assessment criteria

The assessment of significance – understanding the values and importance of a place or area – is the basis of all good heritage decisions.

The most common situations in which these criteria will be used is in assessing places or areas for entry in a Municipal Inventory.

Other situations may include:

- undertaking an assessment of a non-listed item in response to a development proposal
- preparing a heritage impact statement
- preparing a Conservation Plan.

In order to allow comparison of heritage places from different areas, the State Heritage Office's online Heritage Places Database will use the standard format that is described in these guidelines.

#### 1.4 How to use these assessment criteria

A place or area will be of significance to the locality if it meets one or more of the criteria in section 2 under the headings of Aesthetic, Historic, Research or Social value.

Significance in this context is a question of value for the local government district, and not value for the State or the region. A place should not be excluded from an inventory, or deemed non-significant, simply because there are similar examples in other local government districts (nor should it necessarily be excluded because there are similar examples within the local district).

Typically, the place or area will be assessed in the context of the history and development of the district as identified in the Thematic History – an important base document in a local inventory.

The degree or 'level' of significance can be determined with reference to the issues of Rarity, Representativeness and Condition/ Integrity, as set out below.

Non-prescriptive guidance notes and examples are provided for the benefit of local governments, local planners, consultants, and also to explain the concepts involved to the wider public.

The inclusion and exclusion guidelines should be used as a 'checklist' to aid analysis and judgement, not as a substitute for them.

#### 1.5 Skills required

Heritage assessments can be carried out by anyone with training and experience in the field.

Professional heritage consultants, trained local government staff, or local heritage advisers can undertake assessments, or offer valuable assistance to others. It is generally preferable to seek at least some input from such sources before completing an assessment.

#### 1.6 Assessing Heritage Places

Heritage places comprise individual buildings, structures or other places in the historic environment that have cultural heritage significance in their own right.

All heritage places should be assessed in accordance with the criteria in section 2, and also assigned a level of significance in accordance with the gradings set out at the end of section 3.

#### 1.7 Assessing Heritage Areas

The assessment of Heritage Areas requires a slightly different approach. Areas need to meet an additional test as described in section 2.8 below.

Heritage significance needs to be clearly distinguished from the broader concept of urban character, given that all areas or localities demonstrate some form of urban character.

Heritage Areas are select areas with special qualities, and will generally be quite rare within a locality. There is generally no need to assign a level of significance to a Heritage Area as a whole (in terms of exceptional, considerable, some/moderate significance).

However, all the places within a Heritage Area should be assigned a level of 'Contribution', in accordance with the gradings set out at the end of section 3.

## 2 THE ASSESSMENT CRITERIA

### NATURE OF SIGNIFICANCE

#### 2.1 Aesthetic Value

Criterion 1: It is significant in exhibiting particular aesthetic characteristics.

##### Guidelines for Inclusion

A place or area included under this criterion will have characteristics of scale, composition, materials, texture and colour that are considered to have value for the local district.

This may encompass:

- creative or design excellence
- the contribution of a place to the quality of its setting
- landmark quality
- a contribution to important vistas.

A place will not necessarily need to conform to prevailing 'good taste', or be designed by architects, to display aesthetic qualities. Vernacular buildings that sit well within their cultural landscape due to the use of local materials, form, scale or massing, may also have aesthetic value.

For a place to be considered a local landmark, it will need to be visually prominent and a reference point for the local district.

In the case of a heritage area, the individual components will collectively form a streetscape, townscape or cultural environment with significant aesthetic characteristics.

##### Guidelines for Exclusion

A place or area is not normally included under this criterion if:

- its distinguishing features have been lost, degraded or compromised
- landmark or scenic qualities have been irreversibly degraded by surrounding or infill development
- it has only a loose association with creative or artistic excellence or achievement.

THE ASSESMENT CRITERIA | NATURE OF SIGNIFICANCE

Examples (Inclusion)



< **Former Commercial Bank of Australia (1911)** cnr Parade and Pasture Sts, Pingelly, is a fine example of the Federation Academic Classical style, featuring rusticated stucco, windows decorated with moulded hoods, and a parapet with balustrading. It stands out from its neighbours, and its grand form makes an important contribution to the streetscape in both Parade and Pasture Streets.



< **The AMP Building (1927)** at 36 Fairway St, Narrogin, is a two-storey brick and stone building featuring a curved corner entry with Tuscan columns, detailed pediment, and a lavish use of rendered stone. Erected by the AMP Society as only their second country office in WA, it is a landmark that anchors the bottom end of one of Narrogin's main streets.



< **Fothergill Street Heritage Area, Fremantle**, comprises brick, limestone and iron houses in a narrow range of architectural styles, dating from the turn of the 20th century. Collectively they form a strong and cohesive streetscape.

## 2.2 Historic Value

Criterion 2: It is significant in the evolution or pattern of the history of the local district.

### Guidelines for Inclusion

A place or area included under this criterion should:

- Be closely associated with events, developments or cultural phases that have played an important part in the locality's history.
- Have a special association with a person, group of people or organisation important in shaping the locality (either as the product or workplace of a person or group, or the site of a particular event connected with them).
- Be an example of technical or creative achievement from a particular period.

Contributions can be made in all walks of life including commerce, community work and local government. Most people are associated with more than one place during their lifetime and it must be demonstrated why one place is more significant than others.

The associations should be strong and verified by evidence and, ideally, demonstrated in the fabric of the place.

### Guidelines for Exclusion

A place or area will generally be excluded if:

- it has brief, incidental or distant association with historically important activities, processes, people or event
- it is associated with events of interest only to a small number of people
- it retains no physical trace of the event or activity.

A place reputed to be the scene of an event, but for which there is no evidence to support the claim, is not normally considered under this criterion.



THE ASSESSMENT CRITERIA | NATURE OF SIGNIFICANCE

Examples (Inclusion)



< **Model Timber Home, Floreat (1934)** is significant for its associations with the development of Floreat Park in the 1930s. It was one of the first houses constructed in Floreat Park No 1 Estate, the first subdivision in the area.



< **Mundaring Hotel (1898)** was the first building in Mundaring to be associated with the development of Mundaring as a tourist and holiday destination.



< **One Mile Jetty and Tramway, Carnarvon (1899)** formed an integral part of the working economy of Carnarvon from 1899 to 1984, and was initially the only means of getting goods in and out of the area. The layout of the town reflects the importance of the tramway during this period.



< **Gwalia Townsite Heritage Area, near Leonora (1890s-1920s+)**, comprises a collection of early 20th century corrugated iron, hessian and timber miners' shacks and camps, laid out in an improvised township. It shows the distinctive way of life of the gold miners, many of them Italian and Austrian immigrants, who made a new life for themselves in WA's eastern goldfields at the beginning of the 20th century, working and living with low wages, hazardous conditions and primitive accommodation.

Examples (Exclusion)

The site of a town's first bakery would not be included if there is no physical trace of the bakery left.

The temporary offices of a prominent architectural firm would not be included.

### 2.3 Research Value

Criterion 3A: It has demonstrable potential to yield information that will contribute to an understanding of the natural or cultural history of the local district.

#### Guidelines for Inclusion

A place included under this criterion may be a standing structure or archaeological deposit and will generally be an important benchmark or reference site.

A place of research value should provide, or demonstrate a likelihood of providing, evidence about past activity. This may include important information about construction technology, land use or industrial processes not available anywhere else.

The information should be inherent in the fabric of the place.

#### Guidelines for Exclusion

A place will not normally be included under this criterion if:

- there is little evidence to suggest the presence of archaeological deposits
- the place is not able to provide useful information through the fabric
- it is likely to yield similar information to other places
- it is likely to yield information that could easily be obtained from documentary sources.

Criterion 3B: It is significant in demonstrating a high degree of technical innovation or achievement.

THE ASSESMENT CRITERIA | NATURE OF SIGNIFICANCE

### Guidelines for Inclusion

A place included under this criterion should:

- Show qualities of innovation or represent a new achievement for its time.
- Demonstrate breakthroughs in design or places that extend the limits of technology.
- Show a high standard of design skill and originality, or innovative use of materials, in response to particular climatic or landform conditions, or a specific functional requirement, or to meet challenge of a particular site.

Many of the places included under this criterion are industrial sites, though examples of engineering (such as bridge construction and road design) might also meet this criterion.

### Guidelines for Exclusion

A place would not normally be considered under this criterion if its authenticity were so diminished that while the achievement was documented, it was no longer apparent in the place.

#### Examples (Inclusion)



< **Yarloop Timber Mill Workshops (1895)**  
provides evidence of the development of technological processes associated with the manufacture and maintenance of machinery, equipment and railway stock for the timber industry.

## 2.4 Social Value

Criterion 4: It is significant through association with a community or cultural group in the local district for social, cultural, educational or spiritual reasons.

### Guidelines for Inclusion

Most communities will have a special attachment to particular places. A place would be considered for inclusion under this criterion if it were one that the community, or a significant part of the community, has held in high regard for an extended period.

Places of social value tend to be public places, or places distinctive in the local landscape, and generally make a positive contribution to the local 'sense of place' and local identity.

They may be symbolic or landmark places, and may include places of worship, community halls, schools, cemeteries, public offices, or privately owned places such as hotels, cinemas, cafes or sporting venues.

Places need not be valued by the entire community to be significant. A significant group within the community may be defined by ethnic background, religious belief or profession.

### Guidelines for Exclusion

A place will not normally be considered if its association is commonplace; or of recent origin; is recognised by only a small number of people; or if the associations are not held very strongly or cannot be demonstrated satisfactorily to others.

Of all the criteria, social value is the hardest to identify and substantiate. Care should be taken not to confuse cultural heritage significance with amenity or utility. There must be evidence that the building/place is valued over and above the activities that occur there.

### Examples (Inclusion)



< The Obelisks and Memorial Plaque, Port Denison (1896; 1979), with its high vantage point and views of Point Denison, is highly valued by the community as an important landmark and popular tourist destination.



< Bassendean Oval and reserve (c.1934-1960) is valued by the local community as the venue for a wide range of sporting and community activities.

## DEGREE/LEVEL OF SIGNIFICANCE

### 2.5 Rarity

Criterion 5: It demonstrates rare, uncommon or endangered aspects of the cultural heritage of the local district.

#### Guidelines for Inclusion

This criterion encompasses places that either are rare from the time of their construction, or subsequently become rare due to the loss of similar places or areas.

A place or area of rarity value should:

- (a) provide evidence of a defunct custom, way of life or process; or
- (b) demonstrate a custom, way of life or process that is in danger of being lost; or
- (c) demonstrate a building function, design or technique of exceptional interest.

#### Guidelines for Exclusion

A place or area will not normally be considered under this criterion if:

- it is not rare in the locality
- it appears rare only because research has not been undertaken to determine otherwise
- its distinguishing features have been degraded or compromised.



#### Examples (Inclusion)

< Caron Coal Stage (1931) was the only mechanised coaling stage constructed of concrete by the WA Government Railways. Other stages of similar design were built of timber.



## 2.6 Representativeness

**Criterion 6:** It is significant in demonstrating the characteristics of a class of cultural places or environments in the local district.

### Guidelines for Inclusion

A place included under this criterion should provide a good example of its type.

A place may be representative of a common building or construction type, a particular period or way of life, the work of a particular builder or architect, or an architectural style.

To be considered a good representative example, the place should have a high level of authenticity.

### Guidelines for Exclusion

Places will be excluded if their characteristics do not clearly typify their class, or if the representative qualities have been degraded or lost.

#### Examples (Inclusion)



< **Dingup Anglican Church, Balbarrup (1895)** is a fine example of a small rural church built in late nineteenth century of vernacular design using local materials



< **Roleystone Theatre (1922)** is representative of a community hall of timber construction, built in the early to mid 1900s.



< **Road Board Office (former), Nanson (1913)** is representative of the Public Works Department's design for small administrative buildings for local government.

## THE ASSESSMENT CRITERIA | DEGREE/LEVEL OF SIGNIFICANCE

## 2.7 Condition, Integrity and Authenticity

While Condition and Integrity are considerations in assessing the significance of a place, it is possible for a place of poor condition or poor integrity to be identified as significant on the basis of a value to which Condition and Integrity are relatively unimportant (eg. a ruin with high historic value).

Places identified in an inventory will usually have a Medium to High degree of Authenticity.

However it is possible to include places of low Authenticity if they exhibit evolution of use and change that is harmonious with the original design and materials.

The three terms are defined as follows:

|                     |  |
|---------------------|--|
| <b>Condition</b>    | The current state of the place in relation to the values for which that place has been assessed, and is generally graded on the scale of Good, Fair or Poor. |
| <b>Integrity</b>    | The extent to which a building retains its original function, generally graded on a scale of High, Medium or Low.  |
| <b>Authenticity</b> | The extent to which the fabric is in its original state, generally graded on a scale of High, Medium or Low.   |



### Examples (Inclusion)

< High Integrity – purpose-built funeral parlour constructed in the 1930s, still retains its original function.



< High Authenticity – highly intact 1899 Federation Arts and Crafts Bungalow. While some parts of the fabric may need repair, little has been lost.



< Low Authenticity – Former Soldiers' Memorial Hall constructed 1936, later converted for squash courts in the 1950s and re-adapted for commercial offices in the early 1990s. Much of the interior fabric and the exterior detailing has been removed.



## HERITAGE AREAS - AN EXTRA CRITERION

### 2.8 Heritage Areas

A Heritage Area will be of significance for the local district if:

- (a) it meets one or more of the criteria in section 2 under the headings of Aesthetic, Historic, Research or Social significance; and
- (b) it demonstrates a unified or cohesive physical form in the public realm with an identifiable aesthetic, historic or social theme associated with a particular period or periods of development.

This extra test [clause (b)] sets Heritage Areas apart from heritage places.

Heritage Areas typically exist on a much larger scale than individual places, contain a large number of built elements and property holdings, and their designation potentially has more far-reaching planning implications than the listing of a single place. Areas require a commensurate level of care in their assessment and documentation.

#### Guidelines for Inclusion

A Heritage Area should always be established on the basis of a clear statement of significance, and a clear identification of the significant physical fabric in the area.

The individual components of an area will collectively form a streetscape, townscape or cultural environment with significant heritage characteristics, which may include architectural style, town planning or urban design excellence, landscape qualities, or strong historic associations.

In some cases, the development of a heritage area may span an extended period and some of the characteristics of the area may be composite or varied. In such cases it may be worthwhile to analyse the different phases of growth as part of the assessment, while also demonstrating the 'unifying thread' that holds the area together as a meaningful whole.

#### Guidelines for Exclusion

Heritage significance needs to be clearly distinguished from the broader concept of urban character, given that all areas or localities demonstrate some form of urban character.

Heritage values can be conserved, diminished, destroyed, or restored, but (unlike other amenity values), cannot be improved or replicated.

An entire local government area can be divided into 'urban character areas' or planning precincts. However, Heritage Areas are select areas with special qualities and will generally be quite rare.

THE ASSESMENT CRITERIA | HERITAGE AREAS - AN EXTRA CRITERION

Examples (Inclusion)



< **Mount Lawley Estates 1 & 2** – an area bound by Walcott St to Regent St, the river to Alexander Dr, subdivided in two stages, the first in 1902 and the second in 1912. It provides a rare example in Perth of a substantially intact residential layout from the first decades of the 20th century.

It is characterized by an innovative layout based on the natural topography, together with a traditional streetscape of wide grassed verges and regular street-tree plantings. The housing stock is predominantly Federation Bungalow or Queen Anne in style, with some excellent examples also of Arts and Crafts or Californian bungalow styles.



< **West End Conservation Area, Fremantle** – Three significant periods of activity in the district's earlier periods of development are well represented (colonial settlement, the convict era and the gold rush).

However the predominant character of the area is generated by buildings from the gold rush era, which are mainly in Free Classical style, and mainly at a consistent scale of two or three storeys. The area features a number of distinctive landmarks that are visible throughout the West End, and it bears a very strong imprint from the City's main historic themes (particularly shipping and penal history).

Examples (Exclusion)



< **Wembley 'Precinct No 6'** (pictured below) is one of the townscape precincts identified in the Town of Cambridge heritage inventory and townscape study (1997). Bound by Herdsman Pde, Selby St, Grantham St, Gregory St and Dodd St, it comprises mainly single storey housing constructed progressively over a fifty year period from c. 1912 to 1960. Older housing stock is mainly in Californian Bungalow style, with a gradual transition in styles through later decades to Art Deco and modernist styles. New infill housing continues to be constructed through the first decade of the 2000s.



This is arguably not a Heritage Area because of the extent of loss of historic housing stock, limiting the degree to which it demonstrates a 'unified or consistent physical form in the public realm'.

### 3 GRADING<sup>THE</sup> LEVELS OF SIGNIFICANCE

#### 3.1 Heritage Places (ie places listed individually in their own right)

For each place that meets one or more of the above criteria (in the Values section), the Degree/Level of Significance section should be applied. Each heritage place can then be graded with one of the following levels of significance:

| LEVEL OF SIGNIFICANCE      | DESCRIPTION   | DESIRED OUTCOME   |
|----------------------------|---|---|
| Exceptional significance   | Essential to the heritage of the locality. Rare or outstanding example.   | The place should be retained and conserved.<br><br>Any alterations or extensions should reinforce the significance of the place, and be in accordance with a Conservation Plan (if one exists for the place). |
| Considerable significance  | Very important to the heritage of the locality. High degree of integrity/authenticity.  | Conservation of the place is highly desirable.<br><br>Any alterations or extensions should reinforce the significance of the place.   |
| Some/Moderate significance | Contributes to the heritage of the locality. Has some altered or modified elements, not necessarily detracting from the overall significance of the item. | Conservation of the place is desirable.<br><br>Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible.                        |
| Little significance        | Does not fulfill the criteria for entry in the local Heritage List.   | Photographically record prior to major development or demolition. Recognise and interpret the site if possible.   |

In most cases the level of significance will be the last question that needs to be addressed in the assessment process (following documentary research, physical inspection, determining which values apply, and so on).

### 3.2 Heritage Areas

Heritage Areas are select areas with special qualities, and will generally be quite rare within a locality. There is generally no need to assign a level of significance to a Heritage Area as a whole (in terms of Exceptional, Considerable, Some/Moderate significance).

However each place within the area should be graded according to the level of contribution that it makes to the significance of the area.

| LEVEL OF SIGNIFICANCE      | DESCRIPTION  | DESIRED OUTCOME   |
|----------------------------|--|---|
| Considerable contribution  | Very important to the significance of the Heritage Area; recommended for entry in the Heritage List. | Conservation of the place is highly desirable.<br><br>Any external alterations or extensions should reinforce the significance of the area, in accordance with the Design Guidelines.       |
| Some/Moderate contribution | Contributes to the significance of the Heritage Area.  | Conservation of the place is desirable.<br><br>Any external alterations or extensions should reinforce the significance of the area, in accordance with the Design Guidelines.              |
| No contribution            | Does not contribute to the significance of the Heritage Area.  | Existing fabric does not need to be retained.<br><br>Any new (replacement) development on the site should reinforce the significance of the area, in accordance with the Design Guidelines. |

## 4 DOCUMENTING PLACES AND AREAS

Where a Local Government Inventory includes both places and areas, they should be documented in separate 'chapters' of the inventory, in accordance with the following standards.

### 4.1 Heritage Places

Each assessment of a place (usually in the context of a local inventory) should be recorded with its own place record, and should include the minimum information outlined in the following table.

The optional information is also desirable, but not essential.

### 4.2 Heritage Areas

As a minimum, an assessment of a Heritage Area should identify its boundaries, describe its key features and elements, and establish a Statement of Significance (that explains what is significant about an area and why).

If a local government chooses to designate the Heritage Area under the local planning scheme, a much more detailed assessment and planning policy for the area will be required, including:

- A list of all the buildings or places within the area that make a Considerable Contribution or Some/Moderate Contribution.
- A set of Design Guidelines for alterations, extensions and new buildings within the area.
- A statement of the matters Council will consider in assessing planning applications within the area.

[For further detail see the Guidance Notes for Local Planning Policies for Heritage Areas.]



## 4.3 Place Record Form

| MINIMUM INFORMATION                   | EXPLANATORY NOTES  |
|---------------------------------------|--|
| Name of Place                         | Current name.  |
| Other names                           | Former or other names.   |
| PIN Number                            | If available, cite the Parcel Identifier Number ascribed to the land by Landgate.  |
| Land description                      | Where available, cite the Lot-on-Plan number and Certificate of Title number; or the Reserve number/CLR in the case of Crown land.   |
| Location/Address                      |  |
| Construction date(s)                  | Original construction year; or if constructed in stages, specify additional relevant year(s).  |
| Place type                            | Use Heritage Council codes (eg. Individual Bldg, Precinct, Urban Park, Tree etc).  |
| Use (original/current)                | Use Heritage Council codes. State both Original and Current Uses if possible.  |
| Other Listings                        | Show any other listings that apply to the place at the time of the survey or assessment, eg. 'State Register', 'Classified by the National Trust'.   |
| Physical description                  | Provide a brief description of the place, its component elements, and any important features of its context or setting.  |
| Historical notes                      | Provide a brief history of the place relevant to its significance. Detail the historical evolution of the place, including dates of importance, past and current uses, and associated persons or events. |
| Historic theme                        | Select from standard themes (Heritage Council codes).  |
| Construction materials                | Select from standard construction materials (Heritage Council codes).  |
| Statement of significance             | Provide a concise statement of the place's significance with reference to the Assessment Criteria published by the Heritage Council.   |
| Level of significance                 | State whether the place is considered of Exceptional, Considerable or Some significance.   |
| Management category (desired outcome) | State the Management Category associated with the Level of Significance assigned to the place.   |
| Main sources                          | List any written records, maps, plans, photographs or other sources used in the assessment of the place.   |
| Date of survey/assessment             |  |
| Photograph                            | Include one photograph that clearly depicts the place.   |
| OPTIONAL INFORMATION                  |  |
| Architect                             |  |
| Architectural style                   | Select from standard styles.   |
| Condition (and condition date)        | State whether the place is in Good, Fair or Poor condition, and if available, a summary of major works required to conserve or restore the place.  |

#### 4.4 Example Place Record Form

NAME: Barrington Bridge

OTHER NAMES:

PIN No: 000332200

LAND DESCRIPTION: Lot 4 on Plan 2065, CLR 2034/47

LOCATION: Pacific Road, Anytown

CONST'N DATE: 1920

PLACE TYPE: Individual Building

USE: Original Use TRANSPORT/COMMUNICATION: Bridge  
Current Use TRANSPORT/COMMUNICATION: Bridge

OTHER LISTINGS: Classified by the National Trust

##### PHYSICAL DESCRIPTION:

Barrington Bridge is an Allan-type timber truss road bridge. It has two timber truss spans, each of 27 metres, and a timber approach span at each end, giving the bridge an overall length of 83 metres.

The superstructure is supported by timber trestles covering a single-lane carriageway. The guardrail is of post and rail construction over the approaches, with Armco fixed to the timber truss sections.

##### HISTORICAL NOTES:

Allan trusses were the first scientifically engineered timber truss bridges, and incorporated American design ideas in Australian bridges for the first time. The high quality and low cost of the Allan truss design entrenched the dominance of timber truss designs in WA roads for several decades in the early 20th century.

Percy Allan was the designer of the Allan truss and was a senior engineer in the Public Works Department in the late 19th century and early 20th century.

HISTORIC THEME: Transport and Communications: Road Transport

CONSTRUCTION MATERIALS: Timber



**STATEMENT OF SIGNIFICANCE:**

The bridge has Historic significance as an example of the Allan truss bridges, which played an important role in the expansion of the WA road network in the early 20th century. It is an example of Percy Allan's work for the Public Works Department.

The bridge has Aesthetic significance: it is set in an impressive rural landscape, it is visible from a long distance as one of the few man-made landmarks in the area, and its design sits comfortably with its surroundings. The bridge exhibits the technical excellence of its design, as all of the structural details are clearly visible.

The bridge has Social significance as it is a landmark well known to local residents and to travellers in the region, and is held in esteem by those groups.

The bridge has Rarity value, as there are only 16 surviving bridges of the 67 that were built in the State, and post WWI examples such as this are particularly rare.

**LEVEL OF SIGNIFICANCE:** Considerable

**MANAGEMENT CATEGORY (Desired Outcome):**

Conservation of the place is highly desirable. Any alterations or extensions should reinforce the significance of the place.

**MAIN SOURCES:**

Institution of Engineers (WA), Large Timber Structures in WA (1999).

National Trust Classification Exposition Sheet.

Le Page, Building a State: The History of the PWD (1986)

SURVEY/ASSESSMENT DATE: 11/11/2006

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**Contact us**

|                             |  |
|-----------------------------|--|
| State Heritage Office       | <b>T:</b> (08) 6552 4000   |
| Bairds Building             | <b>FREECALL (regional):</b> 1800 524 000   |
| 491 Wellington Street Perth | <b>F:</b> (08) 6552 4001   |
| PO Box 7479                 | <b>E:</b> <a href="mailto:info@stateheritage.wa.gov.au">info@stateheritage.wa.gov.au</a> |
| Cloisters Square            | <b>W:</b> <a href="http://www.stateheritage.wa.gov.au">www.stateheritage.wa.gov.au</a>   |
| PO WA 6850                  |  |

March 2012

**OUR HERITAGE – WHAT MAKES US WESTERN AUSTRALIAN**

Appendix 2: Place Records

HERITAGE INVENTORY  
REVIEW 2017

**PLACE RECORDS**

**HERITAGE LIST**

**GRADE A places on State's Register of Heritage Places**

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## GINGIN POST OFFICE

Place No: 1

GRADE A: Exceptional significance  
Register of Heritage Places  
Heritage List

|               |  |      |                       |
|---------------|--|------|-----------------------|
| Name of Place | GINGIN POST OFFICE                       |      |                       |
| Address       | Constable Street, cnr of Brockman Street |      |                       |
| Suburb/Town   | GINGIN                                   |      |                       |
| Reserve No:   | Lot 123                                  | Plan | C.T. Vol 1977 Fol 975 |

## STATEMENT OF SIGNIFICANCE

*Gingin Post Office* is significant as a rare example of the Colonial Government's post office building program and is the oldest extant purpose built post office in Western Australia; it represents the vigorous lobbying by the Gingin community for its construction and the associated connection to the telegraph line from Perth to Geraldton; it represents the complementary association between police and postal service in the early development of public facilities; and, the residence demonstrates the role and lifestyle of the postmaster at the time.

**GRADE A:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. Listed on State Heritage Office's 'Register of Heritage Places'.

|                         |  |                      |                 |
|-------------------------|--|----------------------|-----------------|
| Original Uses           | Post office and residence  |                      |                 |
| Present Uses            | Post office  |                      |                 |
| Other Uses              |  |                      |                 |
| CONSTRUCTION DATES:     | 1886, 1955, 1996, many incremental alterations   |                      |                 |
| CONSTRUCTION MATERIALS: |  |                      |                 |
| Walls                   | Brick  | rendered             |                 |
| Roof                    | Terracotta tiles   | Replaced cgi in 1955 |                 |
| Other                   |  |                      |                 |
| ARCHITECTURAL STYLE:    | Victorian Georgian   |                      |                 |
| DESCRIPTION             | The masonry building faces Constable Street in an elevated position overlooking the town. The building is domestic in scale and design. The frontage is symmetrical with two protruding bays rooms with faceted bay windows flanking the central entry. The hipped tiled roof continues over the central entry with gablets to the flanking elements. Additions on both sides of the frontage have break pitch skillion extensions of the main roof. |                      |                 |
| CONDITION               | Good   | INTEGRITY            | High degree     |
|                         |  | AUTHENTICITY         | Moderate degree |

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

**HISTORICAL NOTES**

The first mail service to Gingin (at WL Brockman's property) was in 1853 on the Champion Bay route. In 1854 John York set up a post office at Creaton, becoming the first post master and Registrar, until 1863. Mrs Tyler, the policeman's wife, and school mistress who lived near the police paddock in the establishing town, became post mistress, and in 1864 John Cockram was contracted for the monthly mail delivery. In 1881 Mrs Hackett was Postmistress, with mail distributed through the Police station. Tenders for the Post Office and quarters were called on 20 August 1886. It was constructed by Chas Smith on Police reserve land next to police station. Officially opened on 28 October 1886. Mr and Mrs Hackett resided there 1893-1914 with Mrs being the Postmistress and Mr being the police officer (until 1893).

George Temple Poole was the Government Architect of the period, and his design influence is evident in Gingin Post Office and the other six that were built to the same design in that period; Pingelly, Narrogin, Wagin, Katanning, Broomehill, Mt Barker.

**LISTINGS**

State Heritage Office In-Herit Database No. 1076 Register of Heritage Places 1996.

National Trust Classified 1979

Shire of Gingin: Municipal Inventory TPS 1994, 2005

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

Municipal Heritage Inventory of Heritage Places 2005, Register documentation.

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017GINGIN RAILWAY STATION &  
QUARTERS (fmr)

Place No: 2

GRADE A: Exceptional significance  
Register of Heritage Places  
Heritage List

|                   |   |            |                       |  |
|-------------------|---|------------|-----------------------|--|
| Name of Place     | GINGIN RAILWAY STATION & QUARTERS (fmr) |            |                       |  |
| Address           | Jones Street                            |            |                       |  |
| Suburb/Town       | GINGIN                                  |            |                       |  |
| Reserve No: 50843 | Lot 500                                 | Plan 66821 | C.T. Vol 3159 Fol 952 |  |

## STATEMENT OF SIGNIFICANCE

Gingin Railway Station & Quarters was one of the first railway stations constructed on the Midland Junction to Walkway line by the Midland Railway Company. It was constructed by prominent builder, innovative farmer and developer Friedrich Wilhelm Gustav Liebe, and is also associated with Edward Keane, a leading railway builder. It was part of the development of the Midland-Walkaway Railway that provided the essential transport for pastoral and agricultural development in the region.

|   |                                |  |                                     |
|---|--------------------------------|--|-------------------------------------|
| <b>GRADE A:</b> Shire of Gingin 'Heritage List' TPS: Development Application. Retain & conserve. Listed on State Heritage Office's 'Register of Heritage Places'.   |                                |  |                                     |
| Original Uses   |                                | Railways Railway Station and quarters            |                                     |
| Present Uses  |                                | Private use                                      |                                     |
| Other Uses  |                                | Private residence                                |                                     |
| <b>CONSTRUCTION DATES:</b>  |                                | 1892, c.1930 kitchen extn, 1976 decommissioned.  |                                     |
| <b>CONSTRUCTION MATERIALS:</b>  |                                |  |                                     |
| Walls   | Painted face brick             | rendered quoins                                  |                                     |
| Roof  | Galvanised corrugated sheeting | c.2000 replacement                               |                                     |
| Other   |                                |  |                                     |
| <b>ARCHITECTURAL STYLE:</b>   |                                | Vernacular with Federation Free style influences |                                     |
| <b>DESCRIPTION</b> The "T" shape form comprises an extensive frontage along the platform parallel with the railways line, and protruding gable street frontage to Jones Street. The pavilion gable roof similarly runs parallel with the railway line with gables each end and a gable feature on the street front. All other railway elements associated with the site are no longer extant. |                                |  |                                     |
| <b>CONDITION</b> Good   |                                | <b>INTEGRITY</b> Moderate degree                 | <b>AUTHENTICITY</b> Moderate degree |



**SHIRE OF GINGIN**

**HERITAGE INVENTORY REVIEW 2017**

**HISTORICAL NOTES**

Gingin Railway Station was constructed in 1891 by the Midland Railway Company, under Edward Keane's direction as he extended the railway line from Midland Junction through to Walkway and later to Geraldton, opening up the pastoral and agricultural land and development opportunities. The Jones family of nearby Granville ran the refreshments rooms. The railway station comprised a goods shed, refreshment rooms and a longer platform, water tanks at each end to facilitate two trains at simultaneously, and crane, all that have since been demolished. With the demise of steam trains, and later the introduction of more efficient road transport, the railway station was decommissioned in 1976. Sometime later after it had been vacant and fallen into disrepair, it was leased to the Diggins family for 21 years during which time they restored the place.

**LISTINGS**

|                                      |                           |                                  |
|--------------------------------------|---------------------------|----------------------------------|
| State Heritage Office                | InHerit Database No. 1082 | Register of Heritage Places 2011 |
| National Trust Classified            | 1978                      |                                  |
| Register of the National Estate      | 1982                      |                                  |
| Shire of Gingin: Municipal Inventory | TPS 1998                  |                                  |

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

|   |
|---|
| Municipal Heritage Inventory of Heritage Places 2005. |
|---|

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## RAILWAY HOTEL (fmr)

Place No: 3

GRADE A: Exceptional significance  
Register of Heritage Places  
Heritage List

|               |  |      |                      |
|---------------|--|------|----------------------|
| Name of Place | DEWAR'S HOTEL (fmr)                    |      |                      |
| Address       | 15 Weld Street (facing Edwards Street) |      |                      |
| Suburb/Town   | GINGIN                                 |      |                      |
| Reserve No:   | Lot 29                                 | Plan | C.T. Vol 1601 Fol 73 |

## STATEMENT OF SIGNIFICANCE

Railway Hotel (fmr) Dewar's House, a single-storied brick and shingle cottage (facing Weld Street) with a two-storey addition on the north side (facing Edwards Street) and a stone walled barn in the rear yard, is significant for its aesthetic values form and the colour and texture of its fabric; the landmark qualities arising from the elevated position overlooking the town; its important for its association with Cockram and Dewar families; its contribution to the sense of place of the community; and, its role development of Gingin in its diverse roles as a home, shop and hotel.

|   |  |                       |             |
|---|--|-----------------------|-------------|
| <b>GRADE A:</b> Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. <b>Listed on State Heritage Office's 'Register of Heritage Places'.</b>   |  |                       |             |
| Original Uses   | Shop   |                       |             |
| Present Uses  | Private residence  |                       |             |
| Other Uses  | Hotel, accommodation   |                       |             |
| CONSTRUCTION DATES:   | c 1870-1886  |                       |             |
| CONSTRUCTION MATERIALS:   |  |                       |             |
| Walls   | North section –double storey :<br>Face brick – reverse tone Flemish bond<br>Single storey west frontage: Face brick<br>– reverse tone Flemish bond |                       |             |
| Roof  | Hipped shingle roof  | Not original shingles |             |
| Other   | Double storey section:<br>Timber veranda structure & balustrade  |                       |             |
|   | Stone barn   |                       |             |
| ARCHITECTURAL STYLE:  | Victorian Georgian   |                       |             |
| <b>DESCRIPTION</b> Located on a triangular site with the west side (original) facing Weld Street and the front (north addition) to Edwards Street and the railway line, and Horan Street to the rear. A stone-wall along the Dewar and Edwards street frontages and mature plantings obscure views of the place. The elegant form has a simple hipped roof that has been reclad with shingles. Verandas at both levels have spaced timber balustrades and an elegant curved valance. The brickworks of the double frontage facing Edward Street and the single storey facing Weld Street are both detailed in reverse tone Flemish bond |  |                       |             |
| CONDITION   | Good   | INTEGRITY             | High degree |
| AUTHENTICITY  | Moderate degree  |                       |             |

**SHIRE OF GINGIN**

**HERITAGE INVENTORY REVIEW 2017**

**HISTORICAL NOTES**

Cockram's settled in Gingin area in the late 1850s having emigrated on the *Sophia*. Edmund, one of the sons of the family gained a publicans licence in 1870 for the Gingin Hotel north of Lennard Brook. In 1871 he purchased lot 29 and together with his father Richard Cockram built a hotel and store, and a barn on the site. Called the Gingin Store it was successful, selling a variety of goods including men's and women's clothing. In 1880, Edmund Cockram sold up to manage the Railway Hotel in Perth, and John Dewar purchased the place, adding a substantial two-storey residence, with a large cellar, and a stable and hayloft at the rear. Facing Edwards Street, the addition overlooked the Granville Hotel (wayside inn) and the Weld Street bridge. The Railway Hotel opened in 1886. It subsequently closed down possibly due to concerns by Mrs Dewar of the effects upon their children. It became their family home. The property has remained in family ownership.

**LISTINGS**

|   |
|---|
| State Heritage Office InHerit Database No. 1083 Register of Heritage Places. 1998 |
| National Trust Classified 1977  |
| Register of the National Estate 1980  |
| Shire of Gingin: Municipal Inventory TPS 1996, 2005                               |

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

|   |
|---|
| Municipal Heritage Inventory of Heritage Places 2005, Register documentation. |
|---|

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017ST LUKES ANGLICAN CHURCH,  
CEMETERY & BELFRY

Place No: 4

A: Exceptional significance  
Register of Heritage Places  
Heritage List

|               |   |             |                      |  |
|---------------|---|-------------|----------------------|--|
| Name of Place | St LUKES ANGLICAN CHURCH, CEMETERY & BELFRY           |             |                      |  |
| Address       | Weld Street opposite the Brockman Street intersection |             |                      |  |
| Suburb/Town   | GINGIN  |             |                      |  |
| Reserve No:   | Lot 1   | Diagram 946 | C.T. Vol 156 Fol 194 |  |

## STATEMENT OF SIGNIFICANCE

St Luke's Church, Cemetery and Belfry is significant as the first purpose-built place of worship in Gingin; and for close associations with European settlers of the Gingin district, some of whom are buried in the graveyard. The place is historically important as an example of a nineteenth century Anglican Parish Church, dating from the 1860s, set in a graveyard dating from the 1850s; and contributes to the community's sense of place as a reminder of the mid-nineteenth century development of the Gingin district and the role of religion in that development. The Church, belfry and cemetery area landmark in the setting of mature Cypress tress.

**GRADE A:** Shire of Gingin 'Heritage List' TPS: Development Application. Retain & conserve. **Listed on State Heritage Office's 'Register of Heritage Places'.**

|                         |  |  |  |
|-------------------------|--|--|--|
| Original Uses           | Church and cemetery  |  |  |
| Present Uses            | Church and cemetery  |  |  |
| Other Uses              | School   |  |  |
| CONSTRUCTION DATES:     | 1860 church, belfry 1861, 1969. Cemetery (c. 1853-1903), 1990s major repairs |  |  |
| CONSTRUCTION MATERIALS: |  |  |  |
| Walls                   | Face stone   |  |  |
| Roof                    | Shingles   |  |  |
| Other                   |  |  |  |
| ARCHITECTURAL STYLE:    |  |  |  |

**DESCRIPTION** Located on the north bank of Gingin Brook, the church faces Weld Street, with an access on the north side as well, where the belfry is located. The Cemetery is located in the Weld Street frontage. A low Gothic picket fence surrounds the site. The Church is a simple rectangular form with entry porch at the west end. The steep gable roof is clad with shingles. The street frontage has a full stone gable wall with 3 stained glass windows in vertical format with gothic arched tops. A tall central window is flanked by two shorter windows. The sidewalls have steeped buttresses at regular intervals. The belfry is timber framed with a shingled hipped roof over. The path though the Cemetery from the road frontage splits in two to each side of the church.

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

|   |      |                  |             |                     |                      |
|---|------|------------------|-------------|---------------------|----------------------|
| <b>CONDITION</b>  | Good | <b>INTEGRITY</b> | High degree | <b>AUTHENTICITY</b> | Moderate/high degree |
| <b>HISTORICAL NOTES</b>   |      |                  |             |                     |                      |
| In c.1860, the Crown allocated 12 acres of land (Pt Swan Location 265) to the Anglican Church. The stone for the church was quarried nearby. The original building did not include a vestry. A grant of 25 pounds was received on completion of the building. The Reverend George Bostock was the first chaplain, opening the church for divine service on 23 February 1861. In c.1862, Reverend George Sadler took over and built a home, remaining in Gingin until 1884. In 1862, the bell was brought from the government offices in Perth, for use by the church and the school that was utilising the church in the 1870s and 1880s. In 1899, there was concern regarding overcrowding the cemetery, and the proximity to the brook. In 1904 the Cemetery was closed except for those interred with relatives. There are many unmarked graves in the Cemetery. |      |                  |             |                     |                      |
| <b>LISTINGS</b>   |      |                  |             |                     |                      |
| State Heritage Office InHerit Database No. 1085 Register of Heritage Places. 1996   |      |                  |             |                     |                      |
| National Trust Classified 1978  |      |                  |             |                     |                      |
| Register of the National Estate 1982  |      |                  |             |                     |                      |
| Shire of Gingin: Municipal Inventory TPS 1996, 2005   |      |                  |             |                     |                      |
| <b>SUPPORTING INFORMATION/BIBLIOGRAPHY</b>  |      |                  |             |                     |                      |
| Municipal Heritage Inventory of Heritage Places 2005, Register documentation.   |      |                  |             |                     |                      |

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

**ST LUKES RECTORY**

**Place No: 5**

**A: Exceptional significance**  
Register of Heritage Places  
Heritage List

NO PHOTO

|               |   |             |                       |
|---------------|---|-------------|-----------------------|
| Name of Place | <b>St LUKES RECTORY</b>   |             |                       |
| Address       | Weld Street – set back a considerable distance from the church. |             |                       |
| Suburb/Town   | <b>GINGIN</b>   |             |                       |
| Reserve No:   | Lot 2   | Diagram 946 | C.T. Vol 1975 Fol 110 |

**STATEMENT OF SIGNIFICANCE**

St Luke's Rectory is associated with the development of the Anglican parish in Gingin, Reverends who served the Church, and demonstrates a way of life no longer practiced.

**GRADE A:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. **Listed on State Heritage Office's 'Register of Heritage Places'.**

|                         |                           |  |  |
|-------------------------|---------------------------|--|--|
| Original Uses           | Rectory                   |  |  |
| Present Uses            | Private residence         |  |  |
| Other Uses              |                           |  |  |
| CONSTRUCTION DATES:     | 1898                      |  |  |
| CONSTRUCTION MATERIALS: |                           |  |  |
| Walls                   | Face stone                |  |  |
| Roof                    | Corrugated steel sheeting |  |  |
| Other                   |                           |  |  |

**ARCHITECTURAL STYLE:**

**DESCRIPTION** No INSPECTION IN 2016

**CONDITION** ? **INTEGRITY** ? degree **AUTHENTICITY** ? degree

**HISTORICAL NOTES**

The rectory is located to the northwest of the church. It was built for Ed Pritchett (for the church?).

**LISTINGS**

|                                 |                          |                                   |
|---------------------------------|--------------------------|-----------------------------------|
| State Heritage Office           | InHerit Database No 3722 | Register of Heritage Places. 1996 |
| National Trust                  | Classified 1978          |                                   |
| Register of the National Estate | 1982                     |                                   |
| Shire of Gingin:                | Municipal Inventory      | TPS 1996, 2005                    |

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

Municipal Heritage Inventory of Heritage Places 2005.

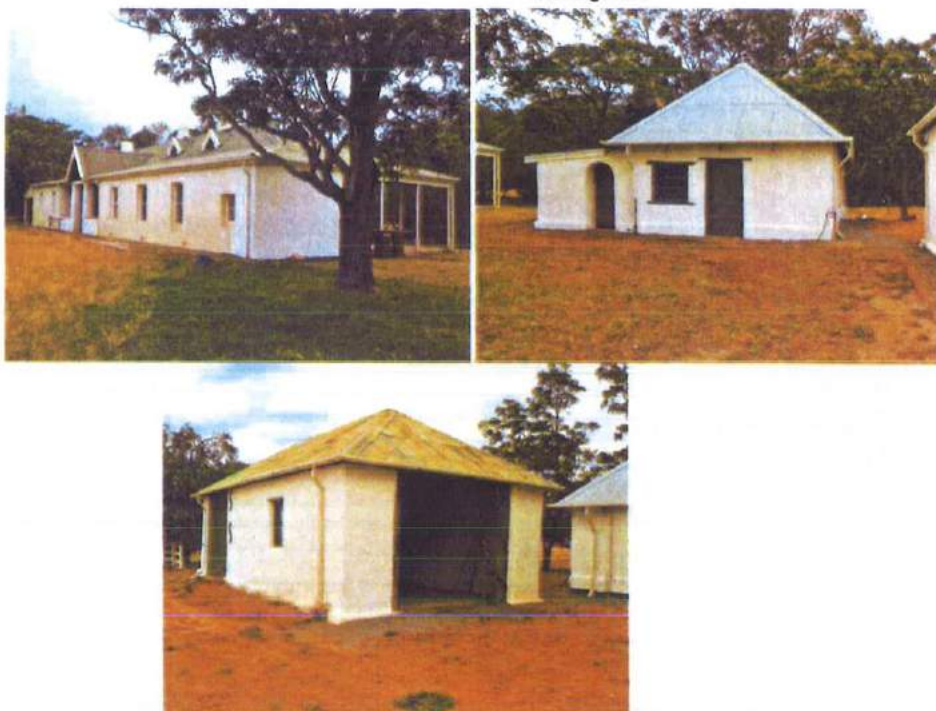


SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

**COWALLA HOMESTEAD GROUP**

**Place No: D1**

**Grade A: Exceptional significance**  
Register of Heritage Places  
Heritage List



|               |   |             |                       |  |
|---------------|---|-------------|-----------------------|--|
| Name of Place | <b>COWALLA HOMESTEAD GROUP</b>                  |             |                       |  |
| Address       | Cowalla Road at Junction of Orange Spring Road. |             |                       |  |
| Suburb/Town   | <b>COWALLA</b>                                  |             |                       |  |
| Reserve No:   | Lot Swan Location 465                           | Plan 231047 | C.T. Vol 2223 Fol 389 |  |

**STATEMENT OF SIGNIFICANCE**

Cowalla Homestead Group is a rare intact collection of mid to late nineteenth century mud brick buildings. It was an important stopping place on the northern stock route in the nineteenth century, adjacent to a ford on the Moore River used by travellers on the route. It demonstrates the evolution of farming in the region from its initial opening up by European settlers in the 1850s to the present; and, was owned by prominent land owner Robert de Burgh who was Superintendent of the Convict Depot in Toodyay, Director of the Western Australian Bank, and employed 60 ticket of leave men from 1852 until 1873.

**GRADE A:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. Listed on **State Heritage Office's 'Register of Heritage Places'.**

|               |                                    |
|---------------|------------------------------------|
| Original Uses | Whitfields Homestead               |
| Present Uses  | Residence and working farm         |
| Other Uses    | De burgh family residence and farm |



SHIRE OF GINGIN  
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|                                |  |                     |                      |
|--------------------------------|--|---------------------|----------------------|
| <b>CONSTRUCTION DATE:</b>      | 1850 (3 room mud bats), 1863 (additions & verandas, kitchen & bakehouse), 1889, (dairy and carriage-house 1891), 1901 earth floor replaced with timbers) 1907 thatch replaced with CGI) 1973 extensive renovations and some modernisation. |                     |                      |
| <b>CONSTRUCTION MATERIALS:</b> |  |                     |                      |
| Walls                          | Mud Brick  |                     |                      |
| Roof                           | Corrugated galvanised sheeting   |                     |                      |
| Other                          | Blackbutt doors and window frames and later jarrah- all from site. Thatched rushed roof  |                     |                      |
| <b>ARCHITECTURAL STYLE:</b>    | Vernacular Victorian   |                     |                      |
| <b>DESCRIPTION</b>             | Located on the banks of the Moore River, the group comprises the homestead, kitchen and dairy and carriage house, and some distance toward the entry near the Cowalla Bridge, is a workers dwelling.                                       |                     |                      |
| <b>CONDITION</b>               | Good   | <b>INTEGRITY</b>    | High degree          |
|                                |  | <b>AUTHENTICITY</b> | Moderate/High degree |

**HISTORICAL NOTES**

George and Edward Whitfield were granted 20,000 acres at Cowalla in 1850, building a 3-room mud brick house. In 1858 Robert de Burgh purchased the property and lived there. In 1863 he added to the house, and the detached kitchen and bakehouse was built. 1866, R de Burgh's son Walter took over, and after his death in 1873, his brother in-law Henry Brockman leased the property until 1878 when Walter's brother Henry took over. In 1904, Henry's son RSM (Sid) took over, and after his death in 1946. His sons RH & JW de Burgh took over. When RH de Burgh died his son RMH (Max) inherited the property, on-selling to Joseph Matthews, a Texan, who owned it until 2002 when the de Burgh family acquired ownership again.

**LISTINGS**

State Heritage Office Database No. 1088 Register of Heritage Places 2006  
National Trust Classified 1973  
Register of the National Estate 1978  
Shire of Gingin: Municipal Inventory TPS 1998

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

Municipal Heritage Inventory of Heritage Places 2005.

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**MOGUMBER MISSION (fmr) &  
CEMETERY****Place No: D2**

Level of significance:

**Grade A: Exceptional significance**

Register of Heritage Places

Heritage List



|                   |                |   |      |         |
|-------------------|----------------|---|------|---------|
| Name of Place     |                | <b>MOGUMBER MISSION (fmr) &amp; CEMETRY</b> |      |         |
| Address           |                | 2465 Mogumber Road West                     |      |         |
| Suburb/Town       |                | <b>MINDARRA</b>                             |      |         |
| Reserve No: 17702 | Swan Loc 3023  | Plan  | C.T. | Vol Fol |
| Reserve No: 16833 | Swan Loc 11373 |   |      |         |

**STATEMENT OF SIGNIFICANCE**

Mogumber Mission (fmr) and Cemetery is arguably the most important site in Western Australia representing the physical embodiment of government policies, social attitudes and racist theories towards Aboriginal people throughout the twentieth century. It represents the effects of the *Aborigines Act* 1905 on Aboriginal people from all over Western Australia, as one of the main government settlements of Aboriginal children from all parts of the state, who were removed from their families, relocated and detained against their will between 1917 and 1951. Mogumber Mission (fmr) is a benchmark site for teaching the history of Aboriginal culture in Western Australia and has potential to provide valuable insights to contribute to the process of reconciliation. Mogumber Mission (fmr) and Cemetery is important to a large section of the Aboriginal community for cultural, religious, social and educational associations and for those who have relatives buried there in one of the largest Aboriginal burial grounds in Australia. Mogumber Mission (fmr) is important for its association, from the 1950s, with the phase of history influenced by missions for Aboriginal people run by religious organisations. It is important for associations with a number of prominent members of the Aboriginal community including a number of elders and notable Aboriginal spokespersons, and for its associations with A. O. Neville, Chief Protector of Aborigines from 1915 to 1940.

**GRADE A:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. **Listed on State Heritage Office's 'Register of Heritage Places'.**

|                            |  |
|----------------------------|--|
| Original Uses              | Moore River Native Settlement (1917-1951)  |
| Present Uses               | vacant   |
| Other Uses                 | Mogumber Methodist Mission (1951-1967) Mogumber Farm, Mogumber Mission Settlement  |
| <b>CONSTRUCTION DATES:</b> | Mogumber Mission (fmr) and Cemetery (1917-1922) 1929; 1935-38; 1946; 1948; 1951-68) Moore River Native Settlement (1917-1951) Mogumber Methodist Mission (1951-1968) |

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

|   |                                  |   |  |
|---|----------------------------------|---|--|
| <b>CONSTRUCTION MATERIALS:</b>  |                                  |   |  |
| Walls   | Masonry, Asbestos                |   |  |
| Roof  | Zincalume corrugated sheeting    |   |  |
| Other   |                                  |   |  |
| <b>ARCHITECTURAL STYLE:</b>   |                                  |   |  |
| <b>DESCRIPTION</b>  |                                  |   |  |
| <p>A site containing the remains of buildings, structures and camping places. The cemetery is located some 1 kilometre west of the mission on Mogumber Road. In an area of approximately 2 acres, there are approximately 500 graves, mostly unmarked. A memorial wall has been established.</p> <p>The 'settlement sits on a natural terrace above the Moore River from which are had panoramic view as far as the north, west and south horizons, which are formed by ridgelines of the hills opposite'. The place is entered via a gravel driveway which extends past the Mission buildings to the 'Settlement' and on towards the farm. These areas form three separate groups of buildings which are described below:</p> <p><b>Mission Buildings</b></p> <p>On the northern side of the entrance driveway are three houses. The first has been recently built; the other two sit within a large plantation of pine trees which date from the Settlement period. These are timber framed, asbestos clad buildings with zincalume roof sheeting, typical of c. 1950s construction.</p> <p>South of the entrance driveway is a cleared sandy area with some grass covering. There are four buildings of similar c. 1950s design. The one closest to the road, contains a commercial kitchen and dining hall. This building has dado weatherboard cladding and asbestos above. Included in this group of buildings is the 'isolation block' away from the other buildings. West of the Mission buildings is a tennis court and a toilet block which is of steel frame construction with rendered masonry and zincalume clad walls and a curved zincalume roof.</p> <p><b>'Settlement'</b></p> <p>Most of the buildings constructed as part of the 'Settlement' have since been demolished or removed from the site. However, the church hall is located at the southern end of the former 'street' along which many of the structures were located. The street is defined by remaining pine trees and terminated by the site of the Superintendent's house.</p> <p>Church Hall 1920 Timber framed fibrocement clad.</p> <p>Detention Block 1946 limestone and concrete construction and consists of a number of small cells and a larger communal cell.</p> <p>The remnants of structures and foundations inform of the extent of the establishment.</p> <p><b>Cemetery</b></p> <p>The cemetery has a gravel access road. The burial area does not have any formally marked graves, however there are some iron crosses and groups of shells. A 'ground-probing radar' survey completed in 1993 showed the number and</p> |                                  |   |  |
| <b>CONDITION</b> Fair- ruinous  | <b>INTEGRITY</b> Moderate degree | <b>AUTHENTICITY</b> Low/Moderate degree |  |
| <b>HISTORICAL NOTES</b>   |                                  |   |  |
| <p>The Moore River Native Settlement was one of only two examples of a settlement established by the government in the early twentieth century for the purpose of relocating Western Australian Aboriginal people with the aim of preventing part Aboriginal children from associating and later breeding with full blood Aboriginal people, and to teach farming practices and domestic skills for the purpose of 'civilising' Aboriginal people for assimilation into the white society.</p> <p>The 1905 Aborigines Act increased powers for the removal and relocation of Aborigines. 1915 A. O. Neville appointed Chief Protector of Aborigines in Western Australia, developed the 'native settlement scheme' based on the segregation of Aborigines on government-run farming settlements, with ultimate aim their absorption into the wider community'.</p> <p>1917 Establishment of the <i>Moore River Native Settlement</i> at Mogumber on 9, 600 acres of land. Through the isolation of the settlement, the Aboriginality of the 'inmates' was controlled and trained out, and they were expected to adopt, either willingly or unwillingly, appropriate (white) forms of behaviour.</p> <p>1918 Aboriginal inmates averaged 22 in number. The first building was constructed - a cottage, used as an office, store and assistant's room. The Superintendent's five-roomed bungalow was built and a camp site for the natives was selected and cleared.</p> <p>1919 93 'inmates' were registered. A baker's oven was constructed, a dormitory for the young female inmates was completed along with a bake and cook house and a large shelter shed with a large open fireplace'.</p> <p>During this year, new laws came into force, under which an Aboriginal person of any age, from any part of Western Australia, could be removed from his or her place or residence and interned within the reserve.</p> <p>1920 population had reached 158.</p> <p>1922 Closure of the <i>Carrolup River Native Settlement</i> in the south and removal of most of its inhabitants to Moore River.</p> <p>1925 Introduction of new Superintendent John Brodie whose attitude was 'less of fatherly concern, and more of containment, control and full integration'</p>   |                                  |   |  |

**SHIRE OF GINGIN  
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**HISTORICAL NOTES cont.**

1927 Brodie resigned following an incident where a young male inmate had been tarred and feathered. Arthur Neal took up the position and his wife took over as Matron.

1928 More than 300 people lived at the settlement (intended to house a maximum of 200 people). Facilities included a slaughter-house and yards, butcher's shop and a carpenter's shop.

1929 A hospital was constructed to alleviate epidemics of diseases, such as measles, pneumonia, scabies and chickenpox, that were exacerbated by over-crowded living conditions and poor diet. This building had two eight-bed wards, a kitchen, offices and nurses' rooms, and was built of lime and cement concrete.

1932 Policy during the Depression was to bring as many people as possible into the settlement and other institutions. The population at Moore River reached its peak at nearly 500 people. At the same time, Government funding was slashed and living conditions that were never good deteriorated further.

1933 The Aboriginal population of Northam is taken to the settlement.

1934 A Royal Commission was established into Aborigines which gave a very critical account of the settlement.

1935 The hospital was completed including a men's ward, surgery and operating theatre, nurses' quarters, medical ward, children's room and offices. A cow shed with yards and a lined two-roomed cottages was built.

1937 Infant's dormitory for 24 children, with a kindergarten, and domestic sciences and manual training rooms for older children. Funds were granted for a new 'native village'. The site was surveyed, roads and paths constructed and trees planted. Six camps for single men were re-built from camps in Geraldton. Eight two-roomed cottages were begun and thirty blocks marked out for further cottages.

1938 Six cottages, a cook house and recreation room had been constructed in the village.

1937 A O Neville retired as Chief Protector and is succeeded by Bray.

Superintendent Paget takes over from Neal. Bate describes this as 'a period of rapid degeneration'. 1944 An outside inspector describes that 'the whole system [was] in a deplorable condition'. Aboriginal people from Moore River write to Perth, complaining of the terrible conditions, resulting in a backlash of discipline, control and suppression by the supervisors.

1946 The detention block completed, replacing the shed known as the 'Boob'.

1948 S G Middleton, with experience in Papua New Guinea, took over as Commissioner of Native Affairs, bringing 'a new era of competence and active decision-making to the Settlement'. Seventeen buildings were demolished and replaced, others were extended or altered.

1951 Following public debate, Middleton closed down the Settlement, believing that isolated institutions hindered government assimilation policies. The place was handed to the Methodist Overseas Mission and 'the inmates dispersed'.

**Mission Years 1951 - 1968**

1951 Name change to *Mogumber Methodist Mission* and the place is administered by the Church. This was a period of gradual rehabilitation. The quarters were abandoned and new buildings were constructed on a site east of the original Settlement.

**Final Years 1968 -**

1968 Legislation passed allowing Aboriginal people to be counted in the census and defining Aboriginality based on identification and custom, rather than biology. The Mission closed.

1973 The cemetery is vested in the Aboriginal Lands Trust.

**LISTINGS**

|                                      |   |
|--------------------------------------|---|
| State Heritage Office                | InHerit Database No. 03618 (Cemetery No 17815) Register of Heritage Places 1998 |
| National Trust Classified            |   |
| Register of the National Estate      | 1995  |
| Aboriginal Heritage Sites Register   | – permanent   |
| Shire of Gingin: Municipal Inventory | TPS 1994, 2005  |

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

|  |
|--|
| Municipal Heritage Inventory of Heritage Places 2005, Register documentation |
|--|

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## MOONDAH HOMESTEAD

Place No: D3

Level of significance:

Grade A: Exceptional significance

Register of Heritage Places

Heritage List

NO SITE INSPECTION IN 2016

|               |                   |               |                      |
|---------------|-------------------|---------------|----------------------|
| Name of Place | MOONDAH HOMESTEAD |               |                      |
| Address       | Mooliabeenie Road |               |                      |
| Suburb/Town   | MOOLIABEENIE      |               |                      |
| Reserve No:   | Lot 120           | Diagram 67478 | C.T. Vol 1898 Fol 61 |

## STATEMENT OF SIGNIFICANCE

Moondah Homestead is significant as one of the early farming establishments in the district, and for association with the Brockman family.

**GRADE A:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. **Listed on State Heritage Office's 'Register of Heritage Places'.**

|   |   |              |  |
|---|---|--------------|--|
| Heritage Office & Registrar Heritage Act 2004   |   |              |  |
| Original Uses   | Homestead   |              |  |
| Present Uses  | Ruins?  |              |  |
| Other Uses  |   |              |  |
| CONSTRUCTION DATE:  | 1852-1860, 1880s stables, blacksmith shop, dairy (all demolished) 1924 kitchen. |              |  |
| CONSTRUCTION MATERIALS:   |   |              |  |
| Walls   |   |              |  |
| Roof  |   |              |  |
| Other   |   |              |  |
| ARCHITECTURAL STYLE:  |   |              |  |
| DESCRIPTION NO SITE INSPECTION IN 2016  |   |              |  |
| Single storey three room brick house with separate kitchen, and garden with mature trees, close to Moondah Brook. |   |              |  |
| CONDITION   | INTEGRITY   | AUTHENTICITY |  |

## HISTORICAL NOTES

William Locke Brockman and his wife and son were one of the first settlers in the Swan River Colony in 1830, taking up Swan Location 9 (Herne Hill) in 1832 and establishing a family residence. Attracted to Gingin area due to streams and fertility, he took up Swan Locations 96, 101 and 104, and became renowned for pedigree sheep and breeding blood horses for the Indian Army. He was the first to lease grazing land in the area and establish flocks, and also facilitated the Church of England church. On location 96 he established Ginginup Station- later named Cheriton. Moondah Homestead was located at the south end of Ginginup Station. In c.1860, Brockman's second son William was managing Moondah Homestead that bred cattle and horses up to the turn of the century. After his wife's death in c.1868 he hired Mr and Mrs John McWilliams who lived at the homestead, housekeeping and working the farm. And did so until William's death in 1898. In 1887 ownership had transferred to William's sons Edmund and Henry, and then Henry, before it transferred again in 1904, to Williams' daughter Mary Elizabeth Hare, wife of Frederick Hare, Commissioner of Police. They leased the property until moving in in 1906 after the Commissioner became the target of an assassination attempt. In 1907, the property was acquired by Walter McKenzie Grant, who on sold to neighbour John Musk, inherited by his wife Catherine in 1921. Richard Rennie owned between 1924 and 1936, adding a kitchen, after which time many owners until 1968 when the Western Australian winegrowers Association purchased and established Valencia Vineyards. After the property changed hands again in 1991, a new residence was constructed and Moondah Homestead was vacant in 2005.

## LISTINGS

State Heritage Office Database No. 3721 Register of Heritage Places 1997  
National Trust Classified 1978  
Register of the National Estate 1982  
Shire of Gingin: Municipal Inventory TPS 1994

## SUPPORTING INFORMATION/BIBLIOGRAPHY

Municipal Heritage Inventory of Heritage Places 1994, 2005.



SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## OLD JUNCTION HOTEL

Place No: D4

Grade A: Exceptional significance  
Register of Heritage Places  
Heritage List

|               |                    |               |                       |  |
|---------------|--------------------|---------------|-----------------------|--|
| Name of Place | OLD JUNCTION HOTEL |               |                       |  |
| Address       | Gingin Brook Road  |               |                       |  |
| Suburb/Town   | NEERGABBY          |               |                       |  |
| Reserve No:   | Lot 10             | Diagram 96547 | C.T. Vol 2178 Fol 286 |  |

## STATEMENT OF SIGNIFICANCE

Old Junction Hotel is significant for its landmark quality as an important surviving element at Neergabby and the social value for its use as a meeting place at a crossing point of the Moore River and with its associations with the local community and travellers. It contributes to an understanding of the settlement of the district, and is important for its historic associations with original owner Daniel King and builder Matt Wallis. Old Junction Hotel is a rare surviving example of a farmhouse/inn dating from the 1870s.

**GRADE A:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. **Listed on State Heritage Office's 'Register of Heritage Places'.**

|                         |                               |                   |        |
|-------------------------|-------------------------------|-------------------|--------|
| Original Uses           | Inn                           |                   |        |
| Present Uses            | Private residence             |                   |        |
| Other Uses              |                               |                   |        |
| CONSTRUCTION DATE:      | 1874, 1955                    |                   |        |
| CONSTRUCTION MATERIALS: |                               |                   |        |
| Walls                   | Locally made & burnt bricks   | Rendered          |        |
| Roof                    | Corrugated zincalume sheeting | Original shingles | Hipped |
| Other                   |                               |                   |        |
| ARCHITECTURAL STYLE:    | Vernacular colonial           |                   |        |

**DESCRIPTION** A single storey rendered masonry dwelling of modest scale in an 'L' form. Located on the bank of Gingin Brook, and although close to Gingin Brook Road does not address that frontage. The 'front' has a break pitch skillion veranda along the entire length with each end enclosed. There are several steel framed and clad outbuildings in the proximity, none of significance.

**CONDITION** Fair      **INTEGRITY** Moderate degree      **AUTHENTICITY** Moderate degree

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

**HISTORICAL NOTES**

The Old Junction Hotel is located at the intersection of the Moore River and Gingin Brook. Daniel King and his wife built a home in the 1860s, that was damaged by floods in 1872. Matt Wallis was engaged to build another dwelling that would be suitable as an inn. Completed in 1874, it became a successful inn and meeting place for the community. Located on the Old North Road, the dwelling also formed part of the Riverbrook property. After several changes of ownership between 1914 and 1955, Alf Grant renovated the building in 1955.

**LISTINGS**

State Heritage Office Database No. 1080 Register of Heritage Places 2000

National Trust Classified 1978

Aboriginal Heritage Sites Register – permanent

Shire of Gingin: Municipal Inventory TPS 1994

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

Municipal Heritage Inventory of Heritage Places 2005. Register documentation



SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017OLD NORTH ROAD STOCK ROUTE  
(STAGE 1)

Place No: D5

Level of significance:

Grade A: Exceptional significance

Register of Heritage Places

Heritage List

NO PHOTO

|               |  |              |              |
|---------------|--|--------------|--------------|
| Name of Place | OLD NORTH ROAD STOCK ROUTE (STAGE 1)                       |              |              |
| Address       | Star Swamp in North Beach to Walkaway (south of Geraldton) |              |              |
| Suburb/Town   | YANCHEP to NEERGABBY                                       |              |              |
| Reserve No:   | Lot  | Plan/Diagram | C.T. Vol Fol |

## STATEMENT OF SIGNIFICANCE

Old North Road Stock Route is one of the earliest and most important stock routes in Western Australia linking the Perth area with Champion Bay from 1850 until the advent of the Midland railway in 1894.

**GRADE A:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. **State Heritage Office's 'Register of Heritage Places'.**

|                         |  |
|-------------------------|--|
| Original Uses           | Old North Rd, Coastal Stock Route, Old North Stock Route, Champion Bay Stock Route |
| Present Uses            | Walking/ride trail   |
| Other Uses              |  |
| CONSTRUCTION DATE:      | 1839; 1855; 1862; 1863; 1889; 1905   |
| CONSTRUCTION MATERIALS: | Undeveloped track through mostly bushland.   |
| ARCHITECTURAL STYLE:    | -  |

## DESCRIPTION

This is the 28km section of the route through the City of Wanneroo and Shire of Gingin from Yanchep to Neergabby. The entire route ran from Star Swamp to Walkaway.

CONDITION Good      INTEGRITY Moderate degree      AUTHENTICITY Moderate degree

## HISTORICAL NOTES

Stock were driven to new breeding stations in the north, and south for produce to the city. In later years of the route it served the Murchison goldfields with camels carrying the provisions.

## LISTINGS

State Heritage Office Database No. 25092.  
Register of Heritage Places 2004- North West Stock Route (fmr) STAGE ONE- 28km Yanchep to Neergabby  
Shire of Gingin: Municipal Inventory TPS 2006

## SUPPORTING INFORMATION/BIBLIOGRAPHY

Municipal Heritage Inventory of Heritage Places 2005. Register documentation

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

**OLD JUNCTION BRIDGE**

**Place No: D6**

Level of significance:

**Grade A: Exceptional significance**  
Register of Heritage Places



|               |                             |   |              |
|---------------|-----------------------------|---|--------------|
| Name of Place |                             | OLD JUNCTION BRIDGE (MRWA 4036)                               |              |
| Address       |                             | Old North Road Stock Route at Neergabby over the Gingin Brook |              |
| Suburb/Town   |                             | NEERGABBY   |              |
| Reserve No:   | Lot 10 Swan<br>Location 526 | Plan/Diagram  | C.T. Vol Fol |

**STATEMENT OF SIGNIFICANCE**

The bridge forms part of the Old North Road Stock Route Reserve which itself is nominated for the Shire of Gingin Municipal Inventory. Its age, construction and historic usage are all significant to the Shire heritage. It is a good example of early wooden bridges in W.A. It also complements the Neergabby precinct which includes the Old Junction Hotel and Hall which were a centre of activity in the early days when the Stock Route was a bustling thoroughfare

**GRADE A:** Shire of Gingin 'Heritage List' TPS: Development Application. Retain & conserve. **State Heritage Office's 'Register of Heritage Places'.**

|   |                   |              |                 |
|---|-------------------|--------------|-----------------|
| Office & Register of Heritage Places:   |                   |              |                 |
| Original Uses   |                   |              |                 |
| Present Uses  |                   |              |                 |
| Other Uses  |                   |              |                 |
| CONSTRUCTION DATE:  |                   | 1863-1905    |                 |
| CONSTRUCTION MATERIALS:   |                   |              |                 |
| Walls   | Structural timber |              |                 |
| Other   |                   |              |                 |
| ARCHITECTURAL STYLE:  |                   |              |                 |
| DESCRIPTION Sawn timber stringers over driven timber pilés, no corbels, L 68ft, W 10'6", between kerbs. The bridge spans the Gingin Brook approximately 100m south of the existing traffic on Gingin Brook Road. It is included in the Stock Route Reserve. |                   |              |                 |
| CONDITION   | Fair              | INTEGRITY    | Moderate degree |
|   |                   | AUTHENTICITY | Moderate degree |

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

**HISTORICAL NOTES**

Superstructure replaced 1905 including halfcaps to replace fullcaps. Restored with new jarrah decking and handrails by the Shire of Gingin and the Neergabby Community Association in 2005. The bridge has the oldest surviving timber bridge piers known in W.A. It was built in 1863-64 at a cost of 108 pounds by R. Cousins. Drovers on the Stock Route contributed to its financing, as did the government. The bridge proved very successful, but was inundated by very high floods. It was continually in use by drovers on the Stock Route until the Midland Railway was completed in 1894, diminishing the traffic greatly. In 2002 the western end of the bridge collapsed and urgent repairs are required. Superstructure replaced 1905 including halfcaps to replace fullcaps. Restored with new jarrah decking and handrails by the Shire of Gingin and the Neergabby Community Association in 2005.

**LISTINGS**

State Heritage Office Database No. 13064. Register of Heritage Places 2004 Registered No 15873  
Shire of Gingin: Municipal Inventory TPS 2005

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

Municipal Heritage Inventory of Heritage Places 2005.

HERITAGE INVENTORY  
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PLACE RECORDS

HERITAGE LIST  
GRADE B places

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

GINGIN WAR MEMORIAL

Place No: 6

B: Considerable significance

Heritage List TPS: Development Application.



|               |   |      |      |     |     |
|---------------|---|------|------|-----|-----|
| Name of Place | GINGIN WAR MEMORIAL                       |      |      |     |     |
| Address       | North corner of Brockman and Weld Streets |      |      |     |     |
| Suburb/Town   | GINGIN                                    |      |      |     |     |
| Reserve No:   | Lot                                       | Plan | C.T. | Vol | Fol |

STATEMENT OF SIGNIFICANCE

Gingin War Memorial commemorates Gingin and districts residents who went to war and is an important site of remembrance.

GRADE B: Shire of Gingin 'Heritage List' TPS: Development Application. Retain & conserve.

|   |   |           |             |              |             |
|---|---|-----------|-------------|--------------|-------------|
| Original Uses   |   |           |             |              |             |
| Present Uses  |   |           |             |              |             |
| Other Uses  |   |           |             |              |             |
| CONSTRUCTION DATES:   | 1920, relocated 1978                        |           |             |              |             |
| CONSTRUCTION MATERIALS:   | Stone                                       |           |             |              |             |
| ARCHITECTURAL STYLE:  | Commemorative                               |           |             |              |             |
| DESCRIPTION   | Elegant stone obelisk on graduated plinths. |           |             |              |             |
| CONDITION   | Good  | INTEGRITY | High degree | AUTHENTICITY | High degree |
| HISTORICAL NOTES  |   |           |             |              |             |
| Originally located in front of the Roads Board Office in Constable Street, unveiled by the premier Sir Henry Lefroy in 1920. It was relocated to the gardens on the south side of the Shire of Gingin Administration Offices in 1978. The memorial commemorates Gingin and districts residents who went to war. In World War One there were 47 who served and 10 who died in services. In World War Two eight died in service. A separate plaque honours of Jim Gordon who received the Victoria Cross on 12 July 1942. |   |           |             |              |             |

LISTINGS

|                       |                                    |
|-----------------------|------------------------------------|
| State Heritage Office | InHerit Database No. 11795         |
| Shire of Gingin:      | Municipal Inventory TPS 1994, 2005 |

SUPPORTING INFORMATION/BIBLIOGRAPHY

|   |
|---|
| Municipal Heritage Inventory of Heritage Places 2005. Register documentation. |
|---|

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## GINGIN ROAD BOARD OFFICE (fmr)

Place No: 7

B: Considerable significance

Heritage List TPS; Development Application.



|               |                                |      |              |
|---------------|--------------------------------|------|--------------|
| Name of Place | GINGIN ROAD BOARD OFFICE (fmr) |      |              |
| Address       | Constable Street               |      |              |
| Suburb/Town   | GINGIN                         |      |              |
| Reserve No.   | Lot                            | Plan | C.T. Vol Fol |

## STATEMENT OF SIGNIFICANCE

Gingin Road Board Office (fmr) is significant in representing the development of the local government in 1911 and of continued development when it was vacated in 1968 for new premises. It has a social and civic significance for the associations with staff and elected members throughout that period.

**GRADE B:** Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve.

|                         |   |         |  |
|-------------------------|---|---------|--|
| Original Uses           | Road Board Office 1911-1968                       |         |  |
| Present Uses            |   |         |  |
| Other Uses              | Pre-primary centre                                |         |  |
| CONSTRUCTION DATES:     | 1911  |         |  |
| CONSTRUCTION MATERIALS: |   |         |  |
| Walls                   | Face brick  | Painted |  |
| Roof                    | Zincalume corrugated sheeting                     | Gable   |  |
| Other                   | Painted weatherboard front veranda part enclosure |         |  |
| ARCHITECTURAL STYLE:    | Federation vernacular                             |         |  |

## DESCRIPTION

The building faces Constable Street in an elevated position. Modest in scale it has a single frontage with a gable and separate skillion front veranda. The gable has a decorative brick edge detail. The veranda is partially enclosed. There is a full width rear addition with a separate skillion roof.

CONDITION Good      INTEGRITY Moderate degree      AUTHENTICITY Moderate degree

## HISTORICAL NOTES

The inaugural meeting of the Gingin Road Board was held in 1893 in Granville Hotel, later at John Dewar's Railway Hotel, and the Good Templars Hall, before the Agricultural Hall between 1900-1903 when a house in Brockman Street was rented for the purpose. On 29 April 1911 Mr Moore, MLA opened the new office comprising one main room with an enclosed front veranda and rear facilities. In 1968, new administration offices were constructed for the Shire of Gingin and the building was no longer utilised for the local government activities.

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

|   |
|---|
| <b>LISTINGS</b>   |
| State Heritage Office InHerit Database No. 1081                               |
| National Trust Classified 1978  |
| Register of the National Estate 1982  |
| Shire of Gingin: Municipal Inventory TPS 1994, 2005                           |
| <b>SUPPORTING INFORMATION/BIBLIOGRAPHY</b>                                    |
| Municipal Heritage Inventory of Heritage Places 2005, Register documentation. |



SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

ST CATHERINES ROMAN  
CATHOLIC CHURCH

Place No: 8

B: Considerable significance

Heritage List TPS: Development Application.



|               |                                     |         |              |
|---------------|-------------------------------------|---------|--------------|
| Name of Place | ST CATHERINES ROMAN CATHOLIC CHURCH |         |              |
| Address       | Fraser Street                       |         |              |
| Suburb/Town   | GINGIN                              |         |              |
| Reserve No:   | Lot                                 | Diagram | C.T. Vol Fol |

STATEMENT OF SIGNIFICANCE

St Catherine's Roman Catholic Church is of significance for the associations with generations of the Catholic community in the Gingin area, Mrs Musk, and the New Norcia priests. The Church has social and religious significance for the events that have taken place that also evoke a sense of place.

|  |   |              |                      |
|--|---|--------------|----------------------|
| GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. |   |              |                      |
| Original Uses  | Church  |              |                      |
| Present Uses   | Church  |              |                      |
| Other Uses   |   |              |                      |
| CONSTRUCTION DATES:  | 1931  |              |                      |
| CONSTRUCTION MATERIALS:  |   |              |                      |
| Walls  | Timber framed, weatherboard clad  |              |                      |
| Roof   | Corrugated sheet steel  |              |                      |
| Other  | Elevated on timber stumps   |              |                      |
| ARCHITECTURAL STYLE:   | Interwar Gothic Carpenter   |              |                      |
| DESCRIPTION  | The Church is a simple rectangular form with an entry porch at the elevated end of the building, with a ramped access returning down the side of the church. The roof is a steep pitch gable with a shadow half - timbered detail at the front with a simple cross above. The porch has a simple gable of same degree. The windows and double front doors are detailed with Gothic arches. The timber framed bell tower is located next to the entry porch with a small gable roof and cross atop the structure. The stone grotto is close-by. It is fenced. There is a steel framed and clad detached building in close proximity. |              |                      |
| CONDITION  | Good  | INTEGRITY    | High degree          |
|  |   | AUTHENTICITY | Moderate/high degree |

**SHIRE OF GINGIN**

**HERITAGE INVENTORY REVIEW 2017**

**HISTORICAL NOTES**

In 1891, the Governor set aside lots 2 and 3 for the Roman Catholic community for a chapel, glebe and cemetery. The church was not built until 1931, with 2/3 of the costs donated by Mrs Catherine Musk. Other elements were donated by Catholic community members.

The Church was consecrated on 14 June 1931, and named St Catherine's in honour of Mrs Musk. A priest from New Norcia gave services until 1952. When it came under the jurisdiction of the Franciscan fathers of Midland.

**LISTINGS**

State Heritage Office InHerit Database No. 1078

National Trust Classified 1978

Shire of Gingin: Municipal Inventory TPS 1996, 2005

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

Municipal Heritage Inventory of Heritage Places 2005.

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

GINGIN HOTEL

Place No: 9

B: Considerable significance  
Heritage List TPS: Development Application.



|               |                |      |              |
|---------------|----------------|------|--------------|
| Name of Place | GINGIN HOTEL   |      |              |
| Address       | 9 Jones Street |      |              |
| Suburb/Town   | GINGIN         |      |              |
| Reserve No:   | Lot            | Plan | C.T. Vol Fol |

STATEMENT OF SIGNIFICANCE

Gingin Hotel is the only surviving Hotel in Gingin and has operated continually since it opened in 1903. It is a fine representative example of the Federation period of architecture and of development in Gingin at that time, making a significant contribution to the townscape heritage. It is also significant for associations with various owners and managers including John Musk, and wife Catherine, Tom Jones, and others, and demonstrates a sense of place for the social and hospitality functions of the place, that continue in the 21<sup>st</sup> century.

|  |  |              |                 |
|--|--|--------------|-----------------|
| GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve. |  |              |                 |
| Original Uses  | Hotel  |              |                 |
| Present Uses   | Hotel  |              |                 |
| Other Uses   |  |              |                 |
| CONSTRUCTION DATES:  | 1903, c.1960s  |              |                 |
| CONSTRUCTION MATERIALS:  |  |              |                 |
| Walls  | Face brick   | Painted      |                 |
| Roof   | Zincalume corrugated sheeting  |              |                 |
| Other  |  |              |                 |
| ARCHITECTURAL STYLE:   | Federation Free  |              |                 |
| DESCRIPTION  | The hotel faces Jones Street directly opposite Gingin Railway Station. The two-storey building has a simple parapet with pilastered bays and an asymmetrical pediment detail with a bay identifying the main entry. Verandas at ground floor and first floor levels extend across the front and down the east side. There is a c.1960s single storey addition along the east side. |              |                 |
| CONDITION  | Good   | INTEGRITY    | Moderate degree |
|  |  | AUTHENTICITY | Moderate degree |

**SHIRE OF GINGIN**

**HERITAGE INVENTORY REVIEW 2017**

**HISTORICAL NOTES**

The railway opened from Midland to Gingin in 1891 and continued through to Mogumber in 1892 and then beyond to Geraldton. By 1902, the town was developing rapidly and the Gingin Hotel was constructed directly opposite the railway station providing a distinct advantage over the Granville Hotel. It opened on 29 January 1903. Rumour has it that two defrocked priests (Fathers Duff and Flood) were the responsible. The original licensee was Mrs Catherine Malone, with her brother Patrick Murphy taking over after her sudden death in 1905. The Granville Hotel still had the business of providing refreshments for the train railway patrons. However new management in 1908 at Gingin Hotel, William Spence (from Miners Arms in Northampton) rivalled that business. In the mid 1920s, the wealthy northwest pastoralist John Musk purchased the hotel, in order to replace the lessee at the time with JVA Jones' son Tom as Manager, after he had returned from World War One. After John Musk's death in 1921, his wife Catherine took over his estate. The trains continued to provide hotel patronage for refreshments and accommodation until the mid 1940s, although railway patronage diminished after that time.

**LISTINGS**

State Heritage Office InHerit Database No. 1079

Shire of Gingin: Municipal Inventory TPS 1994, 2005 Place No. 3.14

**SUPPORTING INFORMATION/BIBLIOGRAPHY**

Municipal Heritage Inventory of Heritage Places 2005

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

GRANVILLE

Homestead (fmr) & PARK

Place No: 10

B: Considerable significance

Heritage List: TPS: Development Application.



|               |                                    |      |              |
|---------------|------------------------------------|------|--------------|
| Name of Place | GRANVILLE (HOMESTEAD (fmr) & PARK) |      |              |
| Address       | 10 Weld Street                     |      |              |
| Suburb/Town   | GINGIN                             |      |              |
| Reserve No:   | Lot 282                            | Plan | C.T. Vol Fol |

STATEMENT OF SIGNIFICANCE

Granville is a surviving example of the early development in Gingin townsite and associations with the community identity of the TJ Jones and family, and the hospitality function of social significance and for the people who stayed there. The building set in the undulating grassed banks of Gingin Brook, featuring the water wheel, is a landmark in Gingin and makes a considerable contribution to the historic townscape.

GRADING B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve

|                         |   |
|-------------------------|---|
| Original Uses           | Hotel, accommodation                                  |
| Present Uses            | CU@Park Café, public park                             |
| Other Uses              | Residence, community facility, Arts and Crafts centre |
| CONSTRUCTION DATES:     | c.1860, c.1871, c.1895 (demolished 1969)              |
| CONSTRUCTION MATERIALS: |   |

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

|   |                                 |  |
|---|---------------------------------|--|
| Walls   | Mud brick & face brick          | Painted/rendered                                       |
| Roof  | Corrugated Zincalume sheeting   |  |
| Other   | Steel framed skillion structure |  |
| ARCHITECTURAL STYLE:  | Vernacular                      |  |
| <b>DESCRIPTION</b> The remaining building are likely remnants of the c.1860 and c.1971 buildings. Set in undulating park land sloping down to Gingin Brook to the north, the Weld Street frontage of the building has a gable wall and the expansive skillion shade structure. Behind that is the remainder of the "L" form plan. That evidences a gable to the north elevation with break pitch enclosure both sides.  |                                 |  |
| CONDITION   | Good                            | INTEGRITY High degree AUTHENTICITY Low/moderate degree |
| <b>HISTORICAL NOTES</b>   |                                 |  |
| <p>Thomas James (TJ) Jones lived in Weld Street and had Mr Cartmell build the hotel and residence over the road. South of the Gingin brook. The first structure was mudbat, two rooms facing Weld Street with services at the back and a cellar on the north side, operating as an inn and his residence. It is unsure if it was named Granville at that time. In 1869, the Government Gazette proclaimed the townsite named Granville, perhaps the Hotel was consequently so named. In December 1871, the town was proclaimed as Gingin. Jones had been pressured to construct a suitable building on the site as a condition of attaining the Inn keepers Licence in 1872. In c.1871 the southern wing comprising four large rooms was added, constructed in burnt bricks and corrugated iron. Liquor had been for sale for some time operating as the Granville Hotel (wayside inn). In 1885 TJ Jones died and his son James Vigors Aldred (JVA) Jones took over with his wife Emma (Clinch). In 1893, (JVA) Jones was elected to the inaugural Gingin Road board (1893-1896, 1900-1901, 2001-2016, 2019,2020, 2023-2029) and the inaugural meeting was at the Granville Hotel. In c.1895 a detached brick and iron on the north side served as the kitchen, dining room and two bedrooms. On the south side of the brook was the orchard and vegetable garden that provided fresh produce to the hotel and Mrs Jones catering to the railway refreshment rooms. After JVA Jones death in 1929, the property was administered by WA trustees and sold over a number of years. The property change hands a few times until 1969 when the Gingin Shire purchased it, demolishing the north wing, and a rear veranda. The remainder was renovated as an Arts and Crafts Centre between 1978 and 2003. The Shire leases the building to the successful café operators.</p> |                                 |  |
| <p>The Water wheel is a feature located at the edge of Gingin Brook that runs through Granville Park. A replica of the flour mill established at Cheriton Farm in 1855, the original axle was restored and relocated to this site by Frank Butler for the Shire in 1978. In 2012 members of Gingin's Mens Shed rebuilt the timber section of the water wheel.</p>   |                                 |  |
| <b>LISTINGS</b>   |                                 |  |
| State Heritage Office InHerit Database No. 1084 Homestead assessed for Register - below threshold 2013<br>Granville Park No 17821   |                                 |  |
| National Trust of WA classified 1978  |                                 |  |
| Register of National Estate 1982  |                                 |  |
| Shire of Gingin: Municipal Inventory 2005   |                                 |  |
| <b>SUPPORTING INFORMATION/BIBLIOGRAPHY</b>  |                                 |  |
| Udell, H., <i>A History of Gingin 1830-1960</i> . Shire of Gingin, 1980.  |                                 |  |



SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## UNITING CHURCH

Place No: 11

B: Considerable significance

Heritage List TPS: Development Application.



|               |                                      |         |              |
|---------------|--------------------------------------|---------|--------------|
| Name of Place | UNITING CHURCH                       |         |              |
| Address       | Weld Street, corner of Church Street |         |              |
| Suburb/Town   | GINGIN                               |         |              |
| Reserve No.   | Lot                                  | Diagram | C.T. Vol Fol |

## STATEMENT OF SIGNIFICANCE

Uniting Church is of significance for the associations with the Wesleyan (Methodist) and Uniting Churches communities in the Gingin area. The Church has social and religious significance for the events that have taken place that also evoke a sense of place.

|   |                              |  |  |
|---|------------------------------|--|--|
| <b>GRADING B:</b> Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve.   |                              |  |  |
| Original Uses   |                              | Methodist Church                         |  |
| Present Uses  |                              | Church                                   |  |
| Other Uses  |                              |  |  |
| <b>CONSTRUCTION DATES:</b>  |                              | 1870, Manse 1914-1969                    |  |
| <b>CONSTRUCTION MATERIALS:</b>  |                              |  |  |
| Walls   | Brick                        | Rendered & painted                       |  |
| Roof  | Shingles                     | New                                      |  |
| Other   |                              |  |  |
| <b>ARCHITECTURAL STYLE:</b>   |                              |  |  |
| <b>DESCRIPTION</b> The Church is a simple rectangular form with an enclosed entry porch at the Weld Street entry (west). The roof is a steep pitch gable clad with recent shingles. The porch has a simple gable of same degree. The windows and double front doors are detailed with Gothic arches. There is a steel framed and clad addition across the rear of the church building.  |                              |  |  |
| <b>CONDITION</b> Good   | <b>INTEGRITY</b> High degree | <b>AUTHENTICITY</b> Moderate/high degree |  |
| <b>HISTORICAL NOTES</b>   |                              |  |  |
| In 1868 Thomas James Jones gifted part of Swan Location 262 for the Wesleyan Church. Charles Masters constructed the church, getting the clay for the bricks from the gully across Weld Street. After completion in 1870, visiting clergyman Reverend McInnes conducted the services. In 1897, the first resident missionary, Walter Prior, was appointed. The Reverend Henry Robins was the first ordained Minister appointed in Gingin. In 1914 the manse was constructed behind the church, facing Church Street, (demolished 1969) and there was a tennis court between the house and railway line. Between c.1915-1919 sisters Elsie and Ruth Rudeforth were the appointed Ministers of the congregation as lay preachers. In 1953, Missioner Creagh left the district. He was the last resident Minister. |                              |  |  |



**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

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| <b>LISTINGS</b>                                      |
| State Heritage Office InHerit Database No. 1086      |
| National Trust Classified 1978                       |
| Register of the National Estate 1982                 |
| Shire of Gingin: Municipal Inventory TPS 1996, 2005  |
| <b>SUPPORTING INFORMATION/BIBLIOGRAPHY</b>           |
| Municipal Heritage Inventory of Heritage Places 2005 |

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## ORANGE SPRINGS

Place No: D7

Grade B: Considerable significance

Heritage List TPS: Development Application.

NO SITE INSPECTION IN 2016

|               |                         |              |      |         |
|---------------|-------------------------|--------------|------|---------|
| Name of Place | ORANGE SPRINGS          |              |      |         |
| Address       | 706 Orange Springs Road |              |      |         |
| Suburb/Town   | COWALLA                 |              |      |         |
| Reserve No:   | Lot                     | Plan/Diagram | C.T. | Vol Fol |

## STATEMENT OF SIGNIFICANCE

Orange Springs is a representative example of a relatively intact mud brick house of the 1890s, that demonstrates the community spirit, and the commemoration of the loss of family members.

GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain &amp; conserve.

|   |                            |        |                     |
|---|----------------------------|--------|---------------------|
| Original Uses   | Residence                  |        |                     |
| Present Uses  | Residence                  |        |                     |
| Other Uses  |                            |        |                     |
| CONSTRUCTION DATE:  | 1893                       |        |                     |
| CONSTRUCTION MATERIALS:   |                            |        |                     |
| Walls   | Mud brick                  |        |                     |
| Roof  | Corrugated iron            |        |                     |
| Other   |                            |        |                     |
| ARCHITECTURAL STYLE:  | Vernacular                 |        |                     |
| DESCRIPTION   | NO SITE INSPECTION IN 2016 |        |                     |
| Single storey mud brick with a hipped roof with break pitch verandas to three sides. There is a headstone that commemorates Mary Hatch 29 March 1901 aged 70, and her two Andrews grandchildren; Ellen aged 4 years, and Edward aged 1.5 years who died on 15 and 17 March 1901 respectively. |                            |        |                     |
| CONDITION   | INTEGRITY                  | degree | AUTHENTICITY degree |

## HISTORICAL NOTES

Orange Springs was established by William and Sara Andrews who built a small house in 1882 after getting married. In 1893, Joseph Harris built the existing house for the Andrews. The Andrews lived and farmed in priority to Sara's parents William & Mary Hatch at Fernwood, and Uncle and Aunty William and Ann Bayliss at Bulgurra. In 1930 Andrews sold to Reg Darch who lived and farmed with his family until 1958 when it was sold to Harry Spurge.

## LISTINGS

State Heritage Office Database No. 11800  
Shire of Gingin: Municipal Inventory TPS 1998 Place No. 2.4

## SUPPORTING INFORMATION/BIBLIOGRAPHY

Municipal Heritage Inventory of Heritage Places 2005.

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## CLEVELAND

Place No: D8

GRADE B: Considerable significance

Heritage List TPS: Development Application.

NO SITE INSPECTION IN 2016

|               |                   |              |              |
|---------------|-------------------|--------------|--------------|
| Name of Place | CLEVELAND         |              |              |
| Address       | Mooliabeenie Road |              |              |
| Suburb/Town   | GINGIN            |              |              |
| Reserve No:   | Lot 12            | Plan/Diagram | C.T. Vol Fol |

## STATEMENT OF SIGNIFICANCE

Cleveland is significant as the site of the original c.1867 homestead built by William Thomas King, providing a home for his wife and family of ten children, demonstrating a way of life and associations with an early settler. Associations with John Musk who constructed the existing Cleveland in c.1907, that his wife Catherine Musk inherited in 1921 are significant. Mrs Musk was a philanthropic identity in the Gingin area, and Cleveland represents a fine example of the period and the Musk association. The World War Two association as or being utilised as a Military Hospital is significant.

|  |                                |        |                     |
|--|--------------------------------|--------|---------------------|
| GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain & conserve.   |                                |        |                     |
| Original Uses  | Residence                      |        |                     |
| Present Uses   | Residence                      |        |                     |
| Other Uses   |                                |        |                     |
| CONSTRUCTION DATE:   | c. 1867 (original site) c.1908 |        |                     |
| CONSTRUCTION MATERIALS:  |                                |        |                     |
| Walls  | Mud bricks                     |        |                     |
| Roof   |                                |        |                     |
| Other  |                                |        |                     |
| ARCHITECTURAL STYLE:   |                                |        |                     |
| DESCRIPTION  | NO SITE INSPECTION IN 2016     |        |                     |
| The site of the original homestead is on the north side of Mooliabeenie Road opposite the existing Cleveland. The original house was built of mud bricks plastered with lime mortar, with three rooms in a row. On the west wall was a fireplace lined with burnt bricks. Later other rooms were added, built with yellow burnt bricks made from clay dug on the property. It stood on an elevated terrace supported by an ironstone wall. There was also a well, lined with ironstone. It was severely damaged in 1944- ruins remain? |                                |        |                     |
| No inspection of Cleveland in 2016   |                                |        |                     |
| CONDITION  | INTEGRITY                      | degree | AUTHENTICITY degree |

|  |
|--|
| HISTORICAL NOTES   |
| William Thomas King bought Swan location 444 of 75 acres in February of 1867. He married Selina Lazenby, a Gingin school teacher, in 1865. There were ten children born here. In 1896 Ernest Hugh King bought Cleveland from his father for 2,000 pounds. In 1905 it was sold to C.H. Teague from Subiaco for 1,138 pounds. Then in 1907, the property was sold to John Musk who built a new home on the south side of Mooliabeenie Road. The original Cleveland house was badly damaged by a storm in 1944.   |
| John Musk, a wealthy grazier from the northwest of W.A bought the property in 1907 and employed Jack Meakins and Bob Collett to make the mud bats. This large house was built with wide verandahs overlooking the Moondah Valley. John Musk died in 1921 and his wife Catherine, who also largely financed Boys' Town at Bindoon, inherited the property. The farm was sold in the 1930's to the Petersons of Northam and then to Les Payne in 1952. It was taken over as a Military Hospital during the Second World War. Mr. M. Williamson and T.M. Watson bought the house and renovated it in 1969. It was then purchased by Charles Turner in 1975 and lived in by members of the Turner family who still owned it in 2005. |

|  |
|--|
| LISTINGS   |
| State Heritage Office Database No. 17715 (original site 17885) |
| Shire of Gingin: Municipal Inventory TPS 1998 Place No. 3 10   |
| SUPPORTING INFORMATION/BIBLIOGRAPHY                            |
| Municipal Heritage Inventory of Heritage Places 2005.          |

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## BEEDAMANUP HOMESTEAD

Place No: D9

GRADE B: Considerable significance

Heritage List TPS: Development Application.

NO SITE INSPECTION IN 2016

|               |                      |              |      |         |
|---------------|----------------------|--------------|------|---------|
| Name of Place | BEEDAMANUP HOMESTEAD |              |      |         |
| Address       | Gingin Brook Road    |              |      |         |
| Suburb/Town   | GINGIN               |              |      |         |
| Reserve No:   | Lot                  | Plan/Diagram | C.T. | Vol Fol |

## STATEMENT OF SIGNIFICANCE

Beedamanup Homestead is significant for its association with John Dewar, his son, and grandson, and for the social significance of having been a wayside inn.

GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain &amp; conserve.

|   |                 |        |                     |
|---|-----------------|--------|---------------------|
| Original Uses   | Dewar Homestead |        |                     |
| Present Uses  | Vacant?         |        |                     |
| Other Uses  |                 |        |                     |
| CONSTRUCTION DATE:  | ?               |        |                     |
| CONSTRUCTION MATERIALS:   |                 |        |                     |
| Walls   |                 |        |                     |
| Roof  |                 |        |                     |
| Other   |                 |        |                     |
| ARCHITECTURAL STYLE:  |                 |        |                     |
| DESCRIPTION   |                 |        |                     |
| NO SITE INSPECTION IN 2016  |                 |        |                     |
| It has been as described as Colonial Georgian with walls of a form of Casuarina stone, which was mined nearby. There are three big chimneys of stone and the roof was originally shingled. There are six big rooms upstairs and six downstairs with a simply constructed staircase in the center. Out buildings included a cellar, dairy, stables, and blacksmith's shop, stockyards and cow bails. One room upstairs in the northeast corner had no windows so as to exclude thieves from stores kept there. |                 |        |                     |
| CONDITION   | INTEGRITY       | degree | AUTHENTICITY degree |

## HISTORICAL NOTES

A substantial two-storey home was built for John Dewar on the Dewar Flats and is believed to have been used as an Inn, as well as a farmhouse, as it stood on the main track north from Gingin. After the death of John Dewar in 1911, the house and surrounding land was inherited by his son and later his grandson, Maitland Dewar.

## LISTINGS

State Heritage Office Database No. 1087  
National Trust classified 1977  
Register of National Estate 1980  
Shire of Gingin: Municipal Inventory TPS 1998. Place No. 3.4

## SUPPORTING INFORMATION/BIBLIOGRAPHY

Municipal Heritage Inventory of Heritage Places 2005.

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## CHERITON

Place No: D10

Grade B: Considerable significance

Heritage List TPS: Development Application.

NO SITE INSPECTION IN 2017

|               |   |              |          |     |
|---------------|---|--------------|----------|-----|
| Name of Place | <b>CHERITON</b><br>Site of original dwelling<br>Homestead (former Gooch House)<br>Manager's cottage |              |          |     |
| Address       | 183 Cheriton Road   |              |          |     |
| Suburb/Town   | GINGIN  |              |          |     |
| Reserve No:   | Lot   | Plan/Diagram | C.T. Vol | Fol |

## STATEMENT OF SIGNIFICANCE

Cheriton is significant for the associations with Brockman and the northwest syndicate, that included Gooch who had the residence and managers quarters designed by prominent Architects, Oldham, Boas and Edney-Brown. The residences represent fine examples of the Architect's work of the period, and demonstrate a way of life no longer practiced.

GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain &amp; conserve.

|  |           |        |                     |
|--|-----------|--------|---------------------|
| Original Uses  |           |        |                     |
| Present Uses   |           |        |                     |
| Other Uses   |           |        |                     |
| CONSTRUCTION DATE:   | c.1903    |        |                     |
| CONSTRUCTION MATERIALS:  |           |        |                     |
| Walls  |           |        |                     |
| Roof   |           |        |                     |
| Other  |           |        |                     |
| ARCHITECTURAL STYLE:   |           |        |                     |
| DESCRIPTION  |           |        |                     |
| NO SITE INSPECTION IN 2017   |           |        |                     |
| The main residence is reported to be a two storey masonry structure with a simple hipped roof, the manager's cottage is a single storey building with a hipped roof. |           |        |                     |
| CONDITION  | INTEGRITY | degree | AUTHENTICITY degree |

## HISTORICAL NOTES

Cheriton was originally settled by WL Brockman, later a syndicate of northwest pastoralists acquired the property. Comprising Gooch, Harper, Edgar and Wedge, it was Gooch who built the main residence and the managers cottage. Materials from an original house that was located close to Gingin Brook, were used in the construction. It is considered that Architects Oldham, Boas and Edney-Brown designed both places.

## LISTINGS

|  |
|--|
| State Heritage Office Database Nos. 17899 Site of original dwelling; 3404 Homestead (former Gooch House); and, 17816 Manager's cottage |
| Shire of Gingin: Municipal Inventory TPS 1998 Place Nos 3.7, Homestead and 3.8 Manager's cottage                                       |

## SUPPORTING INFORMATION/BIBLIOGRAPHY

|   |
|---|
| Municipal Heritage Inventory of Heritage Places 2005. |
|---|

SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## DOWNA (house &amp; graveyard)

Place No: D11

GRADE B: Considerable significance  
Heritage List TPS; Development Application.

|               |   |              |      |         |
|---------------|---|--------------|------|---------|
| Name of Place | DOWNA (House and graveyard)                                     |              |      |         |
| Address       | 7 Gingin Brook Road at Nolan's Bridge nr Military Road junction |              |      |         |
| Suburb/Town   | NEERGABBY   |              |      |         |
| Reserve No:   | Lot   | Plan/Diagram | C.T. | Vol Fol |

## STATEMENT OF SIGNIFICANCE

Downa is significant for the associations with early settlers Edmund and Mary Dooling, establishing their home as early as c.1874 and installing a public phone in 1929, also operating the phone exchange until 1946. The place demonstrates a sense of place for recent uses as a tearooms and caravan park.

GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain &amp; conserve.

|  |                                   |              |                 |
|--|-----------------------------------|--------------|-----------------|
| Original Uses  | Dooling's residence               |              |                 |
| Present Uses   | Willowbrook Farm, caravan park    |              |                 |
| Other Uses   | tearooms                          |              |                 |
| CONSTRUCTION DATE:   | c.1874                            |              |                 |
| CONSTRUCTION MATERIALS:  |                                   |              |                 |
| Walls  | Rendered mud brick                |              |                 |
| Roof   | Painted corrugated iron           |              |                 |
| Other  |                                   |              |                 |
| ARCHITECTURAL STYLE:   | Vernacular                        |              |                 |
| DESCRIPTION Set in landscaped gardens, the homestead is apparent by the two substantial rendered chimneys along the ridgeline of the original building. Additions and alterations are apparent but the fabric and form of the building remains. The three headstones are grouped together within a small picket fenced area. |                                   |              |                 |
| CONDITION Good   | INTEGRITY Moderate to high degree | AUTHENTICITY | Moderate degree |

## HISTORICAL NOTES

Edmund and Mary Dooling bought the Swan locations, 545, 547 & 551 in the 1860's and they named their land "Downa." In c.1874, they engaged a professional builder, probably Matt Wallis who had built the Junction Hotel the year before, to erect a substantial mud bat shingle roofed house.

After the deaths of Edmund Dooling in 1894 and his wife in 1912, Michael Nolan who had married their daughter, Annie Dooling, acquired the property. They settled at Downa in 1913. A public telephone was installed at Downa on the 15th March 1929. Miss Nolan operated the telephone exchange from this date until May 1946 when the Manual Exchange closed.

Up until recently the property was ran by Kaye and Harry White as tearooms and gardens. Later it has been operated as a Caravan Park and Gardens and is now called "Willowbrook Farm."

**SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017**

|   |
|---|
| <b>LISTINGS</b>                                       |
| State Heritage Office Database No. 3723               |
| National Trust classified 1978                        |
| Shire of Gingin: Municipal Inventory TPS 1998         |
| <b>SUPPORTING INFORMATION/BIBLIOGRAPHY</b>            |
| Municipal Heritage Inventory of Heritage Places 2005. |



SHIRE OF GINGIN  
HERITAGE INVENTORY REVIEW 2017

## PWD ROAD

Place No: D12

Grade B: Considerable significance

Heritage List TPS: Development Application.

NO SITE INSPECTION IN 2016

|                   |  |              |              |
|-------------------|--|--------------|--------------|
| Name of Place     | PUBLIC WORKS DEPT (PWD) ROAD                 |              |              |
| Address           | Road No 10317 off Cowalla & Waterville Roads |              |              |
| Suburb/Town       | WANNERIE                                     |              |              |
| Reserve No: 46716 | Lot  | Plan/Diagram | C.T. Vol Fol |

## STATEMENT OF SIGNIFICANCE

PWD Road is a good example of a hand knapped and pitched road that demonstrates a technique no longer used, and the influences of the local action group, and politics.

GRADE B: Shire of Gingin 'Heritage List.' TPS: Development Application. Retain &amp; conserve.

|                            |                                       |        |                     |
|----------------------------|---------------------------------------|--------|---------------------|
| Original Uses              | Road                                  |        |                     |
| Present Uses               | Ungazetted road                       |        |                     |
| Other Uses                 |                                       |        |                     |
| CONSTRUCTION MATERIALS:    |                                       |        |                     |
| Other                      | Limestone quarried at "The Pinnacles" |        |                     |
| ARCHITECTURAL STYLE:       |                                       |        |                     |
| -                          |                                       |        |                     |
| DESCRIPTION                |                                       |        |                     |
| NO SITE INSPECTION IN 2016 |                                       |        |                     |
| CONDITION                  | INTEGRITY                             | degree | AUTHENTICITY degree |

## HISTORICAL NOTES

The PWD Road was constructed from Monument Hill to Greenwood prior to Cowalla Road. Constructed by Government unemployment relief works as a result of action by the Moore River and Gingin Brook Progress Association formed in 1922, to obtain a motor road to the Cowalla Bridge, for the river residents. Progress was halted when Government changed and was never completed.

## LISTINGS

State Heritage Office Database No. 17679  
Shire of Gingin: Municipal Inventory TPS 1998. Place No 1.11

## SUPPORTING INFORMATION/BIBLIOGRAPHY

Municipal Heritage Inventory of Heritage Places 2005.

**APPENDIX 2**

**HERITAGE INVENTORY REVIEW  
Final 2017****HERITAGE LIST**

The Heritage List proposal lists **23** places comprising 11 Grade A places that are State Registered, and 12 Grade B places that are of a high level of significance to the Shire of Gingin.

**GRADE A PLACES****Town**

- |   |  |              |
|---|--|--------------|
| 1 | Gingin Post Office                           | (Registered) |
| 2 | Gingin Railway Station & Quarters (fmr)      | (Registered) |
| 3 | Railway Hotel (fmr)                          | (Registered) |
| 4 | St Luke's Anglican Church, Cemetery & Belfry | (Registered) |
| 5 | St Luke's Rectory                            | (Registered) |

**District**

- |    |   |              |
|----|---|--------------|
| D1 | Cowalla Homestead Group, Cowalla                | (Registered) |
| D2 | Mogumber Mission (fmr) & Cemetery, Mindarra     | (Registered) |
| D3 | Moondah Homestead, Mooliabeenee                 | (Registered) |
| D4 | Old Junction Hotel, Neergabby                   | (Registered) |
| D5 | Old North Road Stock Route (Stage 1), Neergabby | (Registered) |
| D6 | Old Junction Bridge, Neergabby                  | (Registered) |

**GRADE B PLACES****Town**

- |    |                                      |
|----|--------------------------------------|
| 6  | Gingin War Memorial                  |
| 7  | Gingin Road Board office (fmr)       |
| 8  | St Catherine's Roman Catholic Church |
| 9  | Gingin Hotel                         |
| 10 | Granville                            |
| 11 | Uniting Church                       |

**District**

- |     |                                      |
|-----|--------------------------------------|
| D7  | Orange Springs, Cowalla              |
| D8  | Cleveland, Gingin                    |
| D9  | Beedamanup Homestead, Gingin         |
| D10 | Cheriton, Gingin                     |
| D11 | Downa House and graveyard, Neergabby |
| D12 | PWD Road, Wannerie                   |

**HERITAGE INVENTORY REVIEW  
Final 2017**

**GRADE C PLACES- NO IMPLICATIONS**

- 12 Philbey's Cottage
- 13 Mrs Jones' Cottage
- 14 Gingin School SITE
- 15 Gingin Cemetery
- 16 House, 7 Brook Street
- 17 Tippeton SITE
- 18 House, 6 Church Street
- 19 Gingin Agricultural hall SITE
- 20 Headmaster's House (fmr) CWA
- 21 Police Station SITE
- 22 The Horseshoe (Police Paddock) SITE
- 23 Ashworth Cottage
- 24 House, 15 Constable Street
- 25 House, 4 Daw Street
- 26 Gingin Golf Club
- 27 House, 17 Fraser Street
- 28 House, 21 Fraser Street
- 29 House, 2 Lefroy Street
- 30 House, 10 Lefroy Street
- 31 House, 38 Lefroy Street
- 32 Gingin Oval & swimming pool
- 33 Three Bridges SITE
- 34 Linden Park
- 35 Good Templars Hall SITE

**District**

**BAMBUN**

- D13 Bambun Lake SITE

**BEERMULLAH**

- D14 Beermullah Race Course SITE
- D15 Beermullah School SITE
- D16 Harris House

**COWALLA**

- D17 Limestone caves SITE
- D18 Bandy's Cottage & Swamp garden SITE
- D19 Old Bridge SITE
- D20 Fernwood SITE
- D21 Moore River School

**GINGIN**

- D22 Chitna

**HERITAGE INVENTORY REVIEW  
Final 2017**

- D23 Honeycomb
- D24 Dacresfield SITE
- D25 Ralph Dewar's Home SITE
- D26 WS Dewar's Home SITE
- D27 Strathalbyn
- D28 Whakea, Ginginup
- D29 Mount Ginginup SITE,
- D30 Molecap Hill Quarry SITE
- D31 Charlton's Mill SITE
- D32 Creaton SITE
- D33 Eclipse Hill SITE
- D34 One Tree Hill SITE
- D35 Gingin Race Course SITE
- D36 Casuarina stone quarry SITE

**GUILDERTON**

- D37 Guilderton Caravan Park
- D38 Caraban
- D39 Boobabbie Crossing SITE
- D40 Tuppin House
- D41 Creek House SITE

**LANCELIN**

- D42 Lancelin Scout Hall
- D43 Lancelin School (fmr) Surf Shack
- D44 Our Lady of Fatima Church
- D45 Lancelin jetty
- D46 Plaque Frederick Smith
- D47 Lancelin Sand dunes SITE
- D48 Timothy's Clump SITE, Ocean Farm

**LENNARDS BROOK**

- D49 Ashby
- D50 Cockram's Hotel SITE

**MOOLIABEENIE**

- D51 Army Camp SITES
- D52 Mooliabeenie Townsite SITE

**MOORE RIVER**

- D53 Bulgurra SITE

**NEERGABBY**

- D54 Junction Hall SITE
- D55 Woodloes SITE
- D56 Nolan's Bridge SITE

**HERITAGE INVENTORY REVIEW  
Final 2017**

WANNERIE

- D57 Greenwood
- D58 Millbank SITE
- D59 Horseworks Flour Mill

**APPENDIX 3**



## SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

### GINGIN HERITAGE LIST REVIEW

| No. | Submitter                         | Submission Detail   | Recommended Response  |
|-----|-----------------------------------|---|---|
| 1.  | Ratepayer<br>(Old Junction Hotel) | <p>The Submitter makes the following comments regarding the Heritage Review List:</p> <p><i>How wonderful for the community to upgrade the listing of "the old place", to A. A struggle from the rejected shell I purchased (Freehold).</i></p> <p><i>The 'Offer and Acceptance' on purchase through local agent Adam Shields had the restrictions and listing of WA Heritage Council of which I am currently working under. The purchase agreement was to restore the building from decay with the guidelines of the Architects Hocking and Associates (Hocking Report) quite an extensive report. I have completed most things it goes to 5 years. The current preserve will be as is with no applications for building alterations applied for;</i></p> <p><i>As a footnote: I refuse to "Americanise" with American "Red Wood" shingles. I have laid shingles it is a very easy thing to do with modern equipment. The process should not be exaggerated by the restoring contractor or be told Sheoak shingles are not available (best, resistant for weather and termite attack, treated epoxy should see 80+ years). The building has Jarrah re-roof shingles under the custom orb tin roof which was done poorly splitting many internal battens, but I guess was wonderful in the day to have it clad to preserve the underlying. I have engineering experience from a period in the tool shop making die sets for Sun Industries Pty Ltd. There is plenty of sheoak trees in the South West forests. 300mm cut logs is not the problem; it is building a mechanical</i></p> | <p>Noted.</p> <p>If this is a submission regarding the Old Junction Hotel, it is already State registered. The proposed listing to a Category A changes nothing other than correct the Shire of Gingin's record which is important as the Shire has an obligation to refer any developments to the State Heritage Office.</p> <p>It was State registered in 2000. The owner is obviously aware of that situation given a Heritage Agreement when purchased,</p> <p>Unless the roof replacement with shingles was in the Heritage agreement that the owner has agreed to, there would be no requirement to re-roof the roof with shingles. The Conservation plan guides the heritage agreement, and the opportunity for funding assistance from the State Heritage Office.</p> <p>Funding is available for applications NOW: closes on 30 October.</p> <p>Happy to follow up with the owner should he require any assistance or advice... no charge.</p> |

|    |                                  |   |   |
|----|----------------------------------|---|---|
|    |                                  | <p>splitter for the numbers required AND DOING IT.</p> <p>The roof may be several years down the track.</p> <p>I have applied for a grant from the Heritage Council WA to repair highway damage on the external walls. If approved your office will be notified.</p> <p>There is no point having an "A" grade-listed pile of rubble! This is not a joke (Vibration damage); I know the main shaking is from the square wheels of the overweight mining sands vehicles from Lancelin. Sleeping in the far bedrooms you can feel this happen! Speed reduction signs on the bend with a brown heritage sign would gain respect and help the problem. I do not like signs but some are more important.</p> <p>I live in the valley here at Gabby (not Harper) and do not plan on jumping off the Kallahatchi bridge (Junction) just yet! Thank you.</p>                                       | <p><b>Recommend.</b><br/><b>Retain proposed A Category listing.</b></p>   |
| 2. | Ratepayer<br>(Caraban Homestead) | <p>The Submitter <b>does not support</b> the Heritage Review List and makes the following comments:</p> <p><i>With respect, we write to object to the proposed Heritage Listing of Caraban Homestead. We understand and agree with the intent of heritage listing to protect buildings of significant historical value to the community for future generations and conserve connections to the past. It is not our intent to disregard this admirable goal.</i></p> <p><i>We now have eight generations of the King family attached to Caraban Farm – a rare history in Australia. The Homestead has enormous family history and sentimental value to us – it is our heritage.</i></p> <p><i>Some of our ancestors (King, Jones, Gee) arrived in Western Australia in 1829. Our great, great grandfather, Richard King, arrived along with his son Daniel King, who was our great</i></p> | <p>Noted</p> <p>A site visit was undertaken.</p> <p>In my opinion although it has significant historical significance the fabric of the place is very deteriorated and will require considerable intervention to fully restore and conserve for the future. The owners are invested in that future.</p> <p><b>Recommend:</b><br/><b>Amend to C category with the note that it is of historical significance worthy of B category recognition.</b></p> |

|  |  |  |
|--|--|--|
|  | <p><i>grandfather, circa 1844. Soon after, Daniel took up extensive pastoral leases in the Moore River area and took title to our present farm blocks circa 1864-1870. His son, Stanley King (our grandfather), inherited six forty acre blocks along the river and commenced building his mud brick home, Caraban, on the riverbank Lot 925 circa 1904. Seven of his ten children were born in that house. The other three were born in the area.</i></p> <p><i>The current owners of Lot 925 with the Caraban Homestead, Paul and Kim Watters and Shannon Farmer, are grandchildren of Stanley and Clara King. Their mothers, Betty Walters (nee King) and Kaye Farmer (nee King) were both born in the old house. Shannon spent his formative years in the old house and the house adjacent. He attended Gingin Primary School. Kaye Farmer died 27 May 2017 aged 93 years. She lived there up to the time just prior to her death. In her later years, we recorded on video her walking through the old house explaining the history and uses of all the rooms. We also videoed her walking along the length of the river running through the farm, explaining the names and history of each section of the river. She documents their early life on the farm in other videos. This demonstrates our track record and commitments to preserving our family history including the old Caraban Homestead, and our unique position to do so.</i></p> <p><i>The listing of Caraban Homestead on the Heritage List so as to 'retain and conserve' matches our personal commitment to retain, conserve and use what is to us an invaluable piece of our family history and culture. However, we believe that the common goal of preserving this Homestead is better served, for the moment, by <b>not</b> being heritage listed. Rather, we propose it is better left unencumbered in the hands of those who love and cherish it and to whom it has enormous sentimental value. Heritage listing will simply make what we have done to this point, and are determined to continue doing, more onerous, cumbersome and costly (some extra costs obvious, others unexpected and considerable). The</i></p> |  |
|--|--|--|

|  |  |  |
|--|--|--|
|  | <p><i>controls of heritage listing are potentially open to future abuse. The bureaucratic nature of heritage listing can also take away some of the joy and love of caring for a place that is valued and cared for from the heart.</i></p> <p><i>Professor John Kotter, an internationally renowned change management expert from Harvard University stresses in his literature that if you are ever to motivate corporations, organisations and individuals you must touch the heart.<sup>3</sup> Bureaucracy and legislation never touches the heart. It can force people to do things, which can ultimately result in stifling initiative and killing motivation. We have far greater "heart" motivation to "preserve and conserve" Caraban Homestead than any heritage listing or legislation could ever achieve. Caraban has enormous sentimental value to the current owners. We have a track record of preserving it and it is our plan to not only conserve and preserve to return it to a comfortable habitable state for ourselves while preserving where possible its originality.</i></p> <p><i>A quick search reveals how burdensome heritage listing can be to owners. Some have turned to the media to make their case. We would not want to get into such an adversarial position in caring for a cherished and precious piece of our family history.</i></p> <p><i>If the real motive of heritage listing is to conserve and preserve then that result will be best achieved, in this instance, in the unencumbered hands of those who love and cherish this place and are motivated by strong sentimental attachment to the home where our parents were born. It is our personal commitment and determination to honour our family history by conserving and preserving this house.</i></p> <p><i>Therefore, for the reasons presented, we request that Caraban be removed from the Heritage Listing (Grade B). However, we would welcome a downgrading from Heritage Listing Grade B to Heritage</i></p> |  |
|--|--|--|

|    |   |  |   |
|----|---|--|---|
|    |   | <p><i>Inventory Grade C, to allow record and recognition of Caraban Homestead's heritage value within the Shire of Gingin.</i></p> <p>1. Kotter J, Cohen D. The Heart of Change. Boston: Harvard Business School Press; 2002</p>   |   |
| 3. | Ratepayer<br>(Railway Hotel<br>(fmr) Dewar's<br>House ) | <p>The Submitter <b>does not support</b> the Heritage Review List and makes the following comments:</p> <p><i>In regard to the heritage listing of the Railway Hotel (fmr) Dewar's House to be classed as Grade A: Exceptional Significance. We DO NOT AGREE with this listing. The house is a family home and has been for the last 5 generations. This listing will cause unwanted stress and legalities for us in the maintenance and preservation of the home. From our understanding, the home is state listed and with upgrade in the classification that has been suggested, any maintenance done e.g. (exterior walls and roofing) from the information you have sent to us we would have to go through state heritage office as part of the development application process. We understand this Grade A classification for public buildings, but when you place it on a private dwelling that has been lived and owned by the same family for 5 generations it feels like we are being dictated on how we live in our own home. We have heard of people that have brought heritage listing homes and have had nothing but trouble and stress from the heritage council, something we do not want to participate. If the heritage council want to preserve and maintain private homes by placing a Grade A listing we suggest they give the home owner the option to participate or purchase the property if it is of exceptional significance to the state or leave us to live happily and privately in our own home.</i></p> | <p>Noted.</p> <p>Dewar's House is entered in the State Heritage Office's Register of Heritage Places (1998) and is therefore already an A category.</p> <p>A search of the Certificate of Title will show that there is a Memorial notice per the Register of Heritage Places.</p> <p>The proposed listing to A Category changes nothing other than correct the Shire of Gingin's record which is important as the Shire has an obligation to refer any developments to the State Heritage Office.</p> <p>Funding assistance is available through the State Heritage Office's funding program that is open for submission now. Applications close on 30 October.</p> <p><b>Recommend: Retain proposed A category.</b></p> |
| 4. | Ratepayer<br>(Philbey's<br>Cottage)                     | <p>The Submitter <b>does not support</b> the Heritage Review List and makes the following comments:</p> <p><i>In reply to your letter dated 12 June 2017 regarding moving Philbey's Cottage from a Category C to Category B Considerable significance.</i></p>   | <p>Noted.</p> <p>The owners have consistently objected to any implications of heritage recognition.</p> <p><b>Recommend that it be amended to a C</b></p>   |

|    |                                     |   |  |
|----|-------------------------------------|---|--|
|    |                                     | <p><i>While the Cottage is in my ownership, my intention is to maintain and enhance its character and heritage of the building. We intend to complete the revamping of the building when we continue with our plans to extend the rear as I outlined to you at our meeting at the Shire office. As you are aware, we have carried out extensive renovations already and it has come up a treat.</i></p> <p><i>My concern is by upping the category we run a risk of my plans being taken over by some person in heritage telling us what we can do and not do in the process burying us in red tape and the building will fall into disrepair.</i></p> <p><i>There are some examples of this that has already happened losing several very attractive places, as they are no longer looked after.</i></p> <p><i>As you can see by work already carried out that it has been improved dramatically. If anyone cares I have the photographic evidence of before and after.</i></p> <p><i>It should stay on the shire list of properties of note but I would like it to stay in <b>Category C</b> this does not draw unnecessary attention to the building and hopefully be able to complete planned improvements.</i></p> <p><i>I have a passion with old buildings and it concerns me when I see what heritage listing has done to some properties they just fall into a state of disrepair.</i></p> | category with the note that its significance is worthy of a B Category.  |
| 5. | Ratepayer<br>(Mrs Jones<br>Cottage) | <p>The Submitter <b>does not support</b> the Heritage Review List and makes the following comments:</p> <p><i>You would recall (Kylie) that on Tuesday 27 June I spoke at length with you regarding the heritage listing of a property I own at 3 Weld Street, Gingin – known as "Mrs Jones' Cottage" (Place No. 13). At point – the question posed to me is <b>"what is best for this</b></i></p>  | <p>Mrs Jones Cottage</p> <p>A site visit was undertaken.</p> <p>In my opinion although it has historical significance the original fabric of the place is minimal and has been impacted over the years</p> |

|  |   |   |
|--|---|---|
|  | <p><b>building?” – I believe, myself, for the following reasons:</b></p> <p><i>This building has been nominated at Category B, and is rated as of “Considerable significance”. During our conversation, you pointed out the pros and cons of heritage listing and certain paragraphs of your letter to me dated 12 June 2017.</i></p> <p><i>I thank you for your detailed information and also the fact that you gave me contact to your heritage consultant Ms Laura Gray. Late Friday, 30 June I spoke at length with Laura and outlined part of the following facts with her:</i></p> <ol style="list-style-type: none"> <li><i>1. I purchased this property in 1985 after it had been offered for sale for basically one year. The difficulty in selling this was of twofold – the state of the building totally – and the accumulated rubbish littered throughout the grounds of the property (in those days rubbish collection and disposal was not a Shire service – it was the owner's responsibility to take their rubbish to the tip). I guess this property had been marketed for a slightly longer than 12 months before I decided to buy it and retrieve this building to its near-original state as can be seen today, with <b>my time, my energy and my money</b>. With the above outline in place, I have now been requested to forward to the Shire and Heritage Group a submission as to why I am the most suitable person to continue this venture, which I regard as my hobby with this particular building.</i></li> </ol> <p><i>My submission follows on from the above.</i></p> <ol style="list-style-type: none"> <li><i>2. That I have a passion for my involvement in this building because of ghosts of the past creating this building's history.</i></li> <li><i>3. When I first approached the Shire with my overall view of this block, I requested that I build my current home to the East boundary on the North side, and not so noticeable to the</i></li> </ol> | <p>by various “improvements”. The current owner is in the process of restoring with the intention of having a viable building, but there is little to represent the original Mrs Jones Cottage.</p> <p><b>Recommend:</b><br/><b>Amend to C category with the note that it is of historical significance worthy of B category recognition.</b></p> |
|--|---|---|



|  |  |  |  |
|--|--|--|--|
|  |  | <p><i>untrained eye is that the footprint of my home is that of the footprint of Jones' cottage.</i></p> <p><i>Therefore, should the South side of Jones' Cottage face Weld Street; these two buildings would be a mirror image of each other. In addition, to complement age into my modern building as it standards, I designed cornice work into it with a subtle colour change to depict age. Additional to this I added a type of wrought-iron work along the verandah edge.</i></p> <p><i>From the Weld Street boundary, I constructed a lych without the centre stone, but with seating internal, then a broad footpath, which services both buildings, and in particular, I created a stepdown situation to my home across a Monet-type bridge and a step up to my front verandah to the main entrance door. Over and above this, I built a 2 metre rock waterfall to carry rainwater from the roofs of the three buildings on this land – Jones Cottage (North side), garage (West side), and my home (South side). The rainwater collection from these roofs is piped into a stone brook, which runs North for the width of my yard and drops into a well. During Summer months I can pipe this water back to the head of the waterfall, which drops 3 tiers into a pond, and a fourth tier into the stream – consequently my home is called "Brookside". I also built into my house, an ornate chimney using two chimney pots with another unusual feature to complement the chimney style on Jones' cottage.</i></p> <p>4. <i>In conjunction with building my home, I removed (from the rear of Jones Cottage) a wooden shed. The contact area to the ground, for the wooden posts had long since rotted away and the assembly was leaning badly and was close to collapse. In fact, what stopped this from happening was a large tree, which had grown through the structure and unfortunately at that time, had to be removed from the shed.</i></p> |  |
|--|--|--|--|

|  |  |  |  |
|--|--|--|--|
|  |  | <p><i>With that ground was cleaned up, and carted away by me, I then constructed (again with Shire approval) a 7.5m x 7.5m brick garage with gable roof, resembling what had been removed. This building I conveniently placed behind Jones' Cottage, so that it was not obvious from the road.</i></p> <p>5. <i>Please note – that from my purchase of this lot, in 1985, I personally built my home and the garage with the only help of outside trades being for plumbing and electrical work – and I sometimes employed a labourer to assist me, e.g. the roof structure and sheeting placement etc. In conjunction with, and prior to this construction time, I also cleaned up the yard with the help of my family, and then turned my attention to the building in question ("Jones' Cottage").</i></p> <p>6. "Jones Cottage"</p> <p><i>At this time the building in question was in a very dilapidated state – particularly the North wing and the Eastern section (the kitchen). There, floors, walls and roofing were in a state of collapse. The North wing, being constructed of timber/asbestos had suffered white ant damage to the timber structure, rising damp and dry rot. I removed this section of the building and rebuilt it with the modern materials to prevent any damage from these elements in the future. For the foundations, I created a concrete footing and raised from this, 3 courses of bricks with dampcourse. I then constructed a brick/veneer wall, with brickwork to the inside of the building and Hardiplank woodgrain fibro cement sheeting external with aluminium framed windows, to the outside, to bring this wing of the building in top plate height. A skillion roof was then constructed over this area, and sheeted with corrugated iron, as had been the original. The kitchen area (East end of the building), floor, ceiling and walls, are in a bad state and still yet to be retrieved.</i></p> |  |
|--|--|--|--|

|  |  |  |
|--|--|--|
|  | <p>7. <i>In the main core of the building (the large part of an L shape), which at one time embraced the lounge of the home, and a retail shop at the street end, I have (say) two thirds retrieved the walls and ceiling. The floor area had also been attacked by white ants and rising damp, to cause its collapse. I have removed this and I am currently working on its replacement. In this structure, I am using poly ground supports on concrete, to galvanised steel floor bearers to support a water and white ant proof flooring.</i></p> <p>8. <i>As will be noted, over the years of this buildings existence (constructed in 1864), and by a succession of previous owners, its integrity has been maintained to its external appearance, but there is little of the main fabric of this structure remaining because of renovations in less modern material by others, and deterioration of same. My renovations, when concluded in current day materials, will stand this building in long stead for the next 150 years. I point out that I have been long committed to this complex with a passion, because of the ghosts of the past, and as advised, I have exercised my time, my energy and my money into its preservation. When I have finished this building it is my intention to have it recognised (as it was in day one) as a retail/commercial outlet, and to further enhance the unique setting of the Granville Park area.</i></p> <p>9. <i>Based on the above submission, I contend that my building should not be considered as a Category B Heritage Listing – but still be recognised as having considerable significance, and because of what I have outlined, it be de-rated to a Category C listing. In stating this, I acknowledge that any major structural change would be under the guidance of engineering drawings to be recognised by the current building codes or health codes to those applicable to the Gingin Shire. I feel that because I have come this far with dedication to the cause, I would not readily embrace unnecessary dictation from an outside source,</i></p> |  |
|--|--|--|

|    |                                   |   |   |
|----|-----------------------------------|---|---|
|    |                                   | <p><i>and it must be recognised that the overall picture of the two buildings with now planted mature trees (crepe myrtles), and pyrostegia over the lych, with natural stonework, will be all-embracing.</i></p> <p><i>From day one, this building was on the point of being levelled, but after my discussions with the then current CEO (Mr Norm Wallace), the Council then granted permission for me to build the separate home on this lot, which I now occupy. This total involvement truly saved the life of "Jones' Cottage".</i></p> <p><i>10. It must be agreed that I am the best person to bring this project to a conclusion, in keeping with the fact that I have to devote time to create my living and that <u>time</u> is not truly the criteria with Jones' Cottage, but the quality of logic and restorative construction.</i></p> <p><i>11. My submission pertaining to the downgrading of this building to Category C rating is forthright and factual, and I appreciate</i></p> <p><i>12. that the point that buildings such as my "Jones' Cottage" should be saved from demolition. You would not understand, from the time of my ownership, I have worked toward this goal.</i></p> <p><i>However, all that to one side, I trust yourselves, being individuals, or a body, will view this application favourable because in another 150 years someone may be writing about my effort and achievement to a then 300-year-old building, due to the consideration I was given towards this project in the year 2017.</i></p> |   |
| 6. | Ratepayer<br>(Railway<br>Station) | <p>The Submitter makes the following comments regarding the Heritage Review List:</p> <p><i>Gingin Railway Station and Quarters Place No 2. Grade A. Please note List on State Heritage Office's 'Register of Heritage Places'.</i></p> <p><u>Present Uses as at July 2017</u></p>  | <p>Noted</p> <p>Railway station It is entered in the Register of Heritage Places (1998) and is therefore an A category.</p> <p>The proposed listing to A Category changes nothing other than to correct the Shire of Gingin's</p> |

|  |   |   |
|--|---|---|
|  | <p><i>The Gingin Railway Station is managed by the National Trust of WA and leased at present by the Lions Club Gingin/Chittering.</i></p> <p><i>The present use is A Community Railway Station open to the public.</i></p> <p><i>Other uses: Tourist Information in conjunction with the Gingin Community Resource Centre, Exhibition and display area, Café and Collectibles, Alpaca Shop and occasional markets in the ground.</i></p> <p><u>Construction Materials</u></p> <p><i>To change date of roof replacement to 2013 not 2000.</i></p> | <p>record which is important as the Shire has an obligation to refer any developments to the State Heritage Office.</p> <p><b>Recommend: Retain proposed A category listing</b></p> |
|--|---|---|

|    |   |   |  |
|----|---|---|--|
| 7. | National Trust of Western Australia (Railway Station) | <p>The Submitter makes the following comments regarding the above proposal:</p> <p><i>Thank you for the opportunity to comment on the review of the Shire of Gingin's Municipal Inventory and Heritage List.</i></p> <p><i>The National Trust of Western Australia received specific notice on three properties:</i></p> <ul style="list-style-type: none"> <li>- <i>Beedamanup Homestead;</i></li> <li>- <i>Gingin Roads Board Building; and</i></li> <li>- <i>Gingin Railway Station and Quarters (fmr)</i></li> </ul> <p><i>Only the Gingin Railway Station building is owned by the National Trust. This place is currently leased to the Gingin Lions club who have undertaken conservation work to the building and have opened to the public as a small café, gift shop and interpretive centre. The Historical Notes should be updated to reflect this information.</i></p> <p><i>The National Trust does not own or have responsibility for Beedamanup Homestead or Gingin Road Board Building.</i></p> <p><i>The National Trust of Western Australia's website is <a href="http://www.nationaltrust.org.au/wa">www.nationaltrust.org.au/wa</a>. Please ensure this is corrected on the FAQ handout.</i></p> | <p>Noted</p> <p>No change to Railway station recommendation. It is entered in the Register of Heritage Places and is therefore an A category.</p> <p><b>Recommend: Retain proposed A category.</b></p> |
|----|---|---|--|

# APPENDIX 4



**HERITAGE INVENTORY  
REVIEW 2017  
FINAL DRAFT**

**PROPOSED AMENDMENTS following public consultation**

**HERITAGE LIST**

**Category A places on State's Register of Heritage Places:**

|           |  |              | <b>RECOMMENDATION</b>  |
|-----------|--|--------------|--|
| 1         | Gingin Post Office                             | (Registered) | No submission- no change   |
| 2         | Gingin Railway Station & Quarters (fmr)        | (Registered) | Submission: amend place record accordingly   |
| <b>3</b>  | <b>Railway Hotel (fmr)</b>                     | (Registered) | Submission - object to Category A<br><b>Retain Category A</b><br>Reiterate that place is State Registered & therefore an A Grade.<br>Important for Shire records |
| 4         | St Luke's Anglican Church, Cemetery & Belfry   | (Registered) | No submission - no change  |
| 5         | St Luke's Rectory                              | (Registered) | No submission - no change  |
| D1        | Cowalla Homestead Group                        | (Registered) | No submission - no change  |
| D2        | Mogumber Mission (fmr) & Cemetery              | (Registered) | No submission - no change  |
| D3        | Moondah Homestead, Mooliabeenee                | (Registered) | No submission- no change   |
| <b>D4</b> | <b>Old Junction Hotel, Neegabby</b>            | (Registered) | Submission- object to Category A<br><b>Retain Category A</b><br>Reiterate that place is State Registered & therefore Category A.<br>Important for Shire records  |
| D5        | Old North Road Stock Route (Stage 1), Neegabby | (Registered) | No submission - no change  |
| D6        | Old Junction Bridge, Neegabby                  | (Registered) | No submission - no change  |

HERITAGE INVENTORY  
REVIEW 2017  
FINAL DRAFT

## Heritage List Category B places:

## Town

|               |                                      |  |
|---------------|--------------------------------------|--|
| 6             | Gingin War Memorial                  | No submission - no change  |
| <del>7</del>  | <del>Philbey's Cottage</del>         | <b>Submission- object to Category B</b>  |
|               |                                      | <b>Amend to Category C: Note that it is of cultural significance worthy of Category B recognition.</b> |
| 8             | Gingin Road Board office (fmr)       | No submission - no change  |
| 9             | St Catherine's Roman Catholic Church | No submission - no change  |
| 10            | Gingin Hotel                         | No submission - no change  |
| 11            | Granville                            | No submission - no change  |
| 12            | Uniting Church                       | No submission - no change  |
| <del>13</del> | <del>Mrs Jones' Cottage</del>        | <b>Submission- object to Category B</b>  |

**Amend to Category C: Note that it is of historical significance worthy of Category B recognition.**  
SITE VISIT: Primary significance is historical. The original fabric of the place is minimal and has been impacted over the years. There is little to represent the original Mrs Jones Cottage.

## District

|               |  |  |
|---------------|--|--|
| D7            | PWD Road, Wannerie                                 | No submission - no change  |
| D8            | Orange Springs, Cowalla                            | No submission - no change<br>No site visit in 2017: reliant on previous physical information             |
| <del>D9</del> | <del>Ashby, Lennard Brook</del>                    | No submission  |
|               |  | <b>No site visit in 2017: no information regarding physical evidence.</b>                                |
|               |  | <b>Amend to Category C: Note that it is of historical significance worthy of Category B recognition.</b> |
| D10           | Cheriton (Homestead and Manager's cottage), Gingin | No submission - no change  |

**HERITAGE INVENTORY  
REVIEW 2017  
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|   |  |
|---|--|
|   | No site visit in 2017: reliant on previous physical information  |
| <del>D11 Chitna, Neergabby</del>                    | <p>SITE PHOTOS of single storey cottage</p> <p><b>Amend to Category C: Note that it is of historical significance worthy of Category B recognition.</b></p> <p>SITE PHOTOS: Primary significance is historical. The photos show that the place is in poor/derelict condition.</p>  |
| D12 Cleveland, Gingin                               | <p>No submission - no change</p> <p>No site visit in 2017: reliant on previous physical information</p>  |
| <del>D13 Downa House and graveyard, Neergabby</del> | <p>No submission</p> <p><b>No site visit in 2017: no information regarding physical evidence.</b></p> <p><b>Amend to Category C: Note that it is of historical significance worthy of Category B recognition.</b></p>  |
| <del>D14 Greenwood, Wannierie</del>                 | <p><b>No submission- Site visit</b></p> <p><b>Amend to Category C: Note that it is of historical significance worthy of Category B recognition.</b></p> <p><b>SITE VISIT:</b> Primary significance is historical. The place has been significantly developed, enveloping the relatively small area of remaining original fabric.</p> |
| <del>D15 Honeycomb, Gingin</del>                    | <p>No submission</p> <p><b>No site visit in 2017: no information regarding physical evidence.</b></p> <p><b>Amend to Category C: Note that it is of historical significance worthy of Category B recognition.</b></p>  |
| <del>D16 Whakea, Ginginup</del>                     | <b>No submission- Site visit</b>   |

**HERITAGE INVENTORY  
REVIEW 2017  
FINAL DRAFT**

|                                    |   |
|------------------------------------|---|
| D17 Beedamanup Homestead, Gingin   | <p><b>Amend to Category C: Note that it is of historical significance worthy of Category B recognition.</b></p> <p><b>SITE VISIT:</b> Primary significance is historical. Although there is considerable original fabric, it has deteriorated significantly and the place is derelict after more than 60 years vacant.</p> <p>No submission - no change<br/>No site visit in 2017: reliant on previous physical information</p> |
| <del>D18 Garaban, Guilderton</del> | <p><b>Submission - object to B grade</b></p> <p><b>Amend to Category C: Note that it is of historical significance worthy of Category B recognition.</b></p> <p><b>SITE VISIT:</b> Primary significance is historical. Although there is original fabric, it evidences a number of periods of development and deterioration, although owners are conserving.</p>  |

### **11.3.7 AMENDED APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED OVER HEIGHT OUTBUILDING ON LOT 169 (93) GINGIN ROAD, LANCELIN**

**FILE:** BLD/6841  
**APPLICANT:** NORTHWEST SHEDMASTERS PTY LTD  
**LOCATION:** LOT 169 (93) GINGIN ROAD, LANCELIN  
**OWNER:** WAYNE HADDON AND GAYNA HADDON  
**ZONING:** RESIDENTIAL R12.5/20  
**WAPC NO:** N/A  
**AUTHOR:** JAMES BAYLISS – STATUTORY PLANNING  
OFFICER  
**REPORTING OFFICER:** LISA EDWARDS - EXECUTIVE MANAGER  
PLANNING AND DEVELOPMENT  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** 18 JULY 2017      ITEM 11.3.3

#### **OFFICER INTEREST DECLARATION**

Nil

#### **PURPOSE**

To consider an amendment to an Application for Development Approval previously considered by Council, for a proposed Outbuilding on Lot 169 (93) Gingin Road, Lancelin (subject lot).

#### **BACKGROUND**

Council considered the outbuilding subject to this application at its Ordinary Meeting held on 18 July 2017 and resolved to issue a conditional approval. The proponent seeks to amend the location of the outbuilding, reducing the side (northern) setback from the approved 4.05m to a setback of 2m. The design of the outbuilding remains unchanged.

The subject lot is 1214.1m<sup>2</sup> in area and contains an existing dwelling. The outbuilding is 12m in length, 10m in width (120m<sup>2</sup>) and has a wall height of 4.5m tapering to a ridge height of 4.93m. The outbuilding is located at the rear of the existing dwelling, setback 2m from the side (northern) and rear (eastern) boundaries and 6.1m from the southern boundary.

A location plan, aerial image, site plan and elevations are attached as **Appendix 1**.

#### **COMMENT**

##### Community Consultation

The applicant provided neighbour consent as part of the submission, and therefore the proposal does not require public advertising. Clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015* provides for minor variations to be exempt from the advertising process.

## PLANNING FRAMEWORK

### Local Planning Scheme No 9 (LPS 9)

The subject land is zoned Residential under LPS 9, the objectives of which are to:

- a) *Provide for a range of housing types and encourage a high standard of residential development;*
- b) *Maintain and enhance the residential character and amenity of the zone;*
- c) *Limit non-residential activities to those of which the predominant function is to service the local residential neighbourhood and for self-employment or creative activities, provided such activities have no detrimental effect on the residential amenity; and*
- d) *Ensure that the density of development takes cognisance of the availability of reticulated sewerage, the effluent disposal characteristics of the land and other environmental factors.*

Clause 5.2.2 states:

*“Unless otherwise provided for in the Scheme, the development of land for any of the residential purposes dealt with by the Residential Design Codes is to conform to the provision of those codes”.*

### State Planning Policy 3.1 – Residential Design Codes of Western Australia

The subject lot is zoned Residential R12.5/20 under the Residential Design Codes of Western Australia (R-Codes). An outbuilding is defined as:

*“An enclosed non-habitable structure that is detached from any dwelling”.*

The outbuilding complies with the setback requirements as stipulated in ‘Table 2a – Boundary Setbacks’ of the R-Codes which requires a minimum 1.5m side and rear setback from the lot boundaries. The applicant has proposed a setback of 2m from the side (northern) and rear boundaries and 6.1m from the side (southern) boundary.

The deemed-to-comply provisions of the R-Codes relating to Outbuildings stipulates that a wall height of 2.4m and an overall height of 4.2m is not to be exceeded. The wall height proposed is 4.5m with a ridge height of 4.9m. Given the proposal does not satisfy the deemed-to-comply provisions the application has been assessed against the associated ‘Design Principal’ which states:

*“Outbuildings that do not detract from the streetscape or the visual amenity of residents or neighbouring properties”.*

The existing streetscape remains relatively unaffected given the outbuilding is located at the rear of the lot. The large side and rear setback reduces any perceived amenity concerns with respect to building bulk. The neighbouring occupants have not raised any objection to the location of the Outbuilding or any potential amenity impact. The subject lot has ample access to open space, ventilation and winter sunlight.

Local Planning Policy 2.1 – Residential Outbuildings

The Shire adopted Local Planning Policy 2.1 – Residential Outbuildings (LPP 2.1) in January 2013 to complement the provisions of the R-Codes relating to outbuildings to better reflect community expectations.

Clause 3.5 – Scale of Outbuilding Development outlines the maximum allowable standards for outbuildings throughout the Shire based on lot size and location. The table below is applicable to the subject lot.

| TOWNSITE  | STANDARD                              | MAXIMUM                           | PROVIDED   |
|---|---------------------------------------|-----------------------------------|--|
| Coastal town sites<br>(1001m <sup>2</sup> – 4000m <sup>2</sup><br>lot size) | Area<br>Wall Height<br>Overall Height | 120m <sup>2</sup><br>3.6m<br>5.0m | 120m <sup>2</sup> – compliant<br>4.5m non-compliant<br>4.93m - compliant |

The proposed development does not comply with the maximum wall height provided for in LPP 2.1 as outlined in the table above. There are no relevant objectives under LPP 2.1 to assess the variations against.

Given Council resolved to support the built form of the Outbuilding at the July meeting, Administration is of the view that the impact on the streetscape and adjoining properties will remain relatively unchanged as part of the amended location.

Conclusion

In summary, the amended location of the outbuilding is not deemed to have any additional adverse impacts and is not out of character with the amenity of Lancelin. The amended application for an Outbuilding at the subject lot is supported in this instance, subject to conditions that were applied to the previous approval.

Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- Note 1: Further to this Approval, the Applicant will be required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and *Building Regulations 2012* and the *Public Health Act 2016*, which are to be approved by the Shire of Gingin.
- Note 2: Any noise generated from the outbuildings is not to exceed the levels as set out under the *Environmental Protection (Noise) Regulations 1997*.
- Note 3: This Approval is for the proposed Outbuilding only. In the 'Residential R12.5/20' zone, further approval is required for most land uses and building construction. The Shire's Planning Department should be contacted for further information.
- Note 4: It is the landowners' responsibility to implement and maintain bushfire protection and mitigation measures on their property.



## STATUTORY ENVIRONMENT

*Local Planning Scheme No 9*

*Planning and Development (Local Planning Scheme) Regulations 2015*

Schedule 2 – Deemed Provisions for Local Planning Schemes

*Local Planning Policy 2.1 – Residential Outbuildings*

## POLICY IMPLICATIONS

Nil

## BUDGET IMPLICATIONS

Nil

## STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

|                   |   |
|-------------------|---|
| <b>Focus Area</b> | <i>Infrastructure and Development</i>   |
| <b>Objective</b>  | <i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner</i> |
| <b>Outcomes</b>   | <i>3.1 Development<br/>New and existing developments meet the Shire's Strategic Objectives and Outcomes (&gt;WDC)</i>                                 |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

### RECOMMENDATION

It is recommended that Council grant amended Development Approval (P1550) dated 26 July 2017 for a proposed Outbuilding on Lot 169 (93) Gingin Road, Lancelin subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;
2. This Approval is for an Outbuilding only;
3. The Outbuilding shall not be used for human habitation, commercial or industrial purposes; and
4. Stormwater from all roofed and paved areas shall be collected and contained onsite to the satisfaction of the Shire.

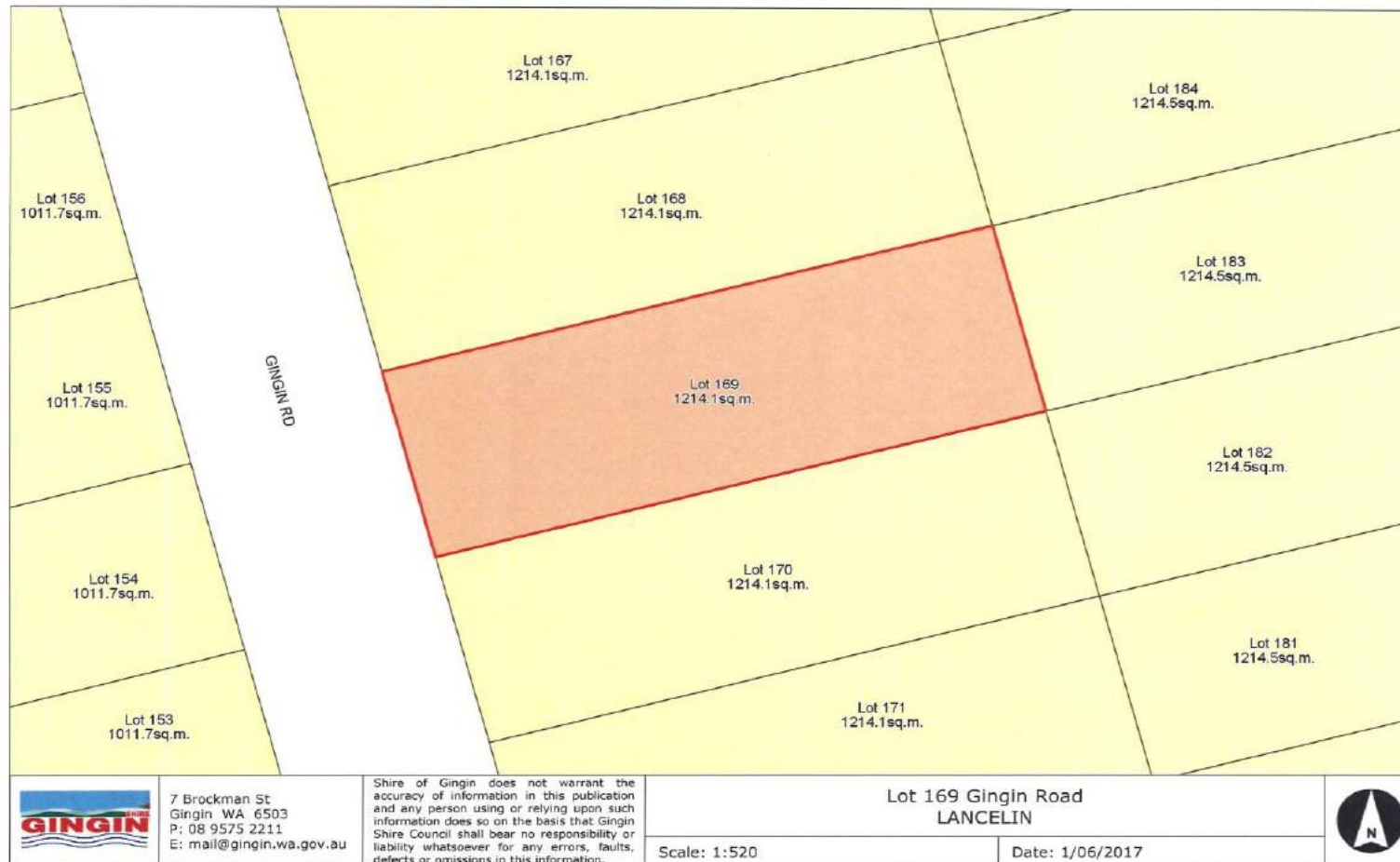
## RESOLUTION

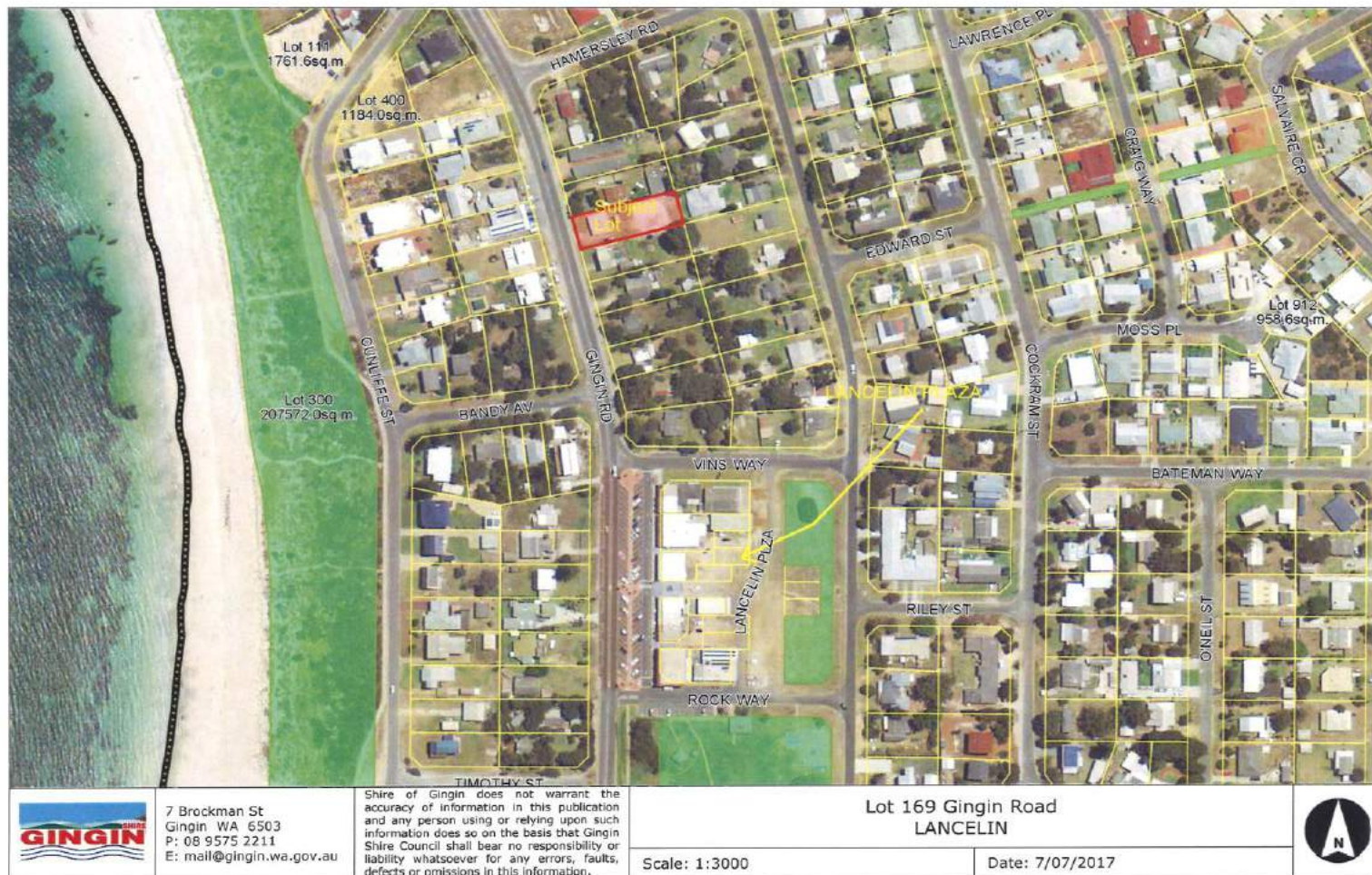
**Moved Councillor Elgin, seconded Councillor Fewster that Council grant amended Development Approval (P1550) dated 26 July 2017 for a proposed Outbuilding on Lot 169 (93) Gingin Road, Lancelin subject to the following conditions:**

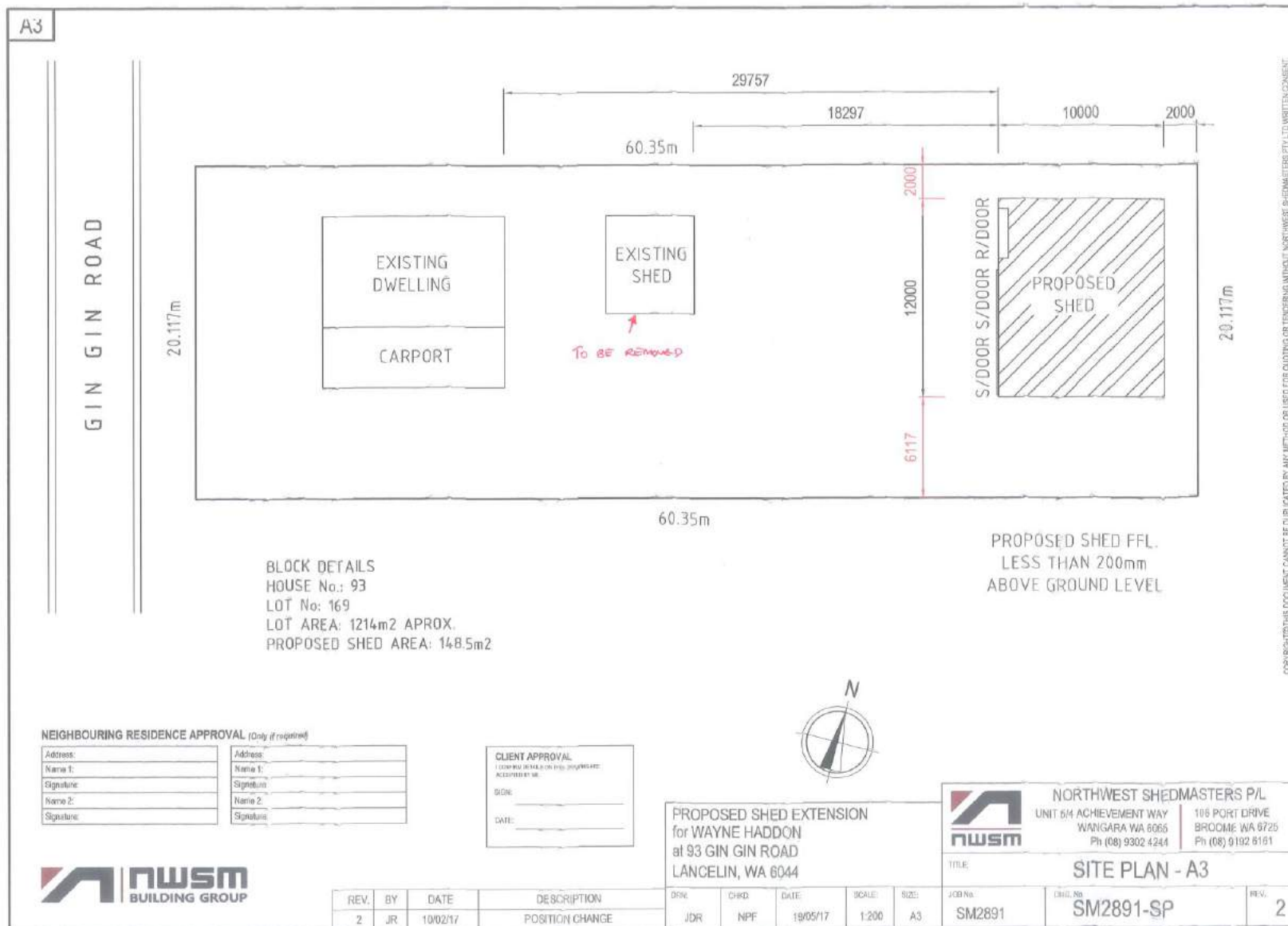
- 1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;**
- 2. This Approval is for an Outbuilding only;**
- 3. The Outbuilding shall not be used for human habitation, commercial or industrial purposes; and**
- 4. Stormwater from all roofed and paved areas shall be collected and contained onsite to the satisfaction of the Shire.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**









**11.3.8 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED LANCELIN  
SKATE AND BMX PARK UPGRADE ON RESERVE 44490 (WANGAREE PARK)  
ON LOT 323 GINGIN ROAD, LANCELIN**

**FILE:** BLD/6873  
**APPLICANT:** SHIRE OF GINGIN  
**LOCATION:** LOT 323 RESERVE 44490 GINGIN ROAD,  
LANCELIN  
**OWNER:** SHIRE OF GINGIN  
**ZONING:** PARKS AND RECREATION  
**WAPC NO:** N/A  
**AUTHOR:** BECK FOULKES-TAYLOR – PERSONAL  
ASSISTANT PLANNING AND DEVELOPMENT  
**REPORTING OFFICER:** LISA EDWARDS – EXECUTIVE MANAGER  
PLANNING AND DEVELOPMENT  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

**OFFICER INTEREST DECLARATION**

Nil

**PURPOSE**

To consider an Application for Development Approval for the proposed upgrade to the Lancelin Skate and BMX Park on Lot 323 (Reserve 44490) Gingin Road, Lancelin.

**BACKGROUND**

Lancelin at the corner of Rock Way and Atkinson Way, Lancelin.

In May 2017, the project was approved for \$126,000 worth of funding from the Community Development Grants Program, administered by the Department of Infrastructure and Regional Development. The total cost of the project is \$123,180 (ex GST) and the work was awarded to the contractor Three Chillies through a quotation process conducted by the Shire of Gingin.

The project being undertaken is the upgrade to the existing skate infrastructure located in Wangaree Park. In summary, the project includes the construction of the following items:

- West Bank Feature;
- Jump Box;
- Jump Box Pimple;
- Grind Box;
- Pump Track; and
- Retaining Wall.



The project is due to commence in late October 2017 for completion by December 2017 before the commencement of the Christmas holidays.

A location plan and a copy of the proposal are attached as **Appendix 1**.

## **COMMENT**

### Community Consultation

As part of the design process for the skate and BMX park varying concepts were presented at a public workshop held in November 2016.

Kids of all ages, parents and other interested community members came to the workshop to view the differing plans and provided feedback to the consultants who included those design concepts into the final design plans.

## **PLANNING FRAMEWORK**

### Local Planning Scheme No. 9 (LPS 9)

The subject lot is zoned 'Parks and Recreation' (Reserve) under LPS 9.

In determining an application for development approval, the local government is to have due regard to clause 2.5.2 which states that the following must be taken into consideration:

- a) The matters set out in Clause 67 of the deemed provisions; and
- b) The ultimate purpose intended for the Reserve.

The *Planning and Development (Local Planning Scheme) Regulations 2015* (deemed provisions) identifies the local reserve as 'Public Purpose' under Part 2, Clause 14(3). The relevant objective is:

*'To provide for a range of essential physical and community infrastructure'*.

### Use Not Listed

The proposed upgrade to the Lancelin Skate Park is considered to be a Use Not Listed under LPS 9. Clause 3.4.2 of LPS 9 provides the following requirements for a use not listed development:

*3.4.2 If a person proposed to carry out on land any use that is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the type, class or genus of activity of any other use category the local government may:*

- a) *Determine that the use is consistent with the objectives of the particular zone and is therefore permitted;*
- b) *Determine that the use may be consistent with the objectives of the particular zone and thereafter follow the advertising procedures of Clause 9.4 in considering an application for planning approval; or*

- c) *Determine that the use is not consistent with the objectives of the particular zone and is therefore not permitted.*

The proposal is considered to meet the requirements of the above scheme clause as it will be infrastructure that is ancillary to and consistent with the existing land use.

### Summary

In summary, the proposed upgrade to the Lancelin Skate Park is consistent with the intended purpose and existing use of the Local Scheme Reserve and is therefore recommended for conditional approval.

### Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- Note 1: Further to this Approval, the Applicant will be required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and *Building Regulations 2012* and the *Public Health Act 2016*, which are to be approved by the Shire of Gingin.
- Note 2: Any noise generated from the skate park is not to exceed the levels as set out under the *Environmental Protection (Noise) Regulations 1997*.
- Note 3: This Approval is for the proposed Skate Park only. In a Local Scheme Reserve, further approval is required for most land uses and building construction. Council's Planning Department should be contacted for further information.
- Note 4. It is the landowner's responsibility to implement and maintain bushfire protection and mitigation measures on the subject lot and to comply with at all times the Shire of Gingin's Firebreak Order (as amended).

## **STATUTORY ENVIRONMENT**

*Planning and Development (Local Planning Scheme) Regulations 2015*

*Local Planning Scheme No 9*

Part 2 – Reserves

2.5 Use and Development of Local Reserves

Part 3 – Zones and the Use of the Land

3.4 Interpretation of the Zoning Table

## **POLICY IMPLICATIONS**

Nil

## **BUDGET IMPLICATIONS**

Nil

## STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017 – 2027

|                   |  |
|-------------------|--|
| <b>Focus Area</b> | <i>Community Wellbeing</i>   |
| <b>Objective</b>  | <i>1. To support the Shire of Gingin community to be inclusive, vibrant, healthy and safe through the Shire's service delivery</i> |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

### RECOMMENDATION

It is recommended that Council grant Development Approval for the proposed Upgrade of the Lancelin Skate and BMX Park Lot 323 ( Reserve 44490)Gingin Road, Lancelin, in accordance with the development application and plans, subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;
2. This approval is for a Skate and BMX Park Only. Should any other development be proposed in the future, then a separate application for Planning Approval will be required; and
3. The Skate and BMX Park must only be used for the purposes of a Skate and BMX Park in association with the Reserve's Parks and Recreation Use.

### RESOLUTION

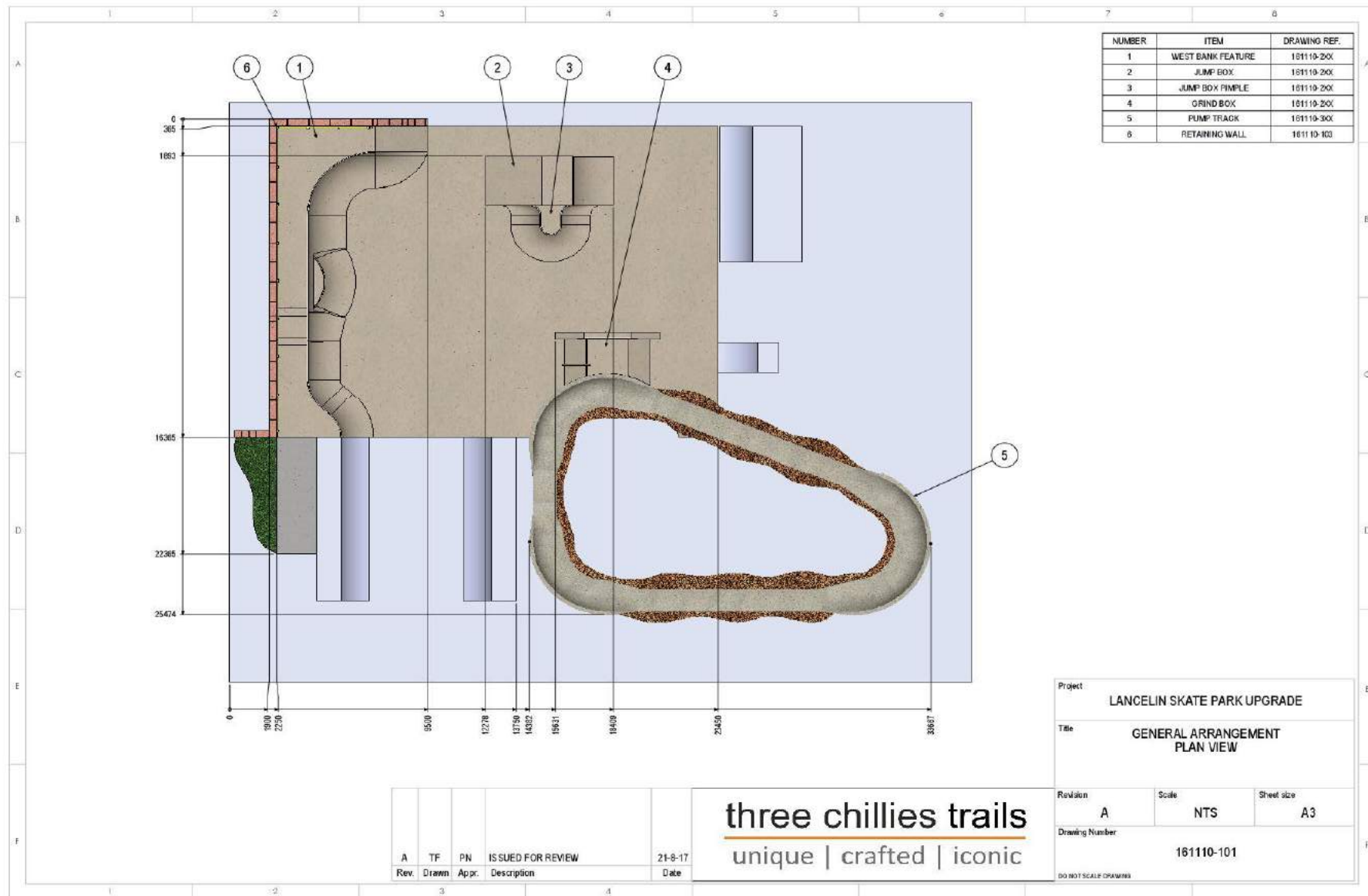
**Moved Councillor Court, seconded Councillor Smiles that Council grant Development Approval for the proposed Upgrade of the Lancelin Skate and BMX Park Lot 323 ( Reserve 44490) Gingin Road, Lancelin, in accordance with the development application and plans, subject to the following conditions:**

- 1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;**
- 2. This approval is for a Skate and BMX Park Only. Should any other development be proposed in the future, then a separate application for Planning Approval will be required; and**
- 3. The Skate and BMX Park must only be used for the purposes of a Skate and BMX Park in association with the Reserve's Parks and Recreation Use.**

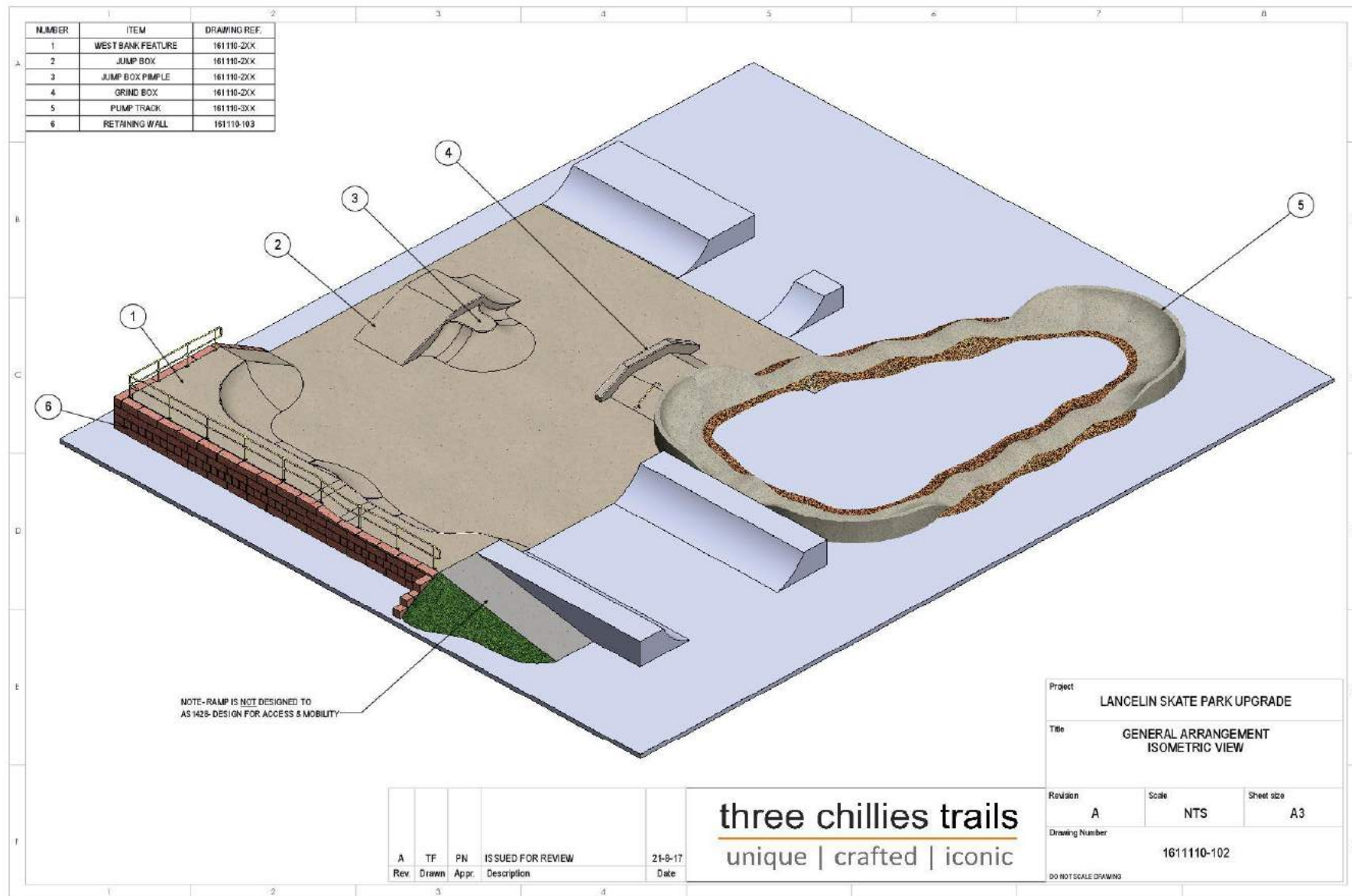
**CARRIED UNANIMOUSLY**

**APPENDIX 1**

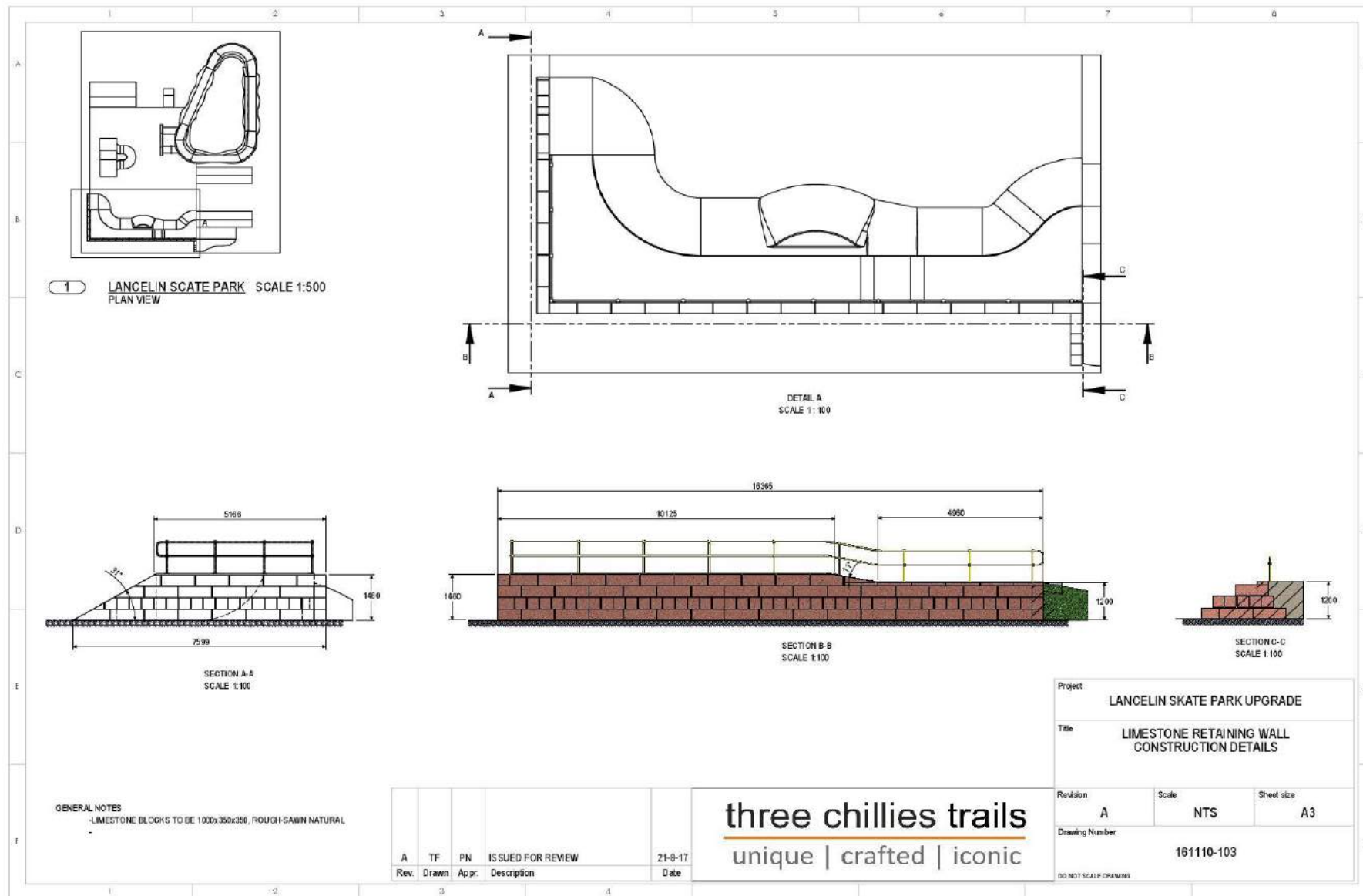


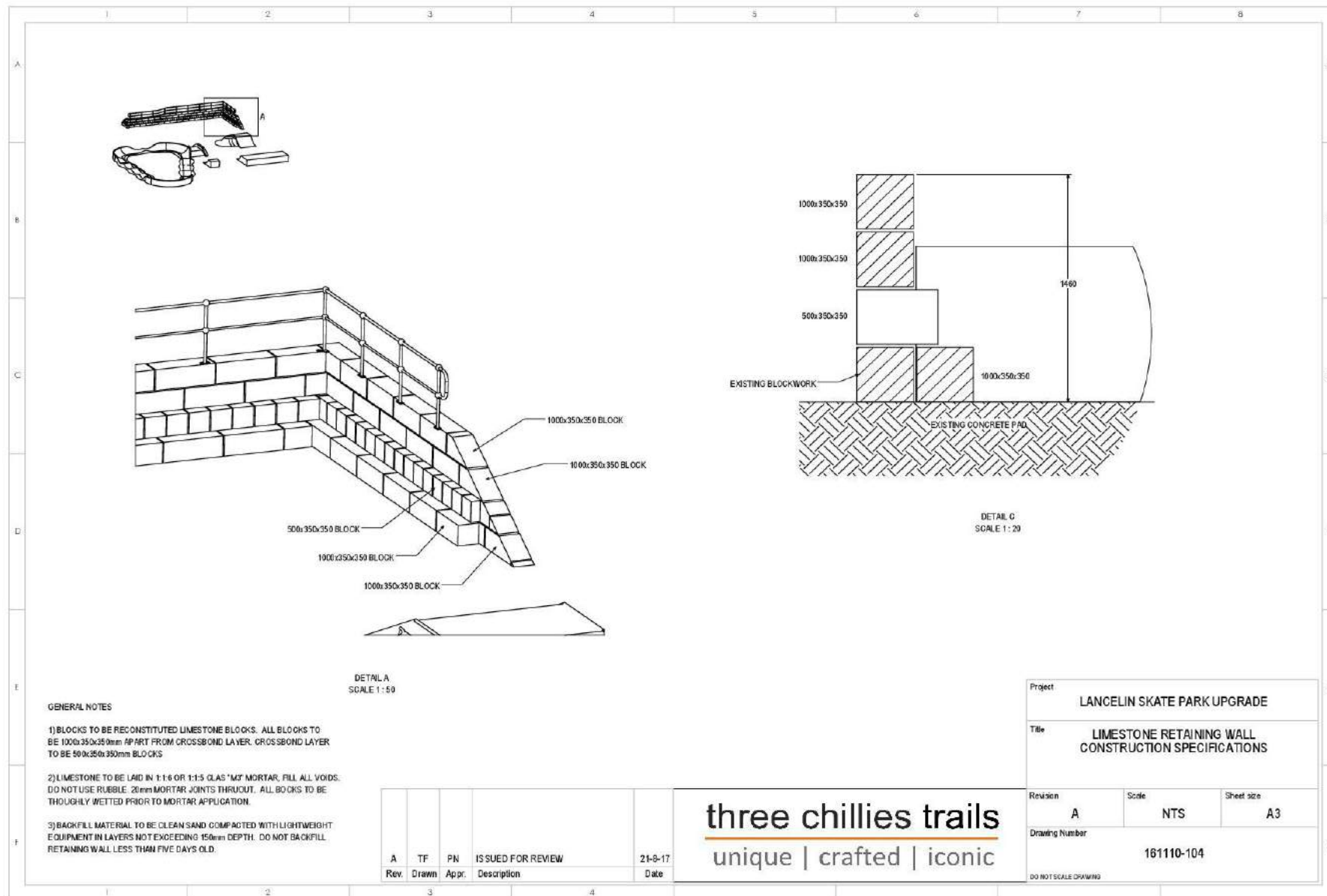












**11.3.9 EXECUTION OF LEASE AGREEMENT BETWEEN SHIRE OF GINGIN AND EXPERIENCE HOLIDAY PARKS PTY LTD – RESERVE 21760 (LOT 31 AND LOT 762) HOPKINS STREET, LANCELIN**

|                           |  |                    |
|---------------------------|--|--------------------|
| <b>FILE:</b>              | <b>BLD/2591</b>  |                    |
| <b>LOCATION:</b>          | <b>RESERVE 21760 (LOT 31 &amp; LOT 762) HOPKINS STREET, LANCELIN</b> |                    |
| <b>REPORTING OFFICER:</b> | <b>LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT</b>     |                    |
| <b>REPORT DATE:</b>       | <b>10 OCTOBER 2017</b>   |                    |
| <b>REFER:</b>             | <b>20 JUNE 2017</b>  | <b>ITEM 15.4</b>   |
|                           | <b>3 OCTOBER 2017</b>  | <b>ITEM 11.3.1</b> |

|   |
|---|
| <b>ADDENDUM – ORDINARY MEETING OF COUNCIL – 17 OCTOBER 2017</b> |
|---|

Item 11.3.9 refers to Reserve 21760 as Lot 30 and Lot 762 Hopkins Street, Lancelin. This should read Reserve 21760 (Lot 31 and Lot 762) Hopkins Street, Lancelin.

**OFFICER INTEREST DECLARATION**

Nil

**PURPOSE**

To consider delegating authority to the Shire's Chief Executive Officer and the Shire President to execute the lease for the Lancelin Caravan Park between Experience Holiday Parks Pty Ltd and the Shire of Gingin, subject to approval of the Minister for Lands.

**BACKGROUND**

The Lancelin Caravan Park (the Park) is situated on Reserve No 21760 and was previously leased to Esther Investments Pty Ltd. Esther Investments operated the site as the Lancelin South End Caravan Park until the lease expired on 30 September 2016. As of 1 October 2016, the Shire has undertaken the day-to-day management responsibilities of the Park through a management agreement with contractors. This arrangement was put in place whilst the Shire (in partnership with Tourism WA) conducted a process to seek Expressions of Interest (Stage 1) and Requests for Detailed Proposal (Stage 2), and then to call tenders for the lease and redevelopment of the site.

At its meeting on 20 June 2017, Council resolved to:

- 1. Accept the proposal submitted by Halsall and Associates on behalf of Reginald and Donna Cocking and Christopher and Ornella Sialtsis to lease and redevelop the Lancelin Caravan Park.*
- 2. Offer the proponents the opportunity to provide interim management services at the Lancelin Caravan Park for a period of up to six months, terminating at 31 December 2017.*
- 3. Grant delegated authority to the Chief Executive Officer to negotiate the terms of any management contract arising from Part 2 (above).*

4. *Authorise the affixing of the Common Seal to, and execution by the Shire President and Chief Executive Officer of, any management contract arising from Part 2 (above).*
5. *Prepare a Business Plan under Part 3, clause 3.59 of the Local Government Act 1995 that includes an overall assessment of the proposal.*
6. *Give statewide (including local) public notice that the Shire of Gingin proposes to enter into a major land transaction with respect to the Lancelin Caravan Park, including access to the Business Plan, for a period of six weeks.*
7. *Upon the cessation of public notice, return the matter to Council for further consideration and a final decision as to whether it will enter into a major land transaction (lease arrangement) with the proponents.*
8. *Make application to the Minister for Lands to amend the purpose of the Vesting Order over Reserve 21760 from "Camping and Caravan Park" to "Holiday Park".*
9. *Seek consent from Minister for Lands, in accordance with the requirements of the Vesting Order, to enter into a lease over the subject land for a 21 year plus 21 year term.*
10. *Authorise a Development Application to be lodged generally in accordance with the proposal and by the parties as referenced in Part One above, which is to be given public notice for a period of 21 days.*
11. *Advise the proponents of the outcome.*

In accordance with Part 5 of the above resolution, Administration subsequently progressed the preparation and advertising of a Business Plan for public comment. All public submissions were considered by Council at a Special Meeting on 3 October 2017, at which time Council agreed to enter into a major land transaction with the proponents, generally in accordance with the Business Plan, and to authorise the Chief Executive Officer to prepare a draft lease document for further consideration by Council.

## **COMMENT**

As Council would be aware, current residential tenancy agreements between the Shire of Gingin and lessees of sites within the caravan park will expire on 31 December 2017. Finalisation of a lease agreement between the Shire and the proponents prior to 31 December 2017 is therefore considered to be imperative.

Under the Vesting Order granting management responsibility for Reserve 21760 to the Shire of Gingin, all lease arrangements must be endorsed by the Minister for Lands. In order to have the lease finalised and in place prior to the expiry of residential tenancy agreements, it will be necessary to have the executed lease document ready for submission to the Minister as soon as possible.

Unfortunately, the requirement for the draft lease to be presented to Council for consideration prior to execution will delay proceedings to the extent that it is unlikely that Ministerial endorsement will be received before the end of December. It is therefore requested that Council authorise the Shire President and Chief Executive Officer to execute a lease between the Shire of Gingin and Experience Holiday Parks Pty Ltd with respect to Reserve 21760 (Lots 30 and 762) Hopkins Street, Lancelin, subject to the lease document being prepared to the satisfaction of the Chief Executive Officer.

## STATUTORY ENVIRONMENT

*Local Government Act 1995*

Part 2 – Functions of local governments

Division 3 – Executive functions of local governments

Section 18 – requires the Ministers consent for transactions on Crown land.

## POLICY IMPLICATIONS

Nil

## BUDGET IMPLICATIONS

The lease will include returns to the Shire in accordance with the Pracy's Business Plan previously considered by Council.

Lease preparation costs will be borne by the Proponents.

## STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

|                          |   |
|--------------------------|---|
| <b>Focus Area</b>        | <i>Economic Development</i>   |
| <b>Objective</b>         | <i>4. To support economic development through the Shire's service delivery</i>  |
| <b>Outcome</b>           | <i>4.1 Tourist Playground<br/>An internationally acclaimed tourist playground</i>   |
| <b>Key Service Areas</b> | <ul style="list-style-type: none"><li>• Caravan Parks</li><li>• Economic Development and Tourism Infrastructure</li></ul>   |
| <b>Priorities</b>        | <i>4.1.1 Support the development of the Shire of Gingin as a premier tourist destination for ocean and sand adventures.</i> |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

## RECOMMENDATION

It is recommended that Council authorise the Shire President and Chief Executive Officer to execute a lease between the Shire of Gingin and Experience Holiday Parks Pty Ltd with respect to Reserve 21760 (Lots 31 and 762) Hopkins Street, Lancelin, including application of the Common Seal if required, subject to the lease document being prepared to the satisfaction of the Chief Executive Officer.

## RESOLUTION

**Moved Councillor Elgin, seconded Councillor Court that Council authorise the Shire President and Chief Executive Officer to execute a lease between the Shire of Gingin and Experience Holiday Parks Pty Ltd with respect to Reserve 21760 (Lots 31 and 762) Hopkins Street, Lancelin, including application of the Common Seal if required, subject to the lease document being prepared to the satisfaction of the Chief Executive Officer.**

**CARRIED UNANIMOUSLY**

#### **11.4. OPERATIONS-CONSTRUCTION**

##### **11.4.1 RESTRICTED ACCESS VEHICLE APPLICATION - (NETWORK 4, ACCREDITED MASS MANAGEMENT SCHEME LEVEL 3) USE ON MOGUMBER ROAD WEST FROM BRAND HIGHWAY TO BINDOON-MOORA ROAD**

**LOCATION:** MOGUMBER ROAD WEST FROM BRAND HIGHWAY  
TO BINDOON-MOORA ROAD  
**APPLICANT:** B & J CATALANO  
**FILE:** RDS/10  
**REPORTING OFFICER:** ALLISTER BUTCHER - EXECUTIVE MANAGER  
OPERATIONS-CONSTRUCTION  
**REPORT DATE:** 17 OCTOBER 2017  
**REFER:** NIL

#### **OFFICER INTEREST DECLARATION**

Nil

#### **PURPOSE**

To consider an application from B and J Catalano regarding the use of Restricted Access Vehicles (RAV) - Network 4 with an Accredited Mass Management Scheme (AMMS) of Level 3 on Mogumber Road West.

#### **BACKGROUND**

An RAV Application has been received from B and J Catalano seeking approval to use Network 4, AMMS Level 3 Vehicles on Mogumber Road West from Brand Highway to Bindoon/Moora Road.

A Network 4, AMMS Level 3 RAV is a heavy vehicle combination consisting of a prime mover and a semi-trailer towing a dog trailer. This combination is permissible up to a length of 27.5m and a gross weight of not more than 94 tonnes (differing from a maximum gross weight of 87.5 tonnes for a RAV Network 4 without AMMS).

Council Policy 7.6 Road Transport Heavy Vehicle Combinations, particularly part 2, relates to the approval of Concessional Loading (AMMS) applications and states:

#### **2. *Concessional Loading (Accredited Mass Management Scheme)***

*All Concessional Loading applications through the HVS Accredited Mass Management Scheme (AMMS) shall be assessed and taken to Council for consideration.*

It is a requirement of RAV operators that, first and foremost, approval must be gained from the Local Government before applying to Main Roads WA Heavy Vehicle Services (HVS) for a permit.

A location plan showing the proposed route is attached as **Appendix 1**.



Mogumber Road West is currently approved for RAV Network 4 without conditions from Brand Highway to Bindoon – Moora Road.

This is the first RAV Network 4 AMMS Level 3 application to the Shire for the entire length of Mogumber Road West, essentially making it a 'through route' with the additional mass per axle. The applicant will still need to apply to the Shire of Victoria Plains for AMMS Level 3 approval to be able to complete the trip from Brand Highway to Bindoon – Moora Road.

## COMMENT

Mogumber Road West is currently a sealed road with the following standards:

- Shire of Gingin's length of road is 24.95km long;
- 7.4m wide sealed surface in very good condition;
- Last reseal in 1998 (sealed surface 19 years old);
- Pavement width (shoulder to shoulder) between 12m from Brand Highway for 530m and the remaining length (24.42km) at 10m;
- Road was upgraded to its current standard (sealed to 7.4m wide) in 1998 (pavement is 19 years old; technically, remaining useful life of 21 years); and
- The pavement is predominately in good condition with some minor pavement failures approximately 900m east of Brand Highway.

The current traffic volume on Mogumber Road West (58 day count between February 2016 and April 2016) is 193 vehicles per day of which 112 (58%) were specifically pocket road trains; RAV Network 3 and 4.

The AMMS application will allow the applicant to deliver more product per trip. Should the application be approved it will lead to greater efficiencies for cartage contractors and therefore reduced cartage costs for producers increasing their profitability.

There are no issues with either road regarding stacking distances (distance from railway crossings to intersections not being sufficient to stop a RAV combination), horizontal curves, vertical curves or sight distances within the Shire of Gingin.

The main issue for the Shire to consider is the extra wear on and deterioration of the road pavement due to the additional 6.5 tonnes per combination (over a normal RAV Network 4 combination). The additional weight per axle will decrease the pavement life per vehicle, albeit by a very minimal amount.

The Shire may impose conditions on the AMMS application should it be approved, and HVS recommends that a 'CA07' condition (requiring that a letter from the local government must be carried on the vehicle at all times and be presented on request) be imposed on all AMMS approvals. As the Shire of Gingin has an annual renewal process for RAV (and AMMS) applications, this gives the Shire a control mechanism whereby if the pavements deteriorate at a rate that is deemed to be too rapid by Shire Officers, the AMMS can be removed by not approving the AMMS applications the following year. All RAV and AMMS approvals expire on 30 June annually with pavements being assessed at the time of renewal.

The Shire of Gingin does not receive any additional grant funding to deal with AMMS approvals or any resulting increased pavement wear on local government assets.

## STATUTORY ENVIRONMENT

Nil

## POLICY IMPLICATIONS

Council Policy 7.6 - Road Transport Heavy Vehicle Combinations

## BUDGET IMPLICATIONS

Nil

## STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015-2025

|                   |  |
|-------------------|--|
| <b>Focus Area</b> | <i>3. Built Environment</i>                                      |
| <b>Objective</b>  | <i>3. To effectively manage growth and provide for community</i> |
| <b>Outcome</b>    | <i>3.1 Meet transport infrastructure and service needs</i>       |
| <b>Focus Area</b> | <i>4. Local Business</i>   |
| <b>Objective</b>  | <i>4. To facilitate local business growth</i>                    |
| <b>Outcome</b>    | <i>4.2 Grow local business, employment and training</i>          |

## VOTING REQUIREMENTS – SIMPLE MAJORITY

### RECOMMENDATION

It is recommended that Council:

1. Approve the Restricted Access Vehicle Accredited Mass Management Scheme (Level 2) Application from B and J Catalano for Mogumber Road West from Brand Highway to Bindoon Moora Road with the following conditions:
  - a. A current written approval from the Shire of Gingin permitting use of the road must be carried and produced on demand;
  - b. All permit vehicles operating within the Shire of Gingin shall not exceed 80kph on sealed roads;
  - c. All permit vehicles shall not exceed 60km/h on unsealed sections of road;
  - d. Unsealed roads may not be used by RAVs when visibly wet; and
  - e. RAV Approvals by the Shire shall expire annually at 30 June.
2. Advise the applicant accordingly.

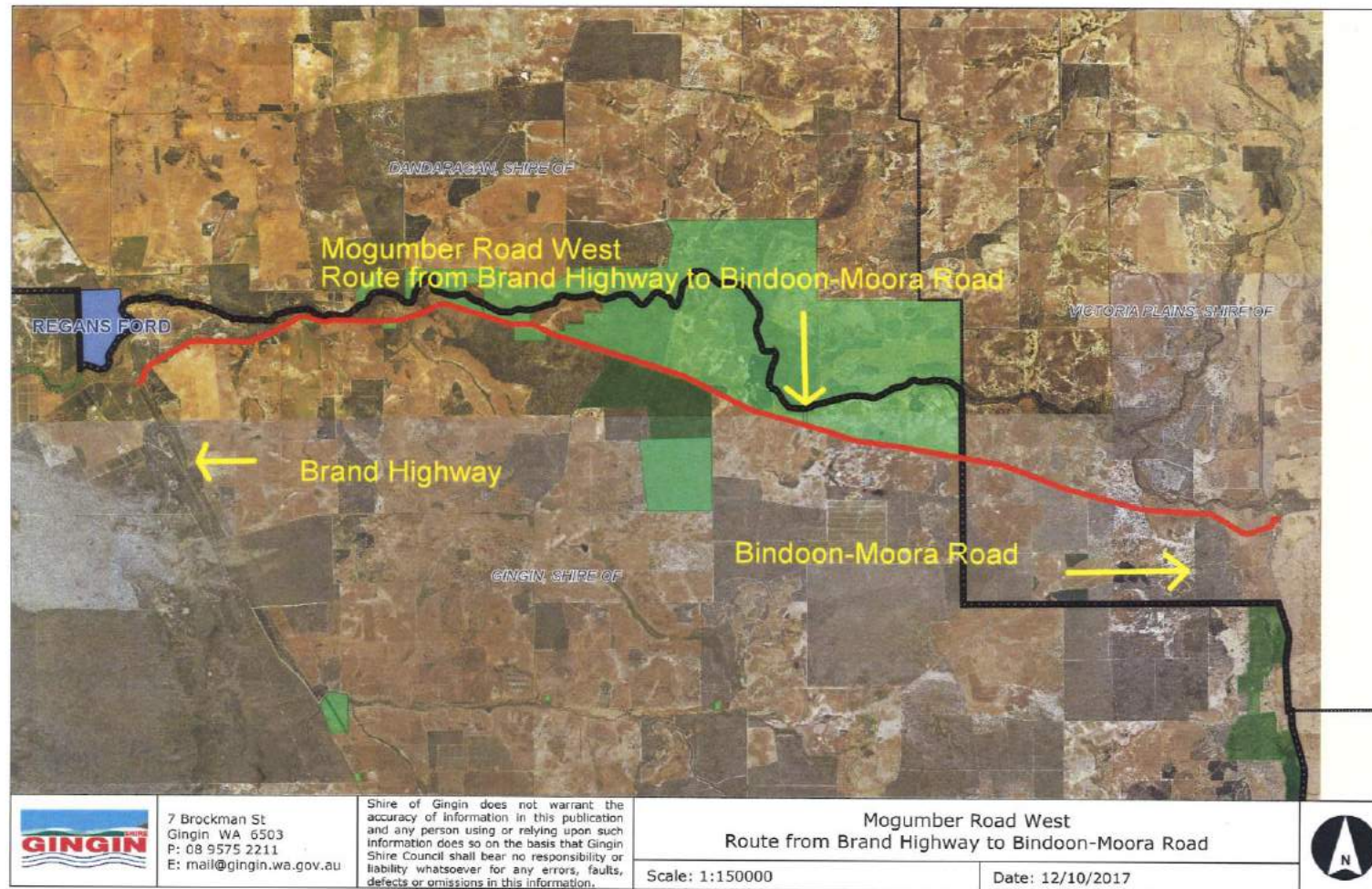
## **RESOLUTION**

**Moved Councillor Fewster, seconded Councillor Collard that Council:**

- 1. Approve the Restricted Access Vehicle Accredited Mass Management Scheme (Level 2) Application from B and J Catalano for Mogumber Road West from Brand Highway to Bindoon Moora Road with the following conditions:**
  - a. A current written approval from the Shire of Gingin permitting use of the road must be carried and produced on demand;**
  - b. All permit vehicles operating within the Shire of Gingin shall not exceed 80kph on sealed roads;**
  - c. All permit vehicles shall not exceed 60km/h on unsealed sections of road;**
  - d. Unsealed roads may not be used by RAVs when visibly wet; and**
  - e. RAV Approvals by the Shire shall expire annually at 30 June.**
- 2. Advise the applicant accordingly.**

**CARRIED UNANIMOUSLY**

**APPENDIX 1**



**11.5. ASSETS**

Nil

**12. MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN**

**12.1 COUNCILLOR MICHAEL ASPINALL: APPLICATION FOR DEVELOPMENT APPROVAL – PROPOSED EXTENSION TO EXISTING RESTAURANT USE AND RETROSPECTIVE APPROVAL FOR A FRONT AND SIDE FENCE AND ADVERTISING SIGNAGE ON LOT 168 (91) GINGIN ROAD, LANCELIN**

|                     |   |                  |
|---------------------|---|------------------|
| <b>FILE:</b>        | <b>BLD/6660</b>                           |                  |
| <b>APPLICANT:</b>   | <b>JACQUELINE LOBB</b>                    |                  |
| <b>LOCATION:</b>    | <b>LOT 168 (91) GINGIN ROAD, LANCELIN</b> |                  |
| <b>OWNER:</b>       | <b>RORY LOBB</b>                          |                  |
| <b>ZONING:</b>      | <b>RESIDENTIAL R12.5/20</b>               |                  |
| <b>WAPC NO:</b>     | <b>N/A</b>                                |                  |
| <b>REPORT DATE:</b> | <b>19 SEPTEMBER 2017</b>                  |                  |
| <b>REFER:</b>       | <b>18 JULY 2017</b>                       | <b>ITEM 12.1</b> |

**PURPOSE**

To consider placing additional planning conditions on the development approval granted by Council at its meeting on 19 September 2017.

**BACKGROUND**

The Shire received an Application for Development Approval on 28 June 2017 to extend the existing restaurant (trading as Lobster Trap Café) operating at the subject property. The application also sought retrospective approval for the construction of a front and side fence and advertising signage installed at the property.

The original development application was considered at the Ordinary Council Meeting on 17 November 2015. Council resolved to approve the change of use application subject to conditions, one of which limited the restaurant use to a period of two years at which time an extension would need to be applied for.

The restaurant operates from a portion of the ground floor of the existing dwelling and provides a small amount of covered seating, with the majority of patrons utilising the alfresco area at the front of the property.

The proposal considered by Council at its September 2017 meeting sought approval to open between 7am and 4pm in summer months and between 8am and 3.30pm during the winter months. The original approval was issued with opening hours between 8am to 3.30pm.

The retrospective component of the application consisted of the existing front and side fence (2.4 metres in height and constructed from timber panelling) and two advertising signs which were erected at the property without approval, one being a 'pylon sign' and the other painted on the front fence being a 'wall mounted sign'.

A comprehensive report with respect to this application, including a location plan, aerial image and photographs depicting the site as Appendices 1 and 2, was included as Item 11.3.7 in the Agenda for Council's meeting on 19 September 2017, with the officer's recommendation being as follows:

### RECOMMENDATION

*It is recommended that Council grant Development Approval for a restaurant, front and side fence and signage on Lot 168 (No. 91) Gingin Road, Lancelin, subject to the following conditions:*

- 1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;*
- 2. The front and side fence is to be reduced to 1.8 metres in height from the lower side within 45 days from the approval date, as marked in red ink on the approved plans;*
- 3. The vehicle reversing bay is to be appropriately line marked and sign posted to the satisfaction of the Shire of Gingin within 28 days from the approval date;*
- 4. The restaurant/café is only permitted to open up to 5 days a week, unless otherwise approved by the Shire of Gingin;*
- 5. In reference to condition 4, the landowner/manager is to advise the Shire of Gingin of the proposed operating days in writing within 28 days from the approval date;*
- 6. A minimum of five car parking bays, including the vehicle manoeuvring area, shall be provided onsite and shall not encroach on the Shire of Gingin road reserve;*
- 7. All car parking bays and vehicle manoeuvring areas shall be designed in accordance with Australian Standards 2890.2 – 2002;*
- 8. The parking area and crossover shall be constructed and paved/sealed to the satisfaction of the Shire of Gingin;*
- 9. The capacity of the Restaurant/Café is to be restricted to 20 patrons at any one time unless otherwise approved by the Shire of Gingin;*
- 10. The hours of operation shall be restricted to between 8am and 3.30pm; and*
- 11. This approval is valid for a period of 12 months from the approval date, after which time the restaurant land use must cease unless an extension has been applied for and granted.*

Following debate, Council's ultimate decision was as follows:

### ALTERNATIVE MOTION

*Moved Councillor Elgin, seconded Councillor Court that Council grant Development Approval for a restaurant, front and side fence and signage on Lot 168 (No. 91) Gingin Road, Lancelin, subject to the following conditions:*



1. *The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;*
2. *The vehicle reversing bay is to be appropriately line marked and sign posted to the satisfaction of the Shire of Gingin within 28 days from the approval date;*
3. *A minimum of five car parking bays, including the vehicle manoeuvring area, shall be provided onsite and shall not encroach on the Shire of Gingin road reserve;*
4. *All car parking bays and vehicle manoeuvring areas shall be designed in accordance with Australian Standards 2890.2 – 2002; and*
5. *The parking area and crossover shall be constructed and paved/sealed to the satisfaction of the Shire of Gingin.*

CARRIED  
6-3

For: Councillors Elgin, Smiles, Peczka, Court, Collard, Ammon  
Against: Councillors Roe, Fewster, Aspinall

#### REASON FOR ALTERNATIVE MOTION

*Council was of the view that Conditions 2, 4, 5, 9, 10 and 11 as contained within the officer's recommendation were unduly onerous.*

#### COMMENT

This motion seeks consideration by Council to placing conditions upon the land use that are not intended to be onerous for the applicant. The intent of these additional conditions is to demonstrate due regard for Council's Local Planning Scheme No. 9 (LPS 9) and the Shire's Local Planning Strategy.

LPS 9, in Part 3 – Zones and use of land, section 3.2 Objectives of the zones, indicates as follows:

##### 3.2.1 Residential Zone

*The objectives of the Residential Zone are to:*

- (a) *provide for a range of housing types and encourage a high standard of residential development;*
- (b) *maintain and enhance the residential character and amenity of the zone;*
- (c) *limit non-residential activities to those of which the predominant function is to service the local residential neighbourhood and for self-employment or creative activities, provided such activities have no detrimental effect on the residential amenity; and*
- (d) *ensure that the density of development takes cognisance of the availability of reticulated sewerage, the effluent disposal characteristics of the land and other environmental factors.*

The LPS also provides for a zoning table that lists the uses permitted in the Scheme area in the various zones. The application under consideration is for a restaurant (coffee/tea house), which is identified as an 'A' use. Section 3.3.2 of the LPS specifies that an 'A' use *means that the use is not permitted unless the local government has exercised its discretion by granting development approval after giving special notice in accordance with clause 64 of the deemed provisions.*

With a view to limiting the impact of the business on the amenity of the Residential Zone, I propose that Council impose a condition limiting the hours of operation for the business to a maximum of six days per week between the hours of 7.00am and 4.00pm. In order to provide a degree of flexibility for the proponents, I also propose that the business be entitled to remain open to 10pm on 12 individual days each year, and that the proponents be entitled to determine which days they will open within the maximum of six days per week, and also which days they will remain open to 10pm.

A further matter for consideration is the requirement to ensure that, when granting development approval, adherence to other legislation is taken into account. The original application of 2015 and subsequent renewal considered at Council's meeting of 19 September 2017 recommended limiting the total number of patrons to 20. My understanding is that the reason for this condition is that the current public amenities for the development only allow for up to 20 patrons.

Under the National Construction Code Series 2012, Building Code of Australia (BCA), class 2 to class 9 buildings, the development is a class 6, restaurant, cafes and bars. The current unisex amenity will cater for 20 patrons under the BCA. If more patrons are to be accommodated then a seating plan would be required to determine permitted numbers in order to demonstrate compliance against the BCA. In turn, this would require a certificate of occupancy and a certificate of design compliance from a private certifier. For this reason I am recommending in my notice of motion that Council restricts the number of patrons to 20 to ensure that the BCA requirements are being met.

I am also seeking support to limit the life of the approval to three years, which will provide Council with the opportunity to review the impact of this land use in the residential zone.

I believe that this land use is needed within the area and will support other recent developments within Lancelin (in particular the caravan park redevelopment). However, I believe that further consideration should be given to its potential impact upon amenity within the residential zone.

The additional conditions suggested will provide some comfort to the owners of land adjoining this land use within a residential zone, and demonstrate that Council has taken a balanced approach when exercising its discretionary powers.

## **STATUTORY ENVIRONMENT**

*Planning and Development (Local Planning Scheme) Regulations 2015*  
Schedule 2 – Deemed provisions for local planning schemes

*Local Planning Scheme No. 9*  
Part 3 – Zones and the Use of Land  
3.2 Objectives of the Zones  
3.2.1 Residential Zone

Building Code of Australia (BCA)

State Planning Policy 3.1 Residential Design Codes of Western Australia

**POLICY IMPLICATIONS**

Nil

**BUDGET IMPLICATIONS**

Nil

**STRATEGIC IMPLICATIONS**

Shire of Gingin Strategic Community Plan 2015-2025

|                   |  |
|-------------------|--|
| <b>Focus Area</b> | <i>Local Business</i>  |
| <b>Objective</b>  | <i>4. To facilitate local business growth</i>                |
| <b>Outcome</b>    | <i>4.2 Grow local business, employment and training</i>      |
| <b>Focus Area</b> | <i>Leadership and Governance</i>                             |
| <b>Objective</b>  | <i>5: To demonstrate effective leadership and governance</i> |
| <b>Outcome</b>    | <i>N/A</i>   |
| <b>Strategy</b>   | <i>N/A</i>   |

**VOTING REQUIREMENTS – SIMPLE MAJORITY**

**RECOMMENDATION**

It is recommended that Council agree to amend the Development Approval granted at its meeting on 19 September 2017 (Item 11.3.7) for a restaurant, front and side fence and signage on Lot 168 (No. 91) Gingin Road, Lancelin by adding the following conditions:

1. The following hours of operation are applicable to this approval unless otherwise approved by the Shire of Gingin:
  - a. The restaurant/cafe shall be permitted to open up to a maximum of six days per week (specific days to be determined by the applicant);
  - b. General hours of operation over the six days shall be from 7.00am to 4.00pm; and
  - c. The restaurant/cafe shall be entitled to remain open until 10.00pm for a maximum of 12 days per year (specific days to be determined by the applicant).
2. The capacity of the restaurant/café is to be restricted to 20 patrons at any one time unless otherwise approved by the Shire of Gingin.
3. The approval is valid for a period of three years from the approval date, after which time the restaurant land use must cease unless an extension has been applied for and granted.

## MOTION

Moved Councillor Aspinall, seconded Councillor Fewster that Council agree to amend the Development Approval granted at its meeting on 19 September 2017 (Item 11.3.7) for a restaurant, front and side fence and signage on Lot 168 (No. 91) Gingin Road, Lancelin by adding the following conditions:

1. The following hours of operation are applicable to this approval unless otherwise approved by the Shire of Gingin:
  - a. The restaurant/cafe shall be permitted to open up to a maximum of six days per week (specific days to be determined by the applicant);
  - b. General hours of operation over the six days shall be from 7.00am to 4.00pm; and
  - c. The restaurant/cafe shall be entitled to remain open until 10.00pm for a maximum of 12 days per year (specific days to be determined by the applicant).
2. The capacity of the restaurant/café is to be restricted to 20 patrons at any one time unless otherwise approved by the Shire of Gingin.
3. The approval is valid for a period of three years from the approval date, after which time the restaurant land use must cease unless an extension has been applied for and granted.

## AMENDMENT

Moved Councillor Elgin, seconded Councillor Ammon that Part 2 be amended by deleting "20 patrons" and inserting "30 patrons" and part 3 be deleted.

LOST  
4-5

For: Councillors Elgin, Peczka, Court and Ammon  
Against: Councillors Smiles, Roe, Collard, Aspinall and Fewster

## AMENDMENT

Moved Councillor Smiles, seconded Councillor Court that Part 3 be amended by deleting "three years" and inserting "five years".

CARRIED  
5-4

For: Councillors Smiles, Court, Elgin, Ammon and Peczka  
Against: Councillors Collard, Aspinall, Fewster and Roe

## REASON FOR AMENDMENT

*Council was of the view that a longer approval period would provide the applicant with greater security in establishing and developing their business.*

*The Amendment formed part of the substantive motion, which was then put.*

## **RESOLUTION**

**Moved Councillor Aspinall, seconded Councillor Fewster that Council agree to amend the Development Approval granted at its meeting on 19 September 2017 (Item 11.3.7) for a restaurant, front and side fence and signage on Lot 168 (No. 91) Gingin Road, Lancelin by adding the following conditions:**

- 1. The following hours of operation are applicable to this approval unless otherwise approved by the Shire of Gingin:**
  - a. The restaurant/cafe shall be permitted to open up to a maximum of six days per week (specific days to be determined by the applicant);**
  - b. General hours of operation over the six days shall be from 7.00am to 4.00pm; and**
  - c. The restaurant/cafe shall be entitled to remain open until 10.00pm for a maximum of 12 days per year (specific days to be determined by the applicant).**
- 2. The capacity of the restaurant/café is to be restricted to 20 patrons at any one time unless otherwise approved by the Shire of Gingin.**
- 3. The approval is valid for a period of five years from the approval date, after which time the restaurant land use must cease unless an extension has been applied for and granted.**

**CARRIED**

**7-2**

**For: Councillors Elgin, Smiles, Roe, Collard, Aspinall, Fewster and Ammon**  
**Against: Councillors Peczka and Court**

*The Executive Manager Planning and Development left Council Chambers at 4:39pm and returned at 4:40pm*

### **13. COUNCILLORS' OFFICIAL REPORTS**

#### **13.1 CANDIDATE INFORMATION SESSIONS – LOCAL GOVERNMENT ELECTIONS**

**LOCATION:** GINGIN AND LANCELIN  
**FILE:** GOV/20-1  
**COUNCILLOR:** FRANK PECZKA  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Peczka advised that he attended the Shire's Candidate information sessions at Gingin and Lancelin for the upcoming Local Government elections.

He would like to express his appreciation and thanks to the representative from the WA Electoral Commission, appointed Returning Officer, Shire's CEO and Staff for their organisation of the Candidate Information sessions, they were well prepared and informative.

#### **13.2 LANCELIN COMMUNITY ART EXHIBITION HOSTED BY DADAA**

**LOCATION:** LANCELIN  
**FILE:** GOV/20-1  
**COUNCILLOR:** FRANK PECZKA  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Peczka advised that he attended the official opening of the Lancelin Community Art Exhibition at Wangaree Community Centre on Friday 22<sup>nd</sup> September 2017.

It was a great display and some fantastic art work presented by the local artists.

#### **13.3 NORTHERN VALLEYS WATER RESOURCE MANAGEMENT FORUM**

**FILE:** GOV/20-1  
**COUNCILLOR:** SANDRA SMILES  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Smiles advised that she attended the Northern Valleys Water Resource Management Forum on the 27 September 2017. This was a successful day run by Perth NRM with a variety of presenters. The forum was aimed at producers in regional areas who rely on groundwater for production purposes. It was well attended and she believed that the presentation copies that were available would be a useful resource for other groups.

Cr Smiles advised that she had provided Administration with some suggestions for consideration by the Gingin Water Advisory Committee. She believed that a number of subcommittees would be requested, particularly to address over allocation of resources in Gingin West and ground water contamination in the vicinity of the Gingin airstrip.

### **13.4 LANCELIN COMMUNITY ART EXHIBITION HOSTED BY DADAA**

**LOCATION:** LANCELIN  
**FILE:** GOV/20-1  
**COUNCILLOR:** JAN COURT  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Court advised that she attended the official opening of the Lancelin Community Art Exhibition at Wangaree Community Centre on Friday 22 September 2017.

It was a great night and Councillor Court suggested that the Shire could get involved in the Community Art Award to involve a larger prize money.

Councillor Court also attended both Candidate Information Sessions held at the Shires Gingin and Lancelin Offices for the upcoming elections.

### **13.5 THANKS TO RETIRING COUNCILLORS – ELECTIONS**

**FILE:** GOV/20-1  
**COUNCILLOR:** WAYNE FEWSTER  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Fewster expressed his appreciation to Councillors Roe and Smiles respective contributions to the community. Councillor Fewster also wished Councillors Aspinall and Ammon all the best in the elections to be held 21 October 2017.

### **13.6 THANKS TO RETIRING COUNCILLORS – ELECTIONS**

**FILE:** GOV/20-1  
**COUNCILLOR:** MICHAEL ASPINALL  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Aspinall expressed his best wishes to Councillor Ammon in the elections on Saturday, 21 October 2017. Councillor Aspinall thanked retiring Councillors Smiles and Roe for their contributions to Council and hoped to see them both back in the Council Chamber in the future.

### **13.7 THANKS TO RETIRING COUNCILLORS – ELECTIONS**

**FILE:** GOV/20-1  
**COUNCILLOR:** IAN COLLARD  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Collard expressed his thanks to Councillor Smiles in particular for her commitment to the Lancelin Sporting Group. He also thanked Councillor Roe for his commitment to Council. Councillor Collard served on Council with Councillor Roe's father and expressed his high opinion of the Roe family.



### **13.8 THANKS TO COUNCIL**

**LOCATION:** GINGIN  
**FILE:** GOV/20-1  
**COUNCILLOR:** DAVID ROE  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Roe thanked Council for the support and advice he has received over his time as a Councillor. Councillor Roe commented that he had made lifetime friends following his election to Council on 9 May 2005. He expressed thanks to all and in particular to the Chief Executive Officer, Jeremy Edwards for the guidance and support provided during his term as Shire President from 20 October 2015. He wished Council all the best for the future.

### **13.9 THANKS TO COUNCIL**

**LOCATION:** GINGIN  
**FILE:** GOV/20-1  
**COUNCILLOR:** SANDRA SMILES  
**REPORT DATE:** 17 OCTOBER 2017

Councillor Smiles expressed her thanks to Council.

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### **14. NEW BUSINESS OF AN URGENT NATURE**

Nil

**15. MATTERS FOR WHICH MEETING IS TO BE CLOSED TO THE PUBLIC**

**RESOLUTION**

**Moved Councillor Court, seconded Councillor Elgin that Council move into a confidential session to discuss Items 15.1.**

**CARRIED UNANIMOUSLY**

*The meeting was closed to the public and the Executive Manager Corporate Community Services, Executive Manager Assets, Acting Executive Manager Operations-Construction, Executive Manager Planning and Development and Council Support Officer left Council Chambers at 4.50pm*

**15.1 CHIEF EXECUTIVE OFFICER ANNUAL PERFORMANCE REVIEW - 2017**

|                           |   |
|---------------------------|---|
| <b>FILE:</b>              | <b>PER/239</b>                                  |
| <b>REPORTING OFFICER:</b> | <b>JEREMY EDWARDS – CHIEF EXECUTIVE OFFICER</b> |
| <b>REPORT DATE:</b>       | <b>17 OCTOBER 2017</b>                          |
| <b>REFER:</b>             | <b>ITEM 16.3 19 FEBRUARY 2013</b>               |
|                           | <b>ITEM 16.1 21 MAY 2013</b>                    |
|                           | <b>ITEM 16.1 15 OCTOBER 2013</b>                |
|                           | <b>ITEM 16.1 21 OCTOBER 2014</b>                |
|                           | <b>ITEM 15.1 16 DECEMBER 2014</b>               |
|                           | <b>ITEM 15.1 6 OCTOBER 2015</b>                 |
|                           | <b>ITEM 15.1 19 JULY 2016</b>                   |
|                           | <b>ITEM 15.3 20 DECEMBER 2016</b>               |
|                           | <b>ITEM 15.3 20 JUNE 2017</b>                   |

**Reason for Confidentiality**

This Report is **CONFIDENTIAL** in accordance with Section 5.23 (2) of the *Local Government Act 1995* which permits the meeting to be closed to the public for business relating to the following:

- (b) *the personal affairs of any person;*
- (d) *legal advice obtained, or which may be obtained, by the local government and which relates to a matter to be discussed at the meeting;*
- (f) *a matter that if disclosed, could be reasonably expected to –*
  - (i) *impair the effectiveness of any lawful method or procedure for preventing, detecting, investigating or dealing with any contravention or possible contravention of the law.*

## RESOLUTION

**Moved Councillor Elgin, seconded Councillor Court that Council:**

- 1. Receive and endorse the Chief Executive Officer's 2017 Performance Review and note the officer's satisfactory performance;**
- 2. Agree to convert a portion of Council's additional superannuation contribution into salary for the Chief Executive Officer back-dated to 1 July 2017, noting that the overall remuneration package for the Chief Executive Officer has not increased; and**
- 3. In accordance with clause 7 of the Chief Executive Officer's contract of employment, and noting the officer's satisfactory performance, agree that the cash component of the remuneration package be increased by 1%, being the Consumer Price Index applicable at 30 March 2017.**

**CARRIED UNANIMOUSLY**

## RESOLUTION

**Moved Councillor Peczka, seconded Councillor Ammon that the meeting be re-opened to the public.**

**CARRIED UNANIMOUSLY**

*The meeting re-opened to the public at 5.19pm. No staff members or members of the public returned to the Gallery.*

## **16. CLOSURE**

There being no further business, the Shire President declared the meeting closed at 5.20pm.

The next Ordinary meeting of Council will be held in Council Chambers at the Shire of Gingin Administration Centre, 7 Brockman Street, Gingin on Tuesday, 21 November 2017 commencing at 3.00pm.

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Councillor .....  
Shire President  
21 November 2017