



MINUTES

ORDINARY MEETING

OF COUNCIL

15 AUGUST 2017



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FOR
ORDINARY MEETING OF
COUNCIL
HELD ON 15 AUGUST 2017**

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SHIRE OF GINGIN

MINUTES OF THE ORDINARY MEETING OF THE SHIRE OF GINGIN HELD IN THE COUNCIL CHAMBER ON TUESDAY, 15 AUGUST 2017 AT 3.03PM

DISCLAIMER

Members of the Public are advised that decisions arising from this Council Meeting can be subject to alteration.

Applicants and other interested parties should refrain from taking any action until such time as written advice is received confirming Council's decision with respect to any particular issue.

ORDER OF BUSINESS

1. DECLARATION OF OPENING

The Shire President declared the meeting open at 3.03pm and welcomed those in attendance.

2. RECORD OF ATTENDANCE, APOLOGIES AND LEAVE OF ABSENCE

2.1 ATTENDANCE

Councillors – D W Roe (Shire President), I B Collard (Deputy Shire President), V Ammon, M Aspinall, J Court, J W Elgin, C W Fewster and F J Peczka.

Staff – K Lowes (Acting Chief Executive Officer), Z Edwards (Acting Executive Manager Corporate and Community Services), A Butcher (Executive Manager Operations-Construction), L Edwards (Executive Manager Planning and Development), K Bacon (Manager Statutory Planning) and L Burt (Governance/Minute Officer).

Gallery – There were 14 members of the public present in the Gallery.

2.2 APOLOGIES

Nil

2.3 LEAVE OF ABSENCE

Councillor S Smiles

3. DISCLOSURES OF INTEREST

Nil

4. PUBLIC QUESTION TIME

4.1 RESPONSES TO PUBLIC QUESTIONS PREVIOUSLY TAKEN ON NOTICE

Nil

4.2 PUBLIC QUESTIONS

4.2.1 Diane Mossenson, Carnarvon Crescent, Coolbinia Item 11.3.4 Application for Development Approval – Proposed Agriculture Intensive (Irrigation Dam) on Lot 437 Lennards Road, Lennard Brook

Q1. *Has Council engaged a structural engineer to review and sign off on the proposal and, if not, has Council the correct insurance in place should the dam fail and cause damage to property, house and life?*

A1. The Shire has not commissioned a structural engineer to report in relation to this application. However, the Shire is in receipt of a engineering certificate supplied by the applicant, stating that the design of the dam is adequate.

Q2. *Has Council considered requesting that the dam be located elsewhere on the property where the risk of damage to neighbours' property is removed?*

A2. The proposed location is compliant. Even if the dam was moved further west, in the event of a breach there would still be runoff down the road and into the Brook.

Q3. *Does Council know what the water allocation is for the property in question, specifically how the dam is to be filled, and has Council considered the impact of the dam on surrounding properties and the environment?*

A3. Allocation of water is the jurisdiction of the Department of Water rather than the Shire of Gingin. As stated in the Officer's report, the dam will be filled from a bore and the applicant has a 1.5 gigalitre water licence.

5. PETITIONS, DEPUTATIONS AND PRESENTATIONS

5.1 PETITIONS

Nil

5.2 DEPUTATIONS

5.2.1 Guilderton Country Club Tavern Licence

Speaker/s: Eric Corke, Kerry Enright

5.2.2 Item 11.3.2 Application for Planning Approval – Proposed Outbuilding, Hardstand and Storage on Lot 435 (35) Walker Avenue, Lancelin

Speaker/s: Kim Scaddan

5.3 PRESENTATIONS

Nil

6. APPLICATIONS FOR LEAVE OF ABSENCE

Nil

7. CONFIRMATION OF MINUTES

RECOMMENDATION

It is recommended that:

1. The Minutes of the Ordinary Meeting of Council held on 18 July 2017 be confirmed.
2. The Minutes of the Special Meeting of Council held on 1 August 2017 be confirmed.

RESOLUTION

Moved Councillor Ammon, seconded Councillor Aspinall that:

1. The Minutes of the Ordinary Meeting of Council held on 18 July 2017 be confirmed.
2. The Minutes of the Special Meeting of Council held on 1 August 2017 be confirmed.

CARRIED UNANIMOUSLY

8. ANNOUNCEMENTS BY THE PRESIDING MEMBER

Nil

9. UNRESOLVED BUSINESS FROM PREVIOUS MEETINGS

Nil

10. QUESTIONS BY MEMBERS OF WHICH DUE NOTICE HAS BEEN GIVEN

Nil

11. REPORTS

11.1. OFFICE OF THE CEO

11.1.1 AMENDMENT OF DELEGATIONS - DELEGATION 3.2 BUSH FIRES ACT 1954 - PROSECUTION OF OFFENCES, DELEGATION 4.5 FOOD ACT 2008 - PROHIBITION ORDERS AND DELEGATION 4.6 FOOD ACT 2008 - REGISTRATION OF FOOD BUSINESSES

FILE:	GOV/15	
AUTHOR:	LEE-ANNE BURT – GOVERNANCE OFFICER	
REPORTING OFFICER:	KAYE LOWES – ACTING CHIEF EXECUTIVE OFFICER	
REPORT DATE:	15 AUGUST 2017	
REFER:	17 JUNE 2014	ITEM 11.1.1

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider amending delegated positions under Delegations 3.2, 4.5 and 4.6 to reflect changes arising from the recent organisational restructure.

BACKGROUND

Under the *Local Government Act 1995*, Councils have the ability to delegate many of their powers to the Chief Executive Officer, who may then sub-delegate those powers as he sees fit. However, this power of sub-delegation does not apply to delegations granted under legislation other than the *Local Government Act 1995*.

Council's current Delegated Authority Register contains certain delegations under the *Bush Fires Act 1954* and the *Food Act 2008*, which do not provide any power of sub-delegation. Therefore, delegations under these Acts must be made directly by Council to relevant positions.

Council has delegated power to the Chief Executive Officer (via Delegation 1.17 Amending and Updating Delegations and Policies) to *make routine updates to the Shire's Delegation and Policy Manuals to reflect matters such as changes in staff position titles, changes to amounts as a result of budget adoption and CPI and changes to relevant legislation, without the need to seek a resolution of Council*. However, in instances where the change in staff position involves the creation of a completely new position, it is deemed prudent to seek Council's endorsement.

COMMENT

As a result of the recent organisational restructure, the position of Executive Manager Regulatory Services has been abolished, and most of the delegations applying to that position have been reassigned as necessary by the Chief Executive Officer by way of sub-delegation. However, the following delegations under the *Bush Fires Act 1954* and the *Food Act 2008* are direct delegations from Council.

Delegation 3.2 *Bush Fires Act 1954* – Prosecution of Offences

Delegation 3.2 empowers officers to consider offences alleged to have been committed against the *Bush Fires Act 1954* and, if necessary, to institute and carry out proceedings in the name of the Shire against any person alleged to have committed such an offence.

Currently, the power to prosecute offences under section 59(3) of the *Bush Fires Act 1954* is delegated to the positions of Chief Executive Officer, Executive Manager Regulatory Services and the Community Emergency Services Manager/Chief Bush Fire Control Officer.

Responsibility for Ranger Services now falls within the portfolio of Planning and Development. It is therefore requested that the delegation be granted to the new position of Executive Manager Planning and Development.

In addition, it is also suggested that consideration be given to further extending Delegation 3.2 to the position of Coordinator Ranger and Health Services, which is responsible for supporting the day-to-day operations of Ranger Services officers.

A copy of Delegation 3.2 incorporating the proposed amendments is provided as **Appendix 1**.

Delegation 4.5 *Food Act 2008* – Prohibition Orders

Delegation 4.5 empowers officers to serve a prohibition order on the proprietor of a food business, to issue a certificate of clearance with respect to a prohibition order, or to give written notification to the proprietor of a food business on whom a prohibition order has been served of any decision not to give a certificate of clearance after an inspection.

Currently, this delegation is granted to the positions of Executive Manager Regulatory Services and Principal Environmental Health Officer.

Responsibility for Health Services also now falls within the portfolio of Planning and Development. It is therefore requested that the delegation be granted to the Executive Manager Planning and Development.

A copy of Delegation 4.5 incorporating the proposed amendment is provided as **Appendix 2**.

Delegation 4.6 *Food Act 2008* – Registration of Food Businesses

Delegation 4.6 empowers officers to grant, apply conditions to, refuse, vary or cancel registration of a food business.

Currently, this delegation is granted to the positions of Executive Manager Regulatory Services and Principal Environmental Health Officer.

Responsibility for Health Services now falls within the portfolio of Planning and Development. It is therefore requested that the delegation be granted to the Executive Manager Planning and Development.

A copy of Delegation 4.6 incorporating the proposed amendment is provided as **Appendix 3**.

STATUTORY ENVIRONMENT

Bush Fires Act 1954

Part V – Miscellaneous

Section 59 – Prosecution of offences

Food Act 2008

Part 6 – Improvement notices and prohibition orders

Division 2 – Prohibition orders

Section 65 – Prohibition order

Section 66 – Certification of clearance to be given in certain circumstances

Section 67 – Request for re-inspection

Part 9 – Registration of food businesses

Section 110 – Registration of food businesses

Section 112 – Variation of conditions or cancellation of registration of food businesses

Part 10 – Administration

Division 2 – Functions of enforcement agencies

Section 118 – Functions of enforcement agencies and delegation

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015-2025

<i>Focus Area</i>	<i>Leadership and Governance</i>
<i>Objective</i>	<i>5. To demonstrate effective leadership and governance</i>
<i>Outcome</i>	<i>5.2 Accountable and responsible governance</i>
<i>Strategy</i>	<i>N/A</i>

VOTING REQUIREMENTS – ABSOLUTE MAJORITY

RECOMMENDATION

It is recommended that Council:

1. Extend Delegation 3.2 *Bush Fires Act 1954* – Prosecution of Offences to the positions of Executive Manager Planning and Development and Coordinator Ranger and Health Services and adopt the amended Delegation 3.2 as shown in Appendix 1.
2. Extend Delegation 4.5 *Food Act 2008* – Prohibition Orders to the position of Executive Manager Planning and Development and adopt the amended Delegation 4.5 as shown in Appendix 2.
3. Extend Delegation 4.6 *Food Act 2008* – Registration of Food Businesses to the position of Executive Manager Planning and Development and adopt the amended Delegation 4.6 as shown in Appendix 3.

RESOLUTION

Moved Councillor Aspinall, seconded Councillor Elgin that Council:

1. **Extend Delegation 3.2 *Bush Fires Act 1954* – Prosecution of Offences to the positions of Executive Manager Planning and Development and Coordinator Ranger and Health Services and adopt the amended Delegation 3.2 as shown in Appendix 1.**
2. **Extend Delegation 4.5 *Food Act 2008* – Prohibition Orders to the position of Executive Manager Planning and Development and adopt the amended Delegation 4.5 as shown in Appendix 2.**
3. **Extend Delegation 4.6 *Food Act 2008* – Registration of Food Businesses to the position of Executive Manager Planning and Development and adopt the amended Delegation 4.6 as shown in Appendix 3.**

**CARRIED BY ABSOLUTE MAJORITY
8-0**

APPENDIX 1



DELEGATION REGISTER

3.2 BUSH FIRES ACT 1954 – PROSECUTION OF OFFENCES

Legislative authority to delegate	<i>Bush Fires Act 1954 – s.59(3)</i>
Power exercised or duty delegated	<i>Bush Fires Act 1954 – s.59(3)</i>
Delegation to	Chief Executive Officer Executive Manager Planning and Development Community Emergency Services Manager/Chief Bush Fire Control Officer Coordinator Ranger and Health Services
Delegation	To consider offences alleged to have been committed against the <i>Bush Fires Act 1954</i> within the district, and if the delegate thinks fit, to institute and carry out proceedings in the name of the Shire against any person alleged to have committed any of those offences.
Conditions and exceptions	Nil
Minimum reporting requirement	Record to be placed on appropriate file.
CEO's Power to Delegate	Nil
CEO Delegates to	N/A
Conditions and Exceptions to On-Delegation	N/A

DELEGATION 3.2 - 1



DELEGATION REGISTER

Version	Decision Reference	Synopsis
1.	21/08/1997 – Item 5.1.3	New delegation adopted.
2.	Unknown	Delegation to Chief Bush Fire Control Officer and Shire Rangers repealed. Reference to issuing of infringement notices deleted (see Delegation 3.3). Delegation to Chief Executive Officer and Chief Bush Fire Control Officer to withdraw infringement notices deleted (see Delegation 3.4).
3.	17/06/2014 – Item 11.1.1	Amended by changing title and adding further delegations to the Executive Manager Regulatory Services and Manager Ranger and Fire Services/CBFCO.
4.	29/05/2015 – by decision of CEO under Del. 1.17.	Reference to Manager Ranger and Fire Services deleted and replaced with reference to Community Emergency Services Manager.
5.	15/08/2017 – Item	Sub-delegation to Executive Manager Regulatory Services deleted. Sub-delegation to Executive Manager Planning and Development and Coordinator Ranger and Health Services added.

APPENDIX 2



DELEGATION REGISTER

4.5 FOOD ACT 2008 – PROHIBITION ORDERS

Legislative authority to delegate	<i>Food Act 2008 – s.118(2)</i>
Power exercised or duty delegated	<i>Food Act 2008 – s.65 Food Act 2008 – s.66 Food Act 2008 – s.67(4)</i>
Delegation to	Executive Manager Planning and Development Principal Environmental Health Officer
Delegation	<ol style="list-style-type: none"> 1. To serve a prohibition order on the proprietor of a food business in accordance with Part 6 of the <i>Food Act 2008</i>. 2. To give a certificate of clearance with respect to a prohibition order served in accordance with Part 6 of the <i>Food Act 2008</i>. 3. To give written notification to the proprietor of a food business on whom a prohibition order has been served of any decision not to give a certificate of clearance after an inspection under s.66 or 67.
Conditions and exceptions	Nil
Minimum reporting requirement	Record to be placed on appropriate file.
CEO's Power to Delegate	Nil
CEO Delegates to	N/A
Conditions and Exceptions to On-Delegation	N/A

DELEGATION 4.5 - 1



DELEGATION REGISTER

Version	Decision Reference	Synopsis
1.	17/06/2014 – Item 11.1.1	New delegation adopted.
2.	29/05/2015 – by decision of CEO under Del. 1.17.	Reference to Environmental Health Technical Officer deleted and replaced by reference to Environmental Health Officer.
3.	24/07/2017 – by decision of CEO under Del. 1.17 (NM12038)	Reference to Environmental Health Officer deleted and replaced by reference to Principal Environmental Health Officer.
4.	15/08/2017 – Item 11.1.1	Sub-delegation to Executive Manager Regulatory Services deleted. Sub-delegation to Executive Manager Planning and Development added.

APPENDIX 3



DELEGATION REGISTER

4.6 FOOD ACT 2008 – REGISTRATION OF FOOD BUSINESSES

Legislative authority to delegate	<i>Food Act 2008 – s.118(2)</i>
Power exercised or duty delegated	<i>Food Act 2008 – s.110</i> <i>Food Act 2008 – s.112</i>
Delegation to	Executive Manager Planning and Development Principal Environmental Health Officer
Delegation	To grant, apply conditions to, refuse, vary or cancel registration of a food business.
Conditions and exceptions	Nil
Minimum reporting requirement	Record to be placed on appropriate file.
CEO's Power to Delegate	Nil
CEO Delegates to	N/A
Conditions and Exceptions to On-Delegation	N/A

Version	Decision Reference	Synopsis
1.	17/06/2014 – Item 11.1.1	<i>New delegation adopted.</i>
2.	29/05/2015 – by decision of CEO under Del. 1.17.	Reference to Environmental Health Technical Officer deleted and replaced by reference to Environmental Health Officer.
3.	24/07/2017 – by decision of CEO under Del. 1.17 (NM12038)	Reference to Environmental Health Officer deleted and replaced by reference to Principal Environmental Health Officer.
4.	15/08/2017 – Item 11.1.1	Sub-delegation to Executive Manager Regulatory Services deleted. Sub-delegation to Executive Manager Planning and Development added.

11.1.2 SHIRE OF GINGIN CORPORATE BUSINESS PLAN 2017 - 2021

FILE: COR/37
AUTHOR: KAYE LOWES - EXECUTIVE MANAGER CORPORATE
& COMMUNITY LINDA FIDGE – COORDINATOR
CORPORATE PLANNING
REPORTING OFFICER: KAYE LOWES – ACTING CHIEF EXECUTIVE OFFICER
REPORT DATE: 15 AUGUST 2017
REFER: 5 JULY 2016 ITEM 11.2
18 AUGUST 2015 ITEM 11.1.1
16 AUGUST 2016 ITEM 11.1.1

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider the adoption of the draft Shire of Gingin Corporate Business Plan 2017-2021.

BACKGROUND

The *Local Government Act 1995* (sect. 5.56) and its supporting regulations require local governments throughout Western Australia to 'Plan for the Future' by developing a series of strategies and plans including a Strategic Community Plan and Corporate Business Plan as part of the State Government's Integrated Planning and Reporting Framework.

In accordance with the *Local Government (Administration) Regulations 1996* (Section 19DA), the Shire of Gingin is to ensure that it maintains a rolling four year Corporate Business Plan, revised annually. The Corporate Business Plan is to put into action the Shire's Strategic Community Plan 2017-2027 (adopted by Council on 20 June 2017) and focuses on specific Actions to be undertaken over the next four years. The Corporate Business Plan is used to drive the Annual Budget process and is integrated with the Shire's Long Term Financial, Asset Management and Workforce Plans.

In practice, the first year of the Corporate Business Plan, covering the 2017/18 financial year, is consistent with and reflects the Shire of Gingin's adopted budget (adopted by Council 4 July 2017 Item 11.2.1).

Specific actions and projects identified within the Corporate Business Plan beyond the 2017/18 financial year are therefore subject to ongoing review by Council. This means that these projects will be formally revised annually in response to:

- changing community expectations and priorities as well as any new or amended planning documents or legislative requirements;
- the outcomes of grant funding and project feasibility assessments;
- unanticipated major events such as natural disasters; and
- the Shire's capacity to deliver.

This includes, for example, potential service reviews and the major review of the Strategic Community Plan recently undertaken.

Regulation 19DA of the *Local Government (Administration) Regulations 1996* specifies that the Shire must meet the following Corporate Business Plan requirements:

- (1) *A local government is to ensure that a corporate business plan is made for its district in accordance with this regulation in respect of each financial year after the financial year ending 30 June 2013.*
- (2) *A corporate business plan for a district is to cover the period specified in the plan, which is to be at least 4 financial years.*
- (3) *A corporate business plan for a district is to —*
 - (a) *set out, consistently with any relevant priorities set out in the strategic community plan for the district, a local government's priorities for dealing with the objectives and aspirations of the community in the district; and*
 - (b) *govern a local government's internal business planning by expressing a local government's priorities by reference to operations that are within the capacity of the local government's resources; and*
 - (c) *develop and integrate matters relating to resources, including asset management, workforce planning and long term financial planning.*
- (4) *A local government is to review the current corporate business plan for its district every year.*
- (5) *A local government may modify a corporate business plan, including extending the period the plan is made in respect of and modifying the plan if required because of modification of the local government's strategic community plan.*
- (6) *A council is to consider a corporate business plan, or modifications of such a plan, submitted to it and is to determine* whether or not to adopt the plan or the modifications.*

**Absolute majority required.*

- (7) *If a corporate business plan is, or modifications of a corporate business plan are, adopted by the council, the plan or modified plan applies to the district for the period specified in the plan.*

The draft Corporate Business Plan 2017-2021 is presented for Council's consideration **(Appendix 1)**.

COMMENT

The draft Corporate Business Plan 2017-2021 has been prepared to prioritise actions from the Shire's Strategic Community Plan 2017-2027.

The draft Corporate Business Plan:

- was taken into account when preparing the Shire of Gingin's 2017/18 Annual Budget;
- translates the Community Strategic Plan into actions;
- provides a link to existing service delivery that supports achieving the aspirations and outcomes set out in the Strategic Community Plan;
- links to the 10-Year Capital Works Program and Operational Major Projects Plan; and
- aligns with the financial and other resources set out in the Asset Management Plan, Long Term Financial Plan and Workforce Plan.

STATUTORY ENVIRONMENT

Local Government Act 1995

Section 5.56 – Planning for the future

Local Government (Administration) Regulations 1996

Regulation 19DA – Corporate business plans, requirements for (Act s. 5.56)

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

The draft Corporate Business Plan supports and is integrated with the Shire's Long Term Financial Plan and Annual Budget process.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

Focus Area	<i>5. Governance</i>
Outcome	<i>Values – Our Organisation/Business Values are demonstrated in all that we do</i>
Key Service Area	<i>Integrated Planning and Reporting</i>
Priorities	<i>5.1.2 Improve the financial position of the Shire (>WDC)</i>

VOTING REQUIREMENTS – ABSOLUTE MAJORITY

RECOMMENDATION

It is recommended that Council adopt the draft Corporate Business Plan 2017-2021, as shown at Appendix 1, in accordance with Section 5.56 of the *Local Government Act 1995* and Regulation 19DA of the *Local Government (Administration) Regulations 1996*.

RESOLUTION

Moved Councillor Ammon, seconded Councillor Court that Council adopt the draft Corporate Business Plan 2017-2021, as shown at Appendix 1, in accordance with Section 5.56 of the *Local Government Act 1995* and Regulation 19DA of the *Local Government (Administration) Regulations 1996*.

**CARRIED BY ABSOLUTE MAJORITY
8-0**

APPENDIX 1

Shire of Gingin
Corporate Business Plan
2017-2021

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Abbreviations	
Lead Administrative Responsibility	Forward Capital Works & Major Projects
ASSETS, Built Infrastructure	
CEO, Chief Executive Officer	
CCS, Corporate and Community Services	CF, Carry Forward
OPS, Operations	CW, Capital Works
PD, Planning & Development	OMP, Operating Major Projects

Introduction

The Shire of Gingin's annual four year Corporate Business Plan is an important component of the Shire's Integrated Planning and Reporting processes. It supports the Shire in its efforts to work towards achieving its Vision, outlined in the Strategic Community Plan 2017-2027 (SCP):

Our Vision

"We are a welcoming and progressive community that celebrates its diversity and unique rural & coastal environment."

For each area of the SCP, specific actions have been identified in the Corporate Business Plan. The Corporate Business Plan also outlines the Shire's key areas of service delivery and their contributions to the SCP Objectives and Outcomes.

The Wheatbelt Development Commission is a statutory authority of the Western Australian Government and plays a central role in supporting collaboration and partnerships in our region. The SCP contributes to and aligns with the *Wheatbelt Regional Investment Blueprint Roadmap for Growth* (WDC 2015) and was developed in response to other strategies referenced in the *Review Context Research Paper*. Throughout the Shire's Corporate Business Plan, links to the *Investment Blue Print Roadmap for Growth* are indicated with (>WDC).



In addition, the Regional Institute of Australia (2016) has developed an index of regional competitiveness for Australia's 563 Local Government Areas and 60 Regional Development Areas. The Index ranks performance across ten themes and 68 indicators. These indicators highlight for the Shire, important areas of strength and opportunity for improvement.

Understanding how the Shire's Priorities will contribute towards improving these indicators is also important to developing successful partnerships. Priorities that contribute towards improving these Indicators are shown with (>RCI). The supporting document Regional Synergies provides further details on these strategic linkages and is available on the Shire's website.

Importantly, the Corporate Business Plan brings together the Shire's long-term financial, asset and workforce planning into a four-year action plan to deliver on the SCP.

**Table 1 Strategic Community Plan
Community Aspirations & Council Objectives**

Focus Area	Community Aspiration	Council Objective
	What Community would like to see in the future	Council's Objective to support this Aspiration
Community Wellbeing	An active, healthy and safe community with a range of easily accessible services and facilities.	To support the Shire of Gingin community to be inclusive, vibrant, healthy & safe through the Shire's service delivery.
Natural Environment	The Shire of Gingin's natural assets are protected for future generations and recognised as one of the greatest sources of pride in our community.	To develop the Shire's capacity to support the conservation of natural assets and undertake sustainable resource management.
Infrastructure & Development	High quality community infrastructure and development.	To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner.
Economic Development	A strong economy based on tourism, agriculture, resources and supportive industries.	To support economic development through the Shire's service delivery.
Governance	Progressive and transparent leadership, which is contemporary and involves the community in responsible governance.	To demonstrate effective leadership, governance and advocacy on behalf of community.

Resourcing & Performance

The Corporate Business Plan 2017-2021 Actions will be:

- led through one of the Shire's key areas of service delivery; and
- delivered through projects included in Annual Budgets and the Long Term Financial Plan.

The operational progress of Actions and projects will be monitored quarterly and overall performance reported annually to community. The SCP's Key Performance Indicators will also be reported annually to community.

In practice, the first year of the Corporate Business Plan, covering the 2017/18 financial year, is consistent with and reflects the Shire of Gingin's Annual Budget 2017/18.

The Corporate Business Plan, revised annually, is used to drive the Annual Budget process and is integrated with the Shire's Long Term Financial, Asset Management and Workforce Plans.



The Shire's key areas of service delivery are funded through the Shire's Expenditure Programs. These Programs are defined by regulation and are reported for all Councils in Western Australia through the *MyCouncil* website. The revenue and expenditure for each Program for 2017/18 is provided in Table 2.

Table 2 Revenue and Expenditure by Program

Program	Revenue 2017/18 Budget \$	Expense 2017/18 Budget \$
Governance	\$0	(\$1,121,949)
General Purpose Funding	\$8,934,925	(\$371,628)
Law, Order, Public Safety	\$449,083	(\$1,341,733)
Health	\$290,000	(\$647,945)
Education & Welfare	\$117,000	(\$209,182)
Housing	\$23,400	(\$30,460)
Community Amenities	\$1,663,038	(\$2,650,997)
Recreation and Culture	\$600,694	(\$2,984,794)
Transport	\$1,791,539	(\$4,220,571)
Economic Services	\$1,930,203	(\$1,635,636)
Other Property Services	\$216,550	(\$703,579)
Total	\$16,016,432	(\$15,918,474)
<i>Note: Revenue includes all revenue from Rates, Operating Grants and Non-operating Grants, Subsidies and Contributions and is based on the Statement of Comprehensive Income adopted in the 2017-18 Budget. Revenue raised under General Purpose funding (Operating Grants and Rates) is used to resource the Shire's diverse range of Services as shown in the budgeted Expense</i>		

The estimated value of capital and operating major projects identified in the 2017/18 Annual Budget and identified for inclusion in the Long Term Financial Plan over the next four years is summarised in Table 3 by the Strategic Community Plan Focus Area.

Table 3 2016-20 Capital, Asset Improvement and Operating Major Projects Estimated Expenditure by Strategic Community Plan Focus Area*

Strategic Community Plan Focus Area	2017/18	2018/19	2019/20	2020/21
Community Wellbeing	\$1,025,979 (16%)	\$836,378 (8%)	\$857,288 (12%)	\$265,700 (3%)
Natural Environment	\$161,237 (2%)	\$0 (0%)	\$60,000 (1%)	\$0 (0%)
Infrastructure and Development	\$4,171,872 (65%)	\$7,104,297 (70%)	\$4,299,129 (58%)	\$6,072,068 (58%)
Economic Development	\$1,056,546 (16%)	\$961,535 (9%)	\$835,406 (11%)	\$2,141,693 (21%)
Governance	\$49,213 (1%)	\$1,266,000 (12%)	\$1,386,000 (19%)	\$1,927,723 (19%)
Total	\$6,464,847	\$10,168,210	\$7,437,823	\$10,407,184
<p><i>Note: Estimated capital and operating major projects expenditure is based on the adopted 2017/18 Budget and the Long Term Financial Plan 2017-2027. The significant increase in forecast expenditure in 2018/19 and 2020/21 is due to major projects that are subject to, and dependant on, grant funding and/or a loan contribution arrangement. This includes the Upgrade Weld Street Bridge – Gingin valued at just over \$3 Million in 2018/19 (under Infrastructure and Development) and in 2020/21, Cowalla Road Bridge Construction valued at just over \$1.7 Million (under Infrastructure and Development) and the Lancelin to Ledge Point Road and Bicycle Path construction (2nd year) valued at just over \$2 Million (under Economic Development).</i></p>				

Major projects identified in the adopted Annual Budget 2017/18 and Long Term Financial Plan 2017-2027 for the next four years are included in the Corporate Business Plan under the relevant Action. These include Carry Forward Projects, Capital Projects valued at over \$100,000 and Operating Major Projects valued over \$50,000.

The Shire's key areas of service delivery are outlined in the following table and includes their contribution to the Strategic Community Plan 2017-2027 Objectives. All Actions within the Corporate Business Plan have been aligned to one of these areas of service delivery.

Table 4 Key Areas of Service Delivery and Relationship to Strategic Community Plan

Service Area	Lead	Community Wellbeing			Natural Environment		Infrastructure & Development			Economic Development			Governance		
		C.1	C.2	C.3	E.1	E.2	ID.1	ID.2	ID.3	ED.1	ED.2	ED.3	G.1	G.2	G.3
Advocacy	CEO	✓		✓					✓	✓					✓
Building and Planning Permits	PD						✓								
Local Emergency Services	CEO			✓											
Caravan Parks (Guilderton & Lancelin)	PD					✓				✓					
Community & Civic Buildings	ASSETS					✓		✓					✓	✓	
Community Programs	CCS	✓	✓		✓				✓						
Conservation & Environmental Management	OPS/CEO				✓										
Customer Service	CCS													✓	
Drainage	OPS						✓								
Economic Development & Tourism Infrastructure	CEO									✓	✓	✓			
Elected Members Services	CEO												✓		
Environmental Health	PD			✓			✓								
General Practitioner	CEO			✓											
Gingin Aquatic Centre	CCS							✓							

Service Area	Lead	Community Wellbeing			Natural Environment		Infrastructure & Development			Economic Development			Governance		
		C.1	C.2	C.3	E.1	E.2	ID.1	ID.2	ID.3	ED.1	ED.2	ED.3	G.1	G.2	G.3
Gingin Cemetery	CEO	✓													
Human Resources (HR)	CEO												✓	✓	
Integrated Planning and Reporting	CEO												✓	✓	
Marketing and Communications	CEO													✓	
Parks & Reserves	ASSETS							✓							
Rangers	PD			✓	✓										
Roads and Paths	OPS						✓		✓						
Seniors Units	CCS	✓													
Shire Events	CCS		✓												
Sport and Recreation Facilities	ASSETS							✓							
Strategic Town Planning	CEO				✓		✓								
Waste Services	PD					✓									

Corporate Business Plan Actions

Community Wellbeing – To support the Shire of Gingin community to be inclusive, vibrant, healthy & safe through the Shire's service delivery.

SCP Outcome	CW 1.1	Inclusive – Our community has access to a range of community programs, services and initiatives that support wellbeing and inclusion. (>WDC)	2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	CW1.1.0 - 01	Ongoing delivery of Gingin Cemetery Services <i>Deliver Key Service Area – Gingin Cemetery</i>	✓	✓	✓	✓	CEO	Gingin Cemetery
SCP Priority	CW 1.1.1	Support aging in place by developing the 'four planks' of Aging in the Bush (>RCI) (>WDC)						
CBP Action	CW 1.1.1 - 02	Support an increase in the number of Independent Living Units available within the Shire of Gingin – partner with private and/or through direct service provision					CCS	Community and Civic Buildings
	CW	<i>Gingin - Independent Living Units – Construction and Sale.</i>	700,000	615,000	630,375		ASSETS	
	CW	<i>Lancelin – Independent Living Units – Design (Construction and Sale)</i>				33,114	ASSETS	
CBP Action	CW 1.1.1 - 03	Support existing partnership with Dept. Housing and consider new partnerships with other agencies to provide social/aged housing					CCS	Community and Civic Buildings
		<i>Shire supported Community/social Housing units in Lancelin and Gingin.</i>	✓	✓	✓	✓	CCS	

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	CW 1.1.1 - 04	Advocate for improved Senior Services					CCS	Community Programs
		<i>Deliver Key Service Area – Advocacy – Senior Services</i>	✓	✓	✓	✓	CCS	
SCP Priority	CW 1.1.2	Improve activities for children and young people (>RCI) (WDC)						
CBP Action	CW 1.1.2 - 02	Consider employing Youth Development Officer following development of Youth Services Strategy					CCS	Community Programs
		<i>Youth Development Officer to be considered for 18/19 and included in the Workforce Plan</i>		✓	✓			
SCP Outcome	CW 1.2	Vibrant - Our community can participate in a range of activities and events that celebrate and promote our unique lifestyle and heritage.(>WDC)						
SCP Priority	CW 1.2.1	Support community groups and volunteers (>RCI) (>WDC)						
CBP Action	CW 1.2.2 - 01	Partner and deliver a range of community events					CCS	Community Programs
	OMP	<i>Ongoing partnership and delivery of a range of community events.</i>	106,001	108,651	111,367	114,151	CCS	
CBP Action	CW 1.2.1 - 02	Ongoing delivery of a Community Grants Program to support the Shire's Strategic Objectives	109,978	112,727	115,546	118,434	CCS	Community Programs
	OMP	<i>Community Grants Program</i>					CCS	
SCP Outcome	CW 1.3	Healthy & Safe – Our community has access to quality health and community safety programs, services and initiatives that promote resilience						

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	CW 1.3.0 -01	Ongoing Delivery of Local Emergency Services					CEO	Local Emergency Services
	CF, CW	Nilgen Fire Shed (DFES Capital)	110,000				CEO/ASS ETS	
		Deliver Key Service Area – Local Emergency Services	✓	✓	✓	✓	CEO	
CBP Action	CW 1.3.0 -02	Ongoing Delivery of Ranger Services					PD	Local Emergency Services
		Deliver Key Service Area - Rangers	✓	✓	✓	✓	PD	
CBP Action	CW 1.3.0 -03	Ongoing Delivery of Environmental Health Services					PD	Env. Health
		Deliver Key Service Area – Environmental Health	✓	✓	✓	✓	PD	
CBP Action	CW 1.3.0 -04	Ongoing Delivery of General Practitioner Services					CEO	General Practitioner
		Deliver Key Service Area – General Practitioner	✓	✓	✓	✓	CEO	
SCP Priority	CW.1.3.1	Advocate for improved access to medical services. (>RCI) (WDC)						
CBP Action	CW 1.3.1 - 01	Work in Partnership with health providers to improve access to medical services within the Shire					CEO	General Practitioner
		Deliver Key Service Area – Advocacy – Medical Services	✓	✓	✓	✓	CEO	

Natural Environment - To develop the Shire's capacity to support the conservation of natural assets and undertake sustainable resource management.

SCP Outcome	NE 2.1	Conservation – The Shire's ecological services and natural assets are respected and enhanced	2017/18	2018/19	2019/20	2020/21	Lead	Service Area
SCP Priority	NE.2.1.1	Coastal Planning and Adaption (>RCI)						
CBP Action	NE 2.1.1 - 01	Ongoing implementation of the Coastal Hazard Risk Management and Adaption Planning	✓	✓	✓	✓	CEO/OPS	Cons. & Env. Mng.
	OMP	CHRMAP for Inundation – subject to grant funding (\$20k Shire \$40k grant)			60,000		CEO/OPS	
	OMP	Coastal Adaption and Protection – Ledge Point Wave Attenuation Project (\$37k CAP grant \$37,139 CSIRO grant)	76,679				CEO/OPS	
	CF,OMP	Coastal Hazard Risk Management	84,558				CEO/OPS	
		Consider a permanent Coastal Planning Officer for inclusion in the Workforce Plan	✓	✓			CEO	
SCP Priority	NE.2.1.2	Improving the Shire's Natural Areas Management (>RCI) (WDC)						
CBP Action	NE 2.1.2 - 01	Improve management of off-road vehicles to protect natural areas, resources and public safety					PD	Rangers
		Deliver Key Service Area - Rangers	✓	✓	✓	✓	PD	
SCP Outcome	NE 2.2	Sustainable Resource Management – The Shire practices sustainable resource management within its operations and supports the community to do the same						
CBP Action	NE 2.2.3 - 02	Ongoing delivery of Waste Services	✓	✓	✓	✓	PD	Cons. & Env. Man.
	OMP	Wannamal Road West Facility Environment Study	60,000				PD	
		Deliver Key Service Area – Waste Services	✓	✓	✓	✓	PD	

Infrastructure and Development - To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner.

SCP Outcome	3.1.0	Development – New and existing developments meet the Shire’s Strategic Objectives and Outcomes (>WDC)	2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	ID 3.1.0 - 02	Ongoing provision of Drainage Infrastructure.	✓	✓	✓	✓	OPS	Roads & Paths
	CF, CW	Gingin – Granville Park Dam plus additional funds			152,341		OPS	
	CW	Marchmont Drainage	160,000				OPS	
CBP Action	ID 3.1.0 - 03	Ongoing provision of Building and Planning Permit Services					PD	Building and Planning Permits
		Deliver Key Service Area – Building Permits	✓	✓	✓	✓	PD	
		Deliver Key Service Area – Planning Permits	✓	✓	✓	✓	PD	
SCP Priority	3.1.1	Support strategies that facilitate commercial development (>RCI)						
CBP Action	ID 3.1.1 - 01	Develop and improve the Shire’s Commercial Centres					OPS	Roads & Paths
	CW	Lancelin – Commercial Centre / Plaza – road works, carparking and landscaping design and construct	10,000	165,572			OPS	
	CW	Lancelin – Commercial Centre / Plaza - Servicing and sale of UCL land (100% reserve funded out of land and building)	20,000		300,000	803,813	OPS	

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	ID.3.1.1 - 02	Support and facilitate commercial development consistent with the Shire's Objectives					PD	Building and Planning Permits
		<i>Deliver Key Service Area – Planning Permits</i>	✓	✓	✓	✓	PD	
SCP Priority	3.1.2	Support strategies that facilitate an increase in housing diversity (>WDC)						
CBP Action	ID.3.1.2 - 01	Encourage connection to existing sewerage infrastructure and support townsites sewerage scheme expansions (subject to existing uptake and growth demand)					PD	Building and Planning Permits
		<i>Develop and implement a program to increase connection to existing sewerage schemes</i>	✓	✓	✓	✓	PD	
CBP Action	ID.3.1.2 - 02	Support and facilitate developments that increase housing diversity					PD	Building and Planning Permits
		<i>Deliver Key Service Area – Planning Permits</i>	✓	✓	✓	✓	PD	
SCP Outcome	ID 3.2	Community Infrastructure – The Shire provides fit for purpose community infrastructure in a financially responsible manner (>WDC)						
CBP Action	ID 3.2.0 - 01	Expand and upgrade Community Facilities					ASSETS	Community and Civic Buildings
	CW	<i>Gingin – Gingin Equestrian Centre – power supply to onsite facilities</i>			107,689		ASSETS	
	CW	<i>Lancelin – Lancelin Golf Course Reticulation expansion (50% grant funding)</i>	100,000				ASSETS	

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
		<i>Gingin – Gingin Pistol Club – Review Facilities</i>	✓				ASSETS	
CBP Action	ID 3.2.3 - 01	Maintain existing Community Infrastructure					ASSETS	Community and Civic Buildings
		<i>Gingin – Football Club – change rooms</i>			300,000		ASSETS/OPS	
	CF, CW	<i>Gingin – Hockey Field Bank Stabilisation (transfer from reserve)</i>	165,000				ASSETS	
		<i>Lancelin (multiple) public toilets/change-room renewal (100% reserve funded). Review of amenities to inform capital expenditure</i>		210,125				
	CF, CW	<i>Ledge Point Playground Renewal</i>	135,949				OPS	
SCP Outcome	ID 3.3	Connectivity and Accessibility – The Shire's community and infrastructure supports connectivity and accessibility (>WDC)						
CBP Action	ID 3.3.4 - 01	Maintain existing Road and Path network					OPS	Roads & Paths
	CW	<i>Maintain existing Road and Path network</i>	3,261,146	3,410,000	3,293,569	3,375,908	OPS	
		<i>Review road hierarchy plan</i>	✓		✓		OPS	
CBP Action	ID 3.3.4 - 02	Expand an upgrade Road and Path network					OPS	Roads & Paths
	CW	<i>Cowalla Road Bridge upgrade (special grant project)</i>	190,000				OPS	
	CW	<i>Murray Road Bridge</i>	129,778				OPS	
	CW	<i>Gingin - Upgrade Weld Street Bridge</i>		3,075,000			OPS	

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	ID 3.3.4 - 04	Improve community and public transport infrastructure and services					OPS	Roads & Paths
	CW	<i>Second community bus (100% restricted cash)</i>		105,000			OPS	
		<i>Deliver Key Service Area – Advocacy – Community and public transport</i>	✓	✓	✓	✓		
CBP Action	ID 3.3.5 - 01	Prioritise and implement actions from the Disability Access and Inclusion Plan and the Age Friendly Communities Report					CCS/OPS /ASSETS	ALL
		<i>Implementation of the Aged Friendly Communities Report within existing resources and facilities</i>	✓	✓	✓	✓	CCS/OPS/ASS ETS	
CBP Action	ID 3.3.5 - 02	Review Disability Access and Inclusion Plan					ASSETS	ALL
		<i>Update disability and Inclusion Plan annually (review every 5 years)</i>					ASSETS	
CBP Action	ID 3.3.6	Advocate for improved telecommunications infrastructure					CEO	Marketing and Comm.
		<i>Deliver Key Service Area – Advocacy - Telecommunications</i>	✓	✓	✓	✓	CEO	

Economic Development - To support economic development through the Shire's service delivery.

SCP Outcome	ED 4.1	Tourist Playground – An internationally acclaimed tourist playground	2017/18	2018/19	2019/20	2020/21	Lead	Service Area
SCP Priority	ED 4.1.1	Support the development of the Shire of Gingin as a premier tourist destination for ocean and sand adventures (>WDC)						
CBP Action	ED 4.1.1.01	In partnership with State and Federal Government invest in major community infrastructure projects that support tourism					CCS/ASSETS/CEO	Community and Civic buildings
	CW	Gingin Regional Playground (Children, young people, skate park and adult exercise equipment)		10,000	250,000	100,000	ASSETS	
	CW	Lancelin Skate and BMX Park	126,000				ASSETS	
	CW	Recreational Boat Launching Facility – road and pathway from Ledge Point to Lancelin – 1 st year concept design and construction, 2 nd year construction subject to 66% grant funding or loan			585,405	2,041,692	OPS	
	CW	Recreational Boat Launching Facility – Planning Study	103,421				CEO	
CBP Action	ED 4.1.1.02	Expand, upgrade and maintain community facilities that support tourism and service the local community					Assets /OPS	
	CW	Lancelin Back Beach – parking and lines		161,534			OPS	Roads and Paths
	CF,CW	Lancelin Foreshore development – Cunliffe Street carpark (reserve funded)	150,000				OPS	Roads and Paths
	CW	Lancelin Foreshore Development - Hinchcliffe Street Recreational Area – north ramp, pathway and carpark	142,125				ASSETS	Community and Civic buildings

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
		<i>Lancelin Lookout (Hinchcliffe Hill) boardwalk, staircase (southern side) grant funded and future reserve</i>	100,000				ASSETS	Community and Civic buildings
CBP Action	ED 4.1.1 03	Ongoing delivery of Shire owned Caravan Parks					PD/ASSETS	Caravan Parks
		<i>Guilderton Caravan Park – additional chalets and replace waste water – design and construction</i>		800,000			ASSETS	
		<i>Lancelin – Lancelin South Caravan Park – Acquisition of Assets (reserve funded)</i>	355,000				PD	
		<i>Lancelin – Lancelin South Caravan Park – Finalise Lease</i>	✓				PD	
CBP Action	ED 4.1.1 04	Facilitate an increase in tourist Accommodation					PD	Caravan Parks
		<i>Deliver Key Service Area – Advocacy – Tourist Accommodation</i>	✓	✓	✓	✓	PD	
SCP Outcome	ED 4.2	Food Bowl – A strategically significant agricultural hub to the Perth Metropolitan Area						
CBP Action	ED 4.2.2 01	In partnership with the Wheatbelt Development Commission identify a site for a agri-industry processing hub					CEO	Econ. Dev. & Tourism Infr.
		<i>Wheatbelt Development commission agri-industry processing hub site identification - implementation</i>	80,000	✓	✓	✓	CEO	
SCP Outcome	ED 4.3	Innovation is the foundation of economic growth across the Shire. (>WDC)						
CBP Action	ED 4.3.3 01	Develop and Implement an Economic Redevelopment Strategy and continue to support Economic Development programs					CEO	Econ. Dev. & Tourism Infr.
		<i>Improve partnerships with CCI and Small Business Centre</i>	✓	✓	✓	✓	CEO	

	2017/18	2018/19	2019/20	2020/21	Lead	Service Area
<i>Support Community Resource Centre to deliver education and training and provide work experience opportunities within the Shire</i>	✓	✓	✓	✓	CEO	Econ. Dev. & Tourism Infr.
<i>Work in partnership with the Growth Alliance and WDC to develop a Growth Plan (State funded \$120,000)</i>	✓				CEO	

Governance – To demonstrate effective leadership, governance and advocacy on behalf of community.

SCP Outcome	G 5.1	Values - Our Organisational/Business Values are demonstrated in all that we do	2017/18	2018/19	2019/20	2020/21	Lead	Service Area
SCP Priority	G 5.1.1	Develop the skills and capabilities of our Elected Members and Staff (>WDC)						
CBP Action	G 5.1.1 - 01	The Shire's Code of Conduct TRACK is led by the Executive Management Team and demonstrated in work practices <i>Executive Management Team – TRACK Leadership</i>	✓	✓	✓	✓	CEO	Elected members Services
CBP Action	G 5.1.1 - 02	Provide training and development opportunities to Elected Members <i>Elected Members Training and Development</i>	✓	✓	✓	✓	CEO	Elected members Services
CBP Action	G 5.1.1 - 03	Provide training and development opportunities to all staff <i>Staff training and development</i>	✓	✓	✓	✓	CEO	Human Resources
SCP Priority	G 5.1.2	Improve the financial position of the Shire (>WDC)						
CBP Action	G 5.1.2 - 01	Implement and review the Shire's Strategic Community Plan and Corporate Business Plan <i>Annual Review and Quarterly Reporting on Corporate Business Plan (IPR)</i>	✓	✓	✓	✓	CEO	IPR
CBP Action	G 5.1.2 - 03	Implement and review the Workforce Plan <i>Annual Review of the Workforce Plan (IPR)</i>	✓	✓	✓	✓	CEO	IPR
CBP Action	G 5.1.2 - 04	Implement and review Asset Management Plans <i>OMP Road Assets Re-value (IPR)</i>	49,213			52,500	OPS	IPR

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	G 5.1.2 - 05	Facilitate Good Governance					CEO	
		<i>Annual Audit Compliance</i>	✓	✓	✓	✓	CCS	
		<i>Undertake periodic reviews of Council Policies and Local Laws</i>	✓	✓	✓	✓	CEO	
CBP Action	G 5.1.2 - 07	Maintain Administration Plant, Furniture and Equipment					ASSETS/OPS	Community and Civic Building
	CW	<i>Plant Replacement Program (gross) Note - \$815,000 Transfer to Reserve – Plant Committee decision</i>		1,258,000	1,378,000	1,486,000	ASSETS/OPS	
SCP Outcome	G 5.2	Service – The Shire provides customer focused service delivery						
CBP Action	G 5.2.0 - 01	Ongoing provision of Customer Service					CCS	Customer Service
		<i>Deliver Key Service Area – Customer Service</i>	✓	✓	✓	✓	CCS	
CBP Action	G 5.2.0 - 02	Review and maintain Human Resources Systems					CEO	Human Resources
		<i>Deliver Key Service Area – Human Resources</i>	✓	✓	✓	✓	CEO	
		<i>Develop Employee Recognition Program</i>	✓					
CBP Action	G 5.2.0 - 04	Expand and upgrade Administration Assets					ASSETS/OPS	Community and Civic Building
	CW	<i>Lancelin Shire Depot</i>				269,223	ASSETS/OPS	
CBP Action	G 5.2.3 - 03	Develop and maintain a Stakeholder and Community Engagement Policy					CEO	Marketing and Communications
		<i>Deliver Key Service Area – Community Programs</i>	✓	✓	✓	✓	CCS	
CBP Action	G 5.2.4 - 01	Maintain Shire IT Equipment					CCS	
	CW	<i>Renew Server (5yr replacement cycle)</i>				120,000	CCS	

			2017/18	2018/19	2019/20	2020/21	Lead	Service Area
CBP Action	G 5.2.4 - 02	Identify priority areas for technological based improvements to service delivery					CCS	
		Implement online timesheets	✓				CCS	
SCP Outcome	G 5.3	Partner – The Shire works productively with a range of partners to deliver better outcomes for the community						
CBP Action	G.5.3.5 - 01	Maintain existing partnerships and develop new partnerships					CEO	
		Continue to work with the Northern Growth Alliance on regional projects	✓	✓	✓	✓	CEO	
		Deliver Key Service Area – Advocacy - Partnerships	✓	✓	✓	✓	CEO	

11.2. CORPORATE AND COMMUNITY SERVICES

11.2.1 MONTHLY FINANCIAL STATEMENT FOR THE PERIODS ENDING 30 JUNE 2017 AND 31 JULY 2017

FILE: FIN/25
REPORTING OFFICER: KAYE LOWES - EXECUTIVE MANAGER CORPORATE & COMMUNITY SERVICES
REPORT DATE: 15 AUGUST 2017
REFER: NIL

OFFICER INTEREST DECLARATION

Nil

COMMENT

At its meeting on 18 July 2017, Council was advised that there had been a delay in preparing the Monthly Financial Statement for the period ending 30 June 2017, and that this information would be presented to Council's August meeting.

Accordingly, the June 2017 Financial Statement is attached as **Appendix 1** for Council's consideration.

The Statement of Financial Position and investment information for the period to 31 July 2017 will not be available for presentation to this meeting due to staff resources being occupied with end of year preparations. This information will be presented to Council's next meeting on 19 September 2017.

The List of Paid Accounts for the period to 31 July 2017 is attached as **Appendix 2**.

STATUTORY ENVIRONMENT

Local Government Act 1995

Part 6 – Financial management

Division 3 – Reporting on activities and finance

Section 6.4 – Financial report

Local Government (Financial Management) Regulations 1996

Part 4 – Financial reports – s.6.4

Regulation 34 – Financial activity statement required each month (Act s.6.4)

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015-2025

Focus Area	<i>Leadership and Governance</i>
Objective	<i>5. To demonstrate effective leadership and governance</i>
Outcome	<i>5.2 Accountable and responsible governance</i>
Strategy	<i>Nil</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council receive:

1. The Monthly Financial Statement for the period ending 30 June 2017 as presented in Appendix 1; and
2. The List of Paid Accounts for the period ending 31 July 2017 as presented in Appendix 2.

RESOLUTION

Moved Councillor Elgin, seconded Councillor Court that Council receive:

1. **The Monthly Financial Statement for the period ending 30 June 2017 as presented in Appendix 1; and**
2. **The List of Paid Accounts for the period ending 31 July 2017 as presented in Appendix 2.**

CARRIED UNANIMOUSLY

APPENDIX 1



SHIRE OF GINGIN
MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

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Summary of Financial Position up to 30 June 2017

Operating Statement

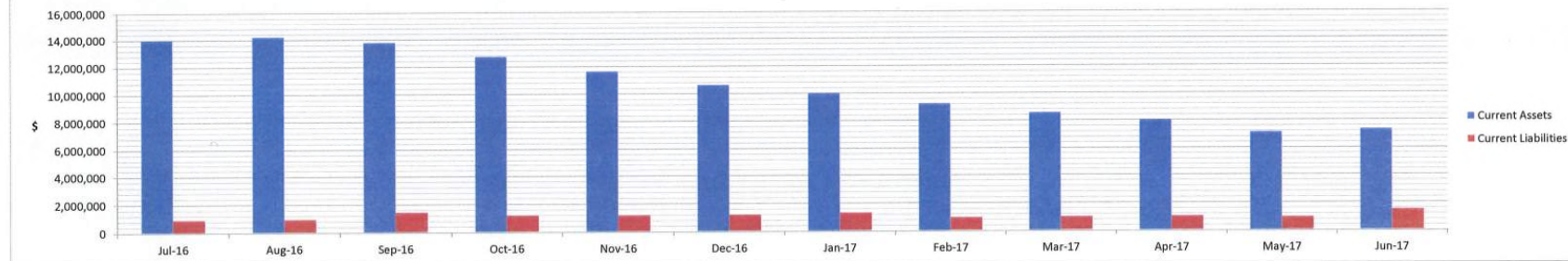
	Year to 30 June 2017			Annual Budget	
	Actual	YTD Budget	Variance	Annual Budget	Budget %
Revenue	15,106,606	13,199,859	14%	14,140,783	107%
Expenses	(14,198,910)	(12,584,628)	13%	(14,934,214)	95%
Profit/Loss	(106,746)	60,682	-276%	60,682	-176%
Non-Operating Grants	3,010,964	2,434,924	24%	2,434,924	124%
Net Result	3,811,915	3,110,837		1,702,175	

Variation in Profit/Loss relates plant disposals deferred to 2017/18

Assets & Liabilities

	May-17	Jun-17
Current		
Assets	7,106,047	7,305,023
Liabilities	943,668	1,462,738
Non-Current		
Assets	154,038,682	154,705,789
Liabilities	2,571,205	2,561,730
Net Assets	157,629,856	157,986,344

CURRENT ASSETS & LIABILITIES



Capital Payments

	Year to 30 June 2017			Annual Budget
	YTD Actual	YTD Budget	Variance	
Land & Buildings	1,110,161	1,168,000	-5%	1,168,000
Infrastructure Roads	2,353,682	3,755,483	-37%	3,755,483
Infrastructure Parks	418,457	856,915	-51%	856,915
Infrastructure Other	987,542	1,294,513	-24%	1,294,513
Infrastructure Footpaths	20,403	44,436	-54%	44,436
Plant & Equipment	1,280,541	1,718,241	-25%	1,718,241
Furniture and Equipment	91,499	92,716	-1%	92,716
Loans Current	185,914	187,783	-1%	187,783
Transfer to Reserve	1,019,186	161,257	532%	161,257
Provisions	15,017	-	0%	-
Net Result	7,482,401	9,279,344	-19%	9,279,344

Refer to Capital Works Program.

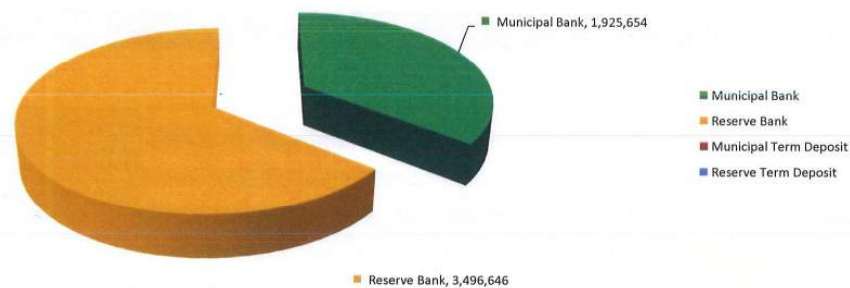
Note provisions are budgeted throughout operating accounts.

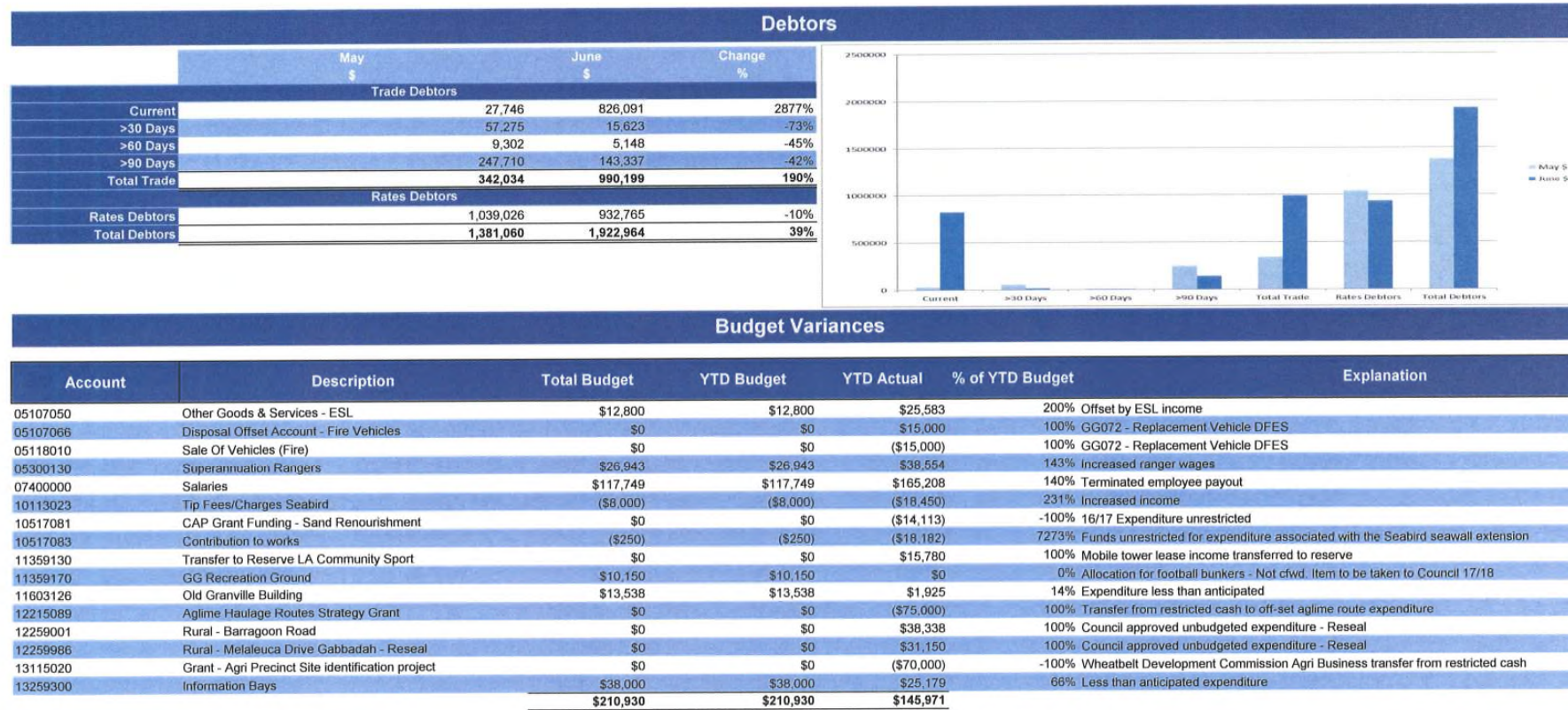
Cash & Investments

	Volume Held	
	May-17	Jun-17
Municipal Bank	2,306,182	1,925,654
Reserve Bank	1,310,344	3,496,646
Municipal Term Deposit	0	0
Reserve Term Deposit	2,185,384	0
Total	5,801,910	5,422,300

All investments matured in June and funds were returned to appropriate bank accounts.

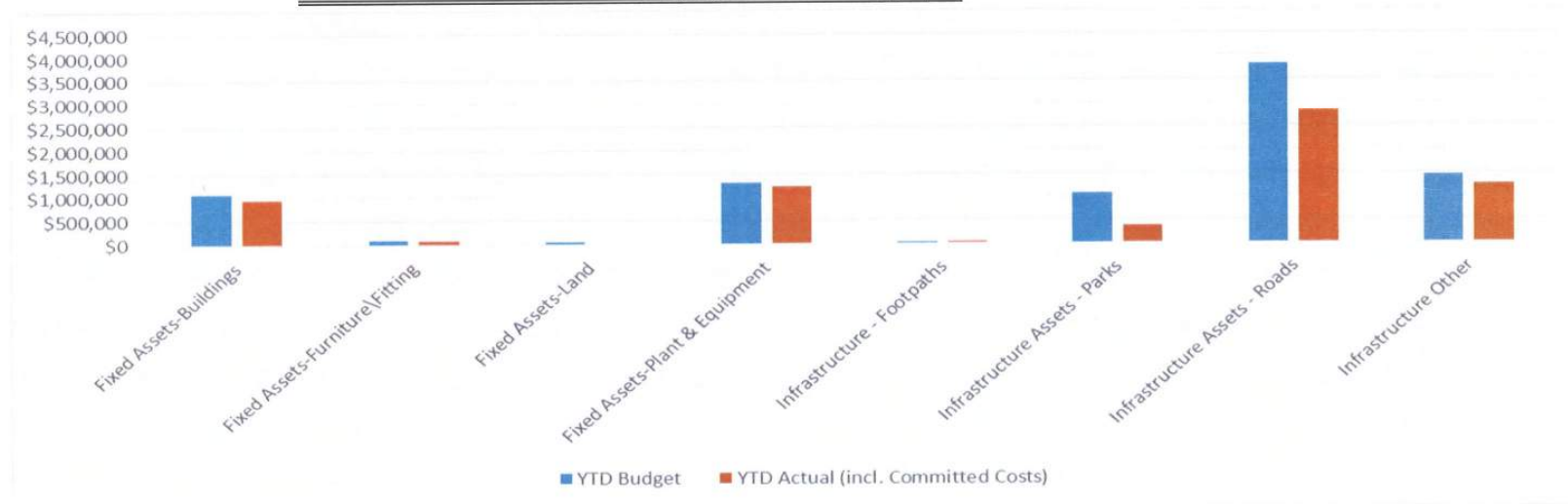
JUNE CASH & INVESTMENTS





Fixed Assets Expenditure June 2017

Asset Type	YTD Budget	YTD Actual (incl. Committed Costs)
Fixed Assets-Buildings	\$1,075,572	\$962,181
Fixed Assets-Furniture\Fitting	\$101,830	\$87,193
Fixed Assets-Land	\$60,000	\$0
Fixed Assets-Plant & Equipment	\$1,305,981	\$1,220,422
Infrastructure - Footpaths	\$44,436	\$44,473
Infrastructure Assets - Parks	\$1,067,859	\$356,039
Infrastructure Assets - Roads	\$3,815,880	\$2,807,944
Infrastructure Other	\$1,438,347	\$1,239,820
	\$8,909,905	\$6,718,072

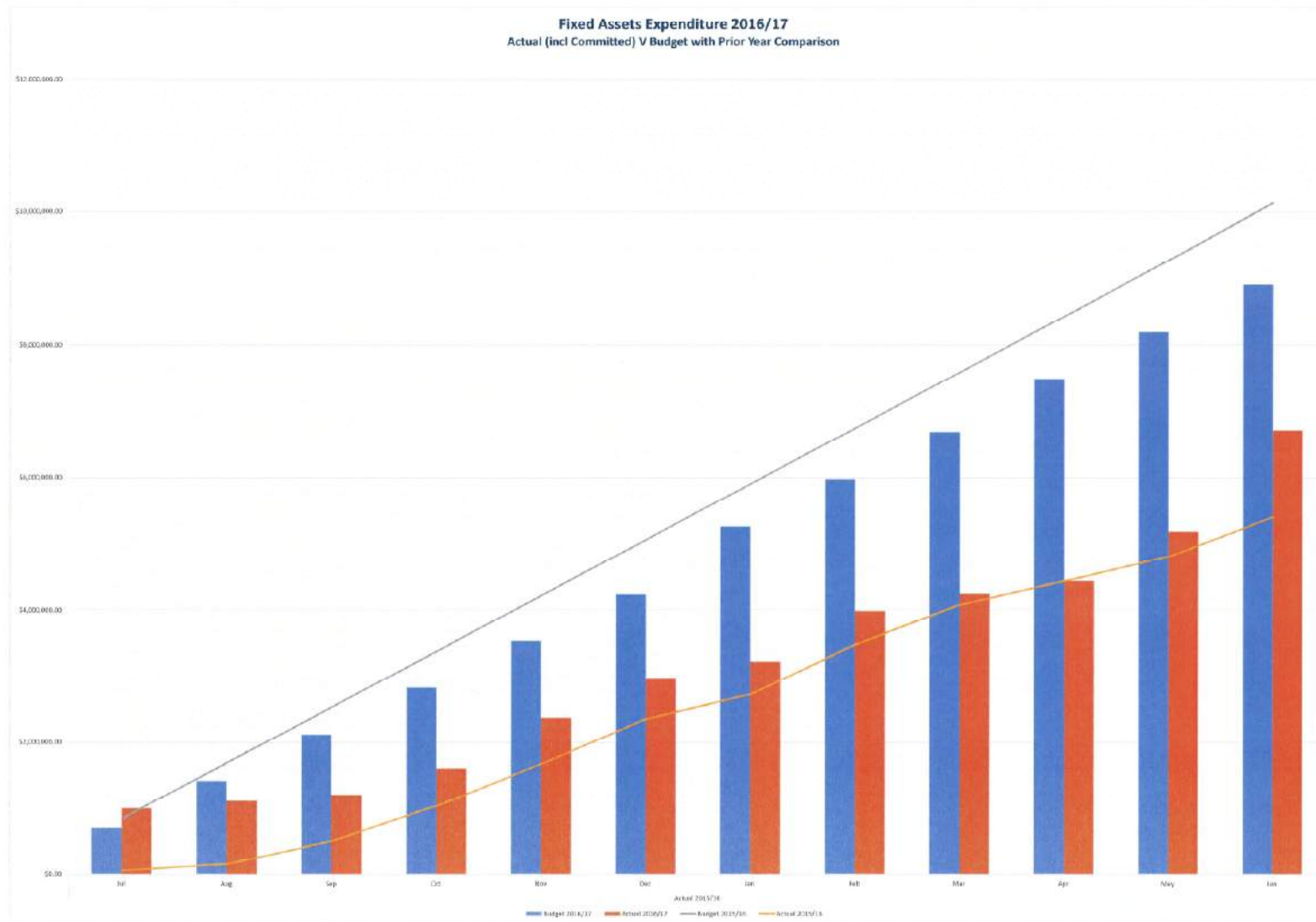


Fixed Assets Expenditure June 2017

Account #	Account Description	Budget	Budget YTD	Actual YTD (incl Committed Costs)	% Total Budget
05159126	Ocean Farm Fire Shed	\$191,474	\$191,474	\$191,399	99.96%
05159129	Nilgen Fire Shed Construction	\$110,000	\$110,000	\$0	0.00%
06259050	Gingin Aged Units (Air-conditioning, kitchen refurbishments, floor coverings)	\$8,000	\$8,000	\$0	0.00%
06259200	Shed - LA Community Bus	\$12,000	\$12,000	\$10,986	91.55%
07159106	Gingin Medical Centre (New)	\$10,000	\$10,000	\$0	0.00%
09159002	37A Lefroy Street - Building Capital A/C	\$1,416	\$1,416	\$1,416	100.03%
09159003	57A Lefroy Street - Building Capital A/C	\$18,557	\$18,557	\$19,943	107.47%
10259213	Ablution Block Harold Park Lancelin	\$6,500	\$6,500	\$3,636	55.94%
10259217	Ablution Facility Guilderton Foreshore	\$0	\$0	\$95,505	
11159005	Granville Civic Centre Buildings	\$10,500	\$10,500	\$5,450	51.90%
11159050	Lancelin Hall Buildings	\$35,000	\$35,000	\$32,812	93.75%
11159068	Sovereign House/Toilets	\$2,500	\$2,500	\$2,500	100.00%
11359090	GG Recreation Centre Building Land & Buildings	\$22,500	\$22,500	\$17,342	77.08%
11359092	Neergabby Showgrounds Gazebo	\$5,500	\$5,500	\$3,306	60.10%
11359103	Redfield Park Community Ctr	\$24,000	\$24,000	\$26,310	109.62%
11359159	GG Racecourse Buildings	\$4,500	\$4,500	\$3,045	67.68%
11359173	GU Bowling Club - Shade Extension & Seating	\$31,500	\$31,500	\$0	0.00%
11359264	LA Sports Ground Toilets & Change Rooms (Football Club)	\$250,000	\$250,000	\$245,000	98.00%
11359266	Granville Park Toilets (Sewerage pump)	\$2,500	\$2,500	\$2,318	92.73%
11359362	Lancelin Plaza Shade Structure	\$25,000	\$25,000	\$20,635	82.54%
11459010	TV Retransmission System	\$0	\$0	\$2,500	
12259010	Lancelin/Ledge Point Depot	\$7,375	\$7,375	\$7,896	107.07%
12259018	Road Survey Equipment	\$20,000	\$20,000	\$19,725	98.63%
12259998	Sovereign Hill - Bus Shelter	\$25,000	\$25,000	\$28,298	113.19%
13259050	Ablution Facilities Upgrade Land And Buildings	\$5,750	\$5,750	\$0	0.00%
13259065	Caravan Park Chalets	\$80,000	\$80,000	\$76,568	95.71%
13259067	Caravan Park Storage Shed	\$40,000	\$40,000	\$40,000	100.00%
13259300	Information Bays	\$38,000	\$38,000	\$25,179	66.26%
14259114	Office (GG Admin) - Buildings	\$53,000	\$53,000	\$54,125	102.12%
14359150	Depot - Sea Container	\$10,000	\$10,000	\$9,858	98.58%
14759140	CWA Building - Structural Repairs	\$25,000	\$25,000	\$16,427	65.71%
04159110	Council Chambers Furniture	\$2,000	\$2,000	\$1,019	50.96%
05359100	Ranger Computer & Equipment	\$2,530	\$2,530	\$2,531	100.03%
11159006	Furniture - Halls	\$4,000	\$4,000	\$0	0.00%
11359263	GG Recreation Ctr Furniture and Equipment	\$2,016	\$2,016	\$0	0.00%
13259060	GU Caravan Park Furniture/fittings	\$5,084	\$5,084	\$5,084	100.00%

13359010	Furniture And Equipment	\$1,000	\$1,000	\$0	0.00%
14259110	Computer System Furniture And Equipment	\$28,000	\$28,000	\$2,335	8.34%
14259115	Office Furniture/Equip. Furniture And Equipment	\$37,500	\$37,500	\$55,486	147.96%
14359110	Depot - Furniture And Equipment	\$2,200	\$2,200	\$0	0.00%
14759122	Master Key System	\$17,500	\$17,500	\$20,738	118.50%
10159000	Landfill Site Implementation	\$60,000	\$60,000	\$0	0.00%
05159145	Gingin South Light Tanker GG72	\$175,000	\$175,000	\$129,144	73.80%
05159200	Fire Warning Signs	\$20,000	\$20,000	\$0	0.00%
05359010	Ranger Utility Purchase GG005	\$45,000	\$45,000	\$40,209	89.35%
05359070	Ranger Utility Purchase GG070	\$36,983	\$36,983	\$37,980	102.70%
12359117	Vehicle Purchase - Isuzu D-Max SX GG017	\$46,000	\$46,000	\$42,130	91.59%
12359750	Minor Plant/Equipment	\$15,000	\$15,000	\$14,990	99.93%
12359903	Ford Falcon Ttop GG043	\$43,241	\$43,241	\$43,241	100.00%
12359905	Utility 5GG - EMO	\$43,898	\$43,898	\$43,656	99.45%
12359923	Mitsubishi Dual Cab GG033	\$46,000	\$46,000	\$42,130	91.59%
12359927	Isuzu D-Max Space Cab/Chas 9GG	\$45,000	\$45,000	\$40,478	89.95%
12359934	Station Wagon GG050	\$45,000	\$45,000	\$41,957	93.24%
12359943	New Tractor GG012	\$85,500	\$85,500	\$85,500	100.00%
12359946	Grader GG001	\$317,500	\$317,500	\$317,500	100.00%
12359947	Prime Mover GG045	\$207,000	\$207,000	\$207,000	100.00%
12359962	Trailer GG????	\$5,005	\$5,005	\$4,653	92.97%
12359963	Trailer GG????	\$12,522	\$12,522	\$12,522	100.00%
13259130	Vehicle Purchase GG044	\$43,241	\$43,241	\$43,241	100.00%
14259125	Vehicle Purchase - OGG Plant And Equipment	\$74,091	\$74,091	\$74,091	100.00%
12259990	Footpath projects unallocated	\$44,436	\$44,436	\$44,473	100.08%
11259065	Lancelin Foreshore Development - Cunliffe St	\$150,000	\$150,000	\$0	0.00%
11259077	Guilderton Beach Access Boardwalk	\$89,000	\$89,000	\$0	0.00%
11259079	Boat Launch Facility - Planning Study	\$57,692	\$57,692	\$46,153	80.00%
11259080	GU Pontoon Jetty Boat ramp	\$170,912	\$170,912	\$160,479	93.90%
11359045	GG Iluka Aquatic Centre Shade Sail	\$27,500	\$27,500	\$28,454	103.47%
11359046	Gingin Aquatic Centre Furniture and Equipment	\$4,728	\$4,728	\$4,728	99.99%
11359124	LA Wangaree Park Skate Equip	\$136,000	\$136,000	\$9,486	6.98%
11359132	Playground Equipment	\$59,483	\$59,483	\$45,989	77.31%
11359133	LP Playground Equipment	\$135,949	\$135,949	\$0	0.00%
11359170	GG Recreation Ground	\$10,150	\$10,150	\$0	0.00%
11359171	Regional Hardcourt Facility - Bank Stabilisation & Landscaping	\$165,000	\$165,000	\$0	0.00%
11359257	Solar Heating Gingin Aquatic Centre	\$56,445	\$56,445	\$56,445	100.00%
11359364	LA Hinchcliffe Road Recreational area plan	\$5,000	\$5,000	\$2,750	55.00%
13259066	GU Caravan Park Bay Upgrade	\$0	\$0	\$1,555	
12259178	Rural - Mooliabeenee Road - Turning Pocket	\$88,878	\$88,878	\$17,820	20.05%
12259199	Rural - Breera Road	\$0	\$0	\$4,491	
12259221	R To R - Bennies Road	\$363,115	\$363,115	\$335,341	92.35%

12259222	Lancelin - Lancelin Plaza	\$10,000	\$10,000	\$0	0.00%
12259248	Guilderton Foreshore Carpark	\$199,090	\$199,090	\$215,709	108.35%
12259306	GG - Brockman Street/Cheriton Road Intersection	\$87,290	\$87,290	\$9,275	10.63%
12259339	Rural - Cullalla Rd	\$472,125	\$472,125	\$421,286	89.23%
12259343	LA - Drainage Works	\$0	\$0	\$2,530	
12259348	SB - Seabird Road	\$850,000	\$850,000	\$681,632	80.19%
12259353	Old North Road Drive/Walk Trail	\$46,020	\$46,020	\$43,539	94.61%
12259501	Black Spot - Dewar Road	\$245,656	\$245,656	\$6,168	2.51%
12259959	RRG - Gingin Brook Road - Final Seal	\$100,160	\$100,160	\$101,435	101.27%
12259961	RRG - Gingin Brook Road	\$827,399	\$827,399	\$811,145	98.04%
12259982	Drainage Construction	\$21,013	\$21,013	\$19,788	94.17%
12259983	RRG - Mooliabeenee Road	\$0	\$0	\$41,160	
12259986	Rural - Melaleuca Drive Gabbadah - Reseal	\$0	\$0	\$31,150	
12259993	Murray Bridge works	\$159,000	\$159,000	\$29,222	18.38%
12259996	Rural - Fynes Road Resheet SLK 0.00-5.32	\$272,204	\$272,204	\$0	0.00%
12259997	LA - Hawcroft Place - Install Cul-de-Sac/drainage/kerb	\$73,930	\$73,930	\$36,253	49.04%
10159030	Gingin Landfill Fencing	\$5,000	\$5,000	\$5,900	117.99%
10559010	Seabird Erosion Solution	\$885,063	\$885,063	\$874,940	98.86%
10759128	Gingin Cemetery Fence and Driveway	\$19,450	\$19,450	\$0	0.00%
11359183	LP - Bowling Club - Synthetic Green	\$175,000	\$175,000	\$175,000	100.00%
12259360	Retention Basin - Roe Street/Gingin Brook	\$150,000	\$150,000	\$78,932	52.62%
12259362	Streetscape Project - Lancelin	\$70,000	\$70,000	\$13,951	19.93%
12259994	Parking Meters - Guilderton	\$16,052	\$16,052	\$19,197	119.60%
13259312	Caravan Waste Dump Points	\$4,455	\$4,455	\$1,955	43.87%
13259313	Caravan Park Drainage	\$50,000	\$50,000	\$6,618	13.24%
13259314	Caravan Park Retaining Wall	63327	\$63,327	63327	100.00%
		\$8,909,905	\$8,909,905	\$6,718,072	



SHIRE OF GINGIN
INTERIM MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

	NOTE	June 2016/2017 Y-T-D Actual \$	2016/2017 Y-T-D Budget \$	2016/2017 Budget \$	Variances Budget to Actual Y-T-D %
Net current assets at start of year - surplus/(deficit)		2,265,998	1,556,418	0	0.00%
Revenue from operating activities (excluding rates and non-operating grants, subsidies & contributions)					
Governance		1,534	10,000	10,000	(84.66%)
General Purpose Funding		2,947,975	1,178,916	1,178,916	150.06%
General Purpose Funding - Rates		7,607,280	7,607,280	7,569,439	0.00%
Law, Order, Public Safety		471,818	412,731	412,731	14.32%
Education and Welfare		127,217	122,000	122,000	4.28%
Health		246,475	246,475	263,000	0.00%
Housing		24,280	24,280	26,000	0.00%
Community Amenities		1,017,360	1,017,360	1,779,028	0.00%
Recreation and Culture		212,743	162,145	162,145	31.21%
Transport		130,759	130,759	299,048	0.00%
Economic Services		1,983,912	1,952,661	1,952,661	1.60%
Other Property and Services		335,253	335,253	365,815	0.00%
		15,106,606	13,199,859	14,140,783	13.48%
Expenditure from operating activities					
Governance		(1,004,638)	(1,004,638)	(1,077,144)	0.00%
General Purpose Funding		(425,909)	(408,097)	(408,097)	4.36%
Law, Order, Public Safety		(1,483,886)	(1,021,042)	(1,021,042)	45.33%
Education and Welfare		(173,751)	(173,751)	(188,809)	0.00%
Health		(826,984)	(672,316)	(672,316)	23.01%
Housing		(28,160)	(20,439)	(20,439)	37.77%
Community Amenities		(2,192,874)	(2,166,766)	(2,166,766)	1.20%
Recreation & Culture		(3,161,398)	(2,745,624)	(2,745,624)	15.14%
Transport		(2,077,893)	(2,077,893)	(4,187,442)	0.00%
Economic Services		(1,650,096)	(1,650,096)	(1,802,569)	0.00%
Other Property and Services		(1,280,066)	(643,966)	(643,966)	98.78%
		(14,305,655)	(12,584,628)	(14,934,214)	11.52%
Operating activities excluded from budget					
(Profit)/Loss on Asset Disposals	2	106,746	60,682	60,682	75.91%
Depreciation on Assets	10	2,881,020	2,881,020	3,488,127	0.00%
Non-Cash Expenditure and Revenue		(3,657)	0	0	100.00%
Leave Entitlements		(15,017)	0	0	(100.00%)
Amount attributable to operating activities		3,770,043	5,113,351	2,755,378	(48.75%)
Investing Activities					
Non operating grants, subsidies & contributions		3,010,964	2,434,924	2,434,924	23.66%
Purchase Land Held for Resale	1	0	0	0	0.00%
Purchase Land and Buildings	1	(1,110,161)	(1,110,161)	(1,168,000)	0.00%
Purchase Infrastructure Assets - Roads	1	(2,353,682)	(2,353,682)	(3,755,483)	0.00%
Purchase Infrastructure Assets - Parks	1	(418,457)	(418,457)	(856,915)	0.00%
Purchase Infrastructure Assets - Other	1	(987,542)	0	(1,294,513)	76.29%
Purchase Infrastructure Assets - Footpaths	1	(20,403)	(20,403)	(44,436)	100.00%
Purchase Tools		0	0	0	100.00%
Purchase Plant and Equipment	1	(1,280,541)	(1,280,541)	(1,718,241)	0.00%
Purchase Furniture and Equipment		(91,499)	(92,716)	(92,716)	(1.31%)
Proceeds from Disposal of Assets	2	343,000	343,000	675,318	0.00%
		(2,908,321)	(2,498,035)	(5,820,062)	7.05%
Financing Activities					
Repayment of Debentures	3	(185,914)	(185,914)	(187,783)	0.00%
Proceeds from New Debentures	3	213,897	213,897	213,897	0.00%
New Self Supporting Loans		0	0	0	0.00%
New Advances		0	0	0	0.00%
Proceeds from Advances		10,620	9,996	9,996	(100.00%)
Self-Supporting Loan Principal Income		27,916	27,916	27,916	(0.00%)
Transfers to Reserves (Restricted Assets)	4	(1,019,186)	(1,019,186)	(161,257)	0.00%
Transfers from Reserves (Restricted Assets)	4	261,327	261,327	590,000	0.00%
Transfers from Restricted Cash		0	843,262	1,011,914	(83.33%)
		(691,340)	151,298	1,504,683	(56.00%)
Net Current Assets Year to Date		2,436,381	2,766,614	(1,560,001)	

This statement is to be read in conjunction with the accompanying notes.
Note: Difference in B/Fwd balance relates to End of year adjustments.

SHIRE OF GINGIN
MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

1. ACQUISITION OF ASSETS & OTHER NON CAPITAL EXPENDITURE	June 2016/2017 Y-T-D Actual \$	2016/2017 Budget \$
The following assets and other non capital expenditure have been acquired/paid for during period under review:		
<u>By Program</u>		
Governance	1,019	5,000
General Purpose Funding	121,466	121,487
Law, Order, Public Safety	401,262	542,500
Health	28,887	69,387
Education and Welfare	10,986	20,000
Housing	21,359	21,000
Community Amenities	1,004,035	1,032,974
Recreation and Culture	1,112,009	1,450,231
Transport	3,458,284	5,405,419
Economic Services	411,454	340,693
Other Property and Services	911,640	270,653
	7,482,401	9,279,344
<u>By Class</u>		
Land and Buildings	1,110,161	1,168,000
Infrastructure Assets - Roads	2,353,682	3,755,483
Infrastructure Assets - Parks and Ovals	418,457	856,915
Infrastructure Assets - Other	987,542	1,294,513
Infrastructure - Footpaths	20,403	44,436
Plant and Equipment	1,280,541	1,718,241
Furniture and Fittings	91,499	92,716
Tools	0	0
Loans Current	185,914	187,783
Provisions	15,017	0
Transfers to Reserve	1,019,186	161,257
	7,482,401	9,279,344

A detailed breakdown of acquisitions on an individual asset basis can be found in the supplementary information attached to this statement as follows:

SHIRE OF GINGIN
MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

2. DISPOSALS OF ASSETS

The following assets have been disposed of during the period under review:

<u>By Program</u>	Net Book Value	Sale Proceeds	Profit/(Loss)
	June 2016/2017 Y-T-D Actual \$	June 2016/2017 Y-T-D Actual \$	June 2016/2017 Y-T-D Actual \$
Law Order & Public Safety	51,820	59,091	(7,271)
Health	0	0	0
Community Amenities	0	0	0
Transport	174,200	233,182	(58,982)
Economic Services	2,136	9,818	(7,682)
Other Property & Services	15,704	40,909	(25,205)
	243,861	343,000	(99,139)

<u>By Class</u>	Net Book Value	Sale Proceeds	Profit/(Loss)
	June 2016/2017 Y-T-D Actual \$	June 2016/2017 Y-T-D Actual \$	June 2016/2017 Y-T-D Actual \$
Plant & Equipment	243,861	343,000	(99,139)
Land & Buildings	0	0	0
	243,861	343,000	(99,139)

<u>Summary</u>		Profit/(Loss) 2016/2017 Y-T-D Actual \$
Profit on Asset Disposals		11,263
Loss on Asset Disposals		(110,402)
		(99,139)

SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

3. INFORMATION ON BORROWINGS

(a) Debenture Repayments

Particulars	Principal 1-Jul-16	New Loans Actual	New Loans Budget	Principal Repayments		Principal Outstanding		Interest Repayments	
				Actual \$	Budget \$	Actual \$	Budget \$	Actual \$	Budget \$
Education & Welfare									
L110 Aged Accom Lancelin	0			0	0	0	0	0	0
Health									
L100 GG Medical Centre	232,451			22,887	22,887	209,564	209,564	15,554	14,766
Community Amenities									
L111 Tip Rationalisation Site	499,451			14,578	14,578	484,873	484,873	33,918	32,182
Loan 127 - SB Erosion Extension	0	213,897	213,897	9,475	9,383	204,422	204,514	3,333	2,898
Recreation & Culture									
L114 Gu C/Club	490,488			26,991	28,952	463,497	461,536	36,227	34,548
L115 Gu C/Club	25,991			12,538	12,538	13,453	13,453	1,747	1,643
L119 LP Country Club & Granville Civic Centre	16,316			7,871	7,871	8,445	8,445	1,099	1,034
L120 Regional Netball Facility	340,088			17,115	17,115	322,973	322,973	23,599	22,437
L124A Regional Hardcourt Facility	330,480			17,854	17,854	312,626	312,626	14,562	13,466
L126 Swimming Pool	150,000			13,010	13,010	136,990	136,990	5,061	4,550
Economic Services									
L103 Gingin Sale Yards	17,982			5,642	5,642	12,340	12,340	982	982
Other Property & Services									
L91 Guilderton Shop	0			0	0	0	0	0	0
L93 LA Angling/Aquatic	20,127			9,736	9,736	10,391	10,391	1,222	1,156
L106 Lot 1023 Lancelin	0			0	0	0	0	0	0
L118 Office Extensions	32,505			15,679	15,679	16,826	16,826	2,190	2,060
L123 Purchase Lot 44 Weld Street GG	225,365			12,538	12,538	212,827	212,827	16,239	15,471
	2,381,244	213,897	213,897	185,914	187,783	2,409,227	2,407,358	155,731	147,193

**SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017**

3. INFORMATION ON BORROWINGS (continued)

	Principal Actual	Interest Actual
(a) Debenture Repayments	\$	\$
Repayment of Principal for Council Funded Loans will be	163,640	Interest on Council Funded Loans 152,763
Repayment of Principal for Self Supporting Loans will be	22,274	Interest on Self Supporting Loans 2,968
	\$185,914	\$155,731
 (b) New Debentures		
Nil		

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

	June Y-T-D Actual \$	2016/2017 Budget \$
4. RESERVES		
Cash Backed Reserves		
(a) Long Service Leave, Sick Leave, Staff Contingency		
Opening Balance	356,637	355,494
Amount Set Aside / Transfer to Reserve	156,426	6,141
Amount Used / Transfer from Reserve	-	-
	<u>513,063</u>	<u>361,635</u>
(b) Office Equipment Replacement		
Opening Balance	17,210	17,166
Amount Set Aside / Transfer to Reserve	277	426
Amount Used / Transfer from Reserve	-	-
	<u>17,486</u>	<u>17,592</u>
(c) Plant & Equipment Replacement		
Opening Balance	150,707	150,323
Amount Set Aside / Transfer to Reserve	2,421	24,149
Amount Used / Transfer from Reserve	-	-
	<u>153,129</u>	<u>174,472</u>
(d) Land & Buildings General		
Opening Balance	801,200	798,786
Amount Set Aside / Transfer to Reserve	113,336	14,077
Amount Used / Transfer from Reserve	(161,327)	(380,000)
	<u>753,210</u>	<u>432,863</u>
(e) Guilderton Caravan Park Recreation		
Opening Balance	120,316	120,009
Amount Set Aside / Transfer to Reserve	102,397	2,115
Amount Used / Transfer from Reserve	-	-
	<u>222,713</u>	<u>122,124</u>
(f) Shire Recreational Development		
Opening Balance	151,204	215,653
Amount Set Aside / Transfer to Reserve	153,176	3,800
Amount Used / Transfer from Reserve	(100,000)	(100,000)
	<u>204,380</u>	<u>119,453</u>
(g) Redfield Park Public Open Space		
Opening Balance	29,283	41,191
Amount Set Aside / Transfer to Reserve	480	726
Amount Used / Transfer from Reserve	-	-
	<u>29,762</u>	<u>41,917</u>

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

	June Y-T-D Actual \$	2016/2017 Budget \$
RESERVES (continued)		
(h) Ocean Farm Recreation		
Opening Balance	35,986	35,894
Amount Set Aside / Transfer to Reserve	578	633
Amount Used / Transfer from Reserve	-	-
	<u>36,564</u>	<u>36,527</u>
(i) Tip Rationalisation		
Opening Balance	686,147	684,398
Amount Set Aside / Transfer to Reserve	11,024	12,062
Amount Used / Transfer from Reserve	-	(110,000)
	<u>697,171</u>	<u>586,460</u>
(j) Lancelin Community Sporting Club		
Opening Balance	32,708	17,578
Amount Set Aside / Transfer to Reserve	16,293	12,810
Amount Used / Transfer from Reserve	-	-
	<u>49,002</u>	<u>30,388</u>
(k) Community Infrastructure Reserve		
Opening Balance	86,046	85,827
Amount Set Aside / Transfer to Reserve	1,382	1,513
Amount Used / Transfer from Reserve	-	-
	<u>87,429</u>	<u>87,340</u>
(l) Staff Housing Reserve		
Opening Balance	31,238	31,158
Amount Set Aside / Transfer to Reserve	502	549
Amount Used / Transfer from Reserve	-	-
	<u>31,740</u>	<u>31,707</u>
(m) Future Infrastructure Reserve		
Opening Balance	73,481	-
Amount Set Aside / Transfer to Reserve	458,043	76,797
Amount Used / Transfer from Reserve	-	-
	<u>531,524</u>	<u>76,797</u>
(n) Guilderton Country Club Reserve		
Opening Balance	-	-
Amount Set Aside / Transfer to Reserve	2,852	5,460
Amount Used / Transfer from Reserve	-	-
	<u>2,852</u>	<u>5,460</u>
Total Cash Backed Reserves	<u>3,330,023</u>	<u>2,124,735</u>

All of the above reserve accounts are supported by money held in financial institutions.

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

	June Y-T-D Actual \$	2016/2017 Budget \$
4. RESERVES (Continued)		
Summary of Transfers		
To Cash Backed Reserves		
Transfers to Reserves		
Transfers to Reserves		
Long Service Leave, Sick Leave, Staff Contingency	156,426	6,141
Office Equipment Replacement	277	426
Plant & Equipment Replacement	2,421	24,149
Land & Buildings General	113,336	14,077
Guilderton Caravan Park Recreation	102,397	2,115
Shire Recreational Development	153,176	3,800
Redfield Park Public Open Space	480	726
Ocean Farm Recreation	578	633
Tip Rationalisation	11,024	12,062
Lancelin Community Sporting Club	16,293	12,810
Community Infrastructure	1,382	1,513
Staff Housing Reserve	502	549
Guilderton Country Club Reserve	2,852	5,460
Future Infrastructure Reserve	458,043	76,797
	<u>1,019,186</u>	<u>161,258</u>
Transfers from Reserves		
Long Service Leave, Sick Leave, Staff Contingency	-	-
Office Equipment Replacement	-	-
Plant & Equipment Replacement	-	-
Land & Buildings General	(161,327)	(380,000)
Guilderton Caravan Park Recreation	-	-
Shire Recreational Development	(100,000)	(100,000)
Redfield Park Public Open Space	-	-
Ocean Farm Recreation	-	-
Tip Rationalisation	-	(110,000)
Lancelin Community Sporting Club	-	-
Community Infrastructure	-	-
Staff Housing Reserve	-	-
Guilderton Country Club Reserve	-	-
Future Infrastructure Reserve	-	-
	<u>(261,327)</u>	<u>(590,000)</u>
Total Transfer to/(from) Reserves	<u>757,859</u>	<u>(428,742)</u>

In accordance with council resolutions in relation to each reserve account, the purpose for which the reserves are set aside are as follows: for which the reserves are set aside are as follows:

Long Service Leave, Sick Leave, Staff Contingency

Used to fund annual, long service leave, rostered days off (executive staff only), sick leave redundancy/retirement and staff contingency

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

Office Equipment Replacement Reserve

Used for the acquisition and/or replacement of major items of office equipment (including computer system)

Plant and Equipment Reserve

Used for the purchase of major plant and equipment

Land and Building General Reserve

Used for the replacement and/or acquisition of land and buildings

Guilderton Caravan Park Recreation

Used for the development of Guilderton Caravan Park facilities

Shire Recreational Development Reserve Shire Recreational Development Reserve

Used for the development of Shire Recreational facilities

Redfield Park Public Open Space Reserve

Used for the development of Public Open Space within the Redfield Park subdivision

Ocean Farm Recreation

Used for the development of recreation and community facilities within the Ocean Farm subdivision

Tip Rationalisation

Used for rationalisation of rubbish tip facilities within the Shire

Plant & Equipment/Infrastructure Replacement

Used for replacement of Fire Equipment and Infrastructure for fire fighting purposes within the Shire

Lancelin Community Sporting Club Reserve

Used in developing building and other associated infrastructure at the Lancelin Community Sporting Club and are to be spent upon request from the Club, and approval from Council

Community Infrastructure Reserve

Used to assist in the financing of community facilities

Staff Housing Contingency

Staff housing infrastructure additions and/or replacement

Future Infrastructure Reserve

Used for the provision of renewal, upgrade and asset purchases

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

	Actual June 2016/2017 Y-T-D Actual \$	Actual Brought Forward 1-Jul \$
5. NET CURRENT ASSETS		
Composition of Estimated Net Current Asset Position		
CURRENT ASSETS:		
Cash - Unrestricted	1,078,038	851,145
Cash - Restricted Reserves	4 3,330,023	2,572,164
Cash - Restricted General	901,317	1,527,894
Rates - Current	858,250	700,817
Sundry Debtors	1,070,089	1,164,689
Inventories	26,713	34,480
	<u>7,264,430</u>	<u>6,851,189</u>
LESS: CURRENT LIABILITIES		
Payables	(809,841)	(1,279,262)
Employee Provisions	(688,185)	(703,202)
Accrued Interest on Loans	0	(30,562)
	<u>(1,498,026)</u>	<u>(2,013,027)</u>
	5,766,404	4,838,162
Less: Cash - restricted reserves	4 (3,330,023)	(2,572,164)
NET CURRENT ASSET POSITION	<u><u>2,436,381</u></u>	<u><u>2,265,998</u></u>

SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

6. RATING INFORMATION

RATE TYPE	Rate in \$	Number of Properties	Rateable Value \$	2016/2017 Rate Revenue \$	2016/2017 Interim Rates \$	2016/2017 Back Rates \$	2016/2017 Total Revenue \$	2016/2017 Budget \$
General Rate								
GRV - Townsites	0.082063	1,743	28,508,235	2,339,471			2,339,471	2,339,471
GRV - Other	0.082063	923	14,815,362	1,215,793			1,215,793	1,215,793
UV - Rural	0.004427	422	286,427,000	1,268,014			1,268,014	1,268,014
UV - Other	0.004427	1	2,800,000	12,396			12,396	12,396
UV - Intensive	0.008303	118	64,543,000	535,901			535,901	535,901
Interim Rates			0	0	20,489		20,489	20,000
Back Rates			0	0		16,760	16,760	1,000
Sub-Totals		3,207	397,093,597	5,371,574	20,489	16,760	5,408,823	5,392,574
Minimum Rates	Minimum \$							
GRV - Townsites	980	879	6,752,442	861,420			861,420	861,420
GRV - Other	980	751	4,133,426	735,980			735,980	735,980
UV - Rural	1238	372	74,924,300	460,536			460,536	460,536
UV - Other	1238	22	608,000	27,236			27,236	27,236
UV - Intensive	2,201	93	15,553,853	204,693			204,693	204,693
Sub-Totals		2,117	101,972,021	2,289,865	0	0	2,289,865	2,289,865
Concessions					(95,527)		(95,527)	(92,000)
Rate Write Off							0	
Ex-Gratia Rates							4,119	(600)
Totals		5,324	499,065,618	7,661,439	(75,037)	16,760	7,607,280	7,589,839

All land except exempt land in the Shire of Gingin is rated according to its Gross Rental Value (GRV) in townsites or Unimproved Value (UV) in the remainder of the Shire.

The general rates detailed above for the 2016/2017 financial year have been determined by Council on the basis of raising the revenue required to meet the deficiency between the total estimated expenditure proposed in the budget and the estimated revenue to be received from all sources other than rates and also bearing considering the extent of any increase in rating over the level adopted in the previous year.

The minimum rates have been determined by Council on the basis that all ratepayers must make a reasonable contribution to the cost of the Local Government services/facilities.

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

7. TRUST FUNDS

Funds held at balance date over which the Municipality has no control and which are not included in this statement are as follows:

Detail	Balance 01-Jul-16 \$	Amounts Received \$	Amounts Paid (\$)	June Y-T-D Actual \$
Bonds, Tenders etc	5,800	8,417	5,100	9,117
Car Parking Cash in Lieu	11,482	1,532		13,014
Community Groups	3,592	716	15	4,293
Councillors Nominations	-			-
D Wedge Trust	4,858	1,520	63	6,315
Excavation Bonds	20,000	6,096		26,096
Footpath Bonds	5,240	742		5,982
Landscaping Bonds	41,635	8,132		49,767
Old Junction Hotel Restoration	1,318	425		1,743
Other Bonds/Trusts	13,527	10,107	3,143	20,491
Public Open Space	30,000	4,465		34,465
Rehabilitation Bonds	64,842	20,990		85,831
Second Hand Buildings	34,500	13,139		47,639
Staff Trust	11,633	30,776	25,529	16,880
Subdivision Bonds	169,067	38,071		207,138
Tree Planting Bonds	-	5,456		5,456
Trust Interest	173,450	4,628	178,079	0
	590,944	155,211	211,928	534,227

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

8. OPERATING STATEMENT

	June 2016/2017 Y-T-D Actual \$	2016/2017 Budget \$	2015/2016 Actual \$
OPERATING REVENUES			
Governance	534	10,000	4,545
General Purpose Funding	10,555,255	8,748,355	8,542,000
Law, Order, Public Safety	779,095	887,731	365,570
Health	246,157	263,000	253,767
Education and Welfare	127,217	122,000	138,102
Housing	24,280	26,000	28,937
Community Amenities	2,331,462	1,779,028	3,113,624
Recreation and Culture	575,412	452,173	1,084,116
Transport	1,811,071	1,903,396	2,154,773
Economic Services	1,983,912	1,952,661	1,699,873
Other Property and Services	335,253	365,815	898,485
Restricted Cash	(626,578)	0	(74,302)
TOTAL OPERATING REVENUE	18,143,070	16,510,159	18,209,490
OPERATING EXPENSES			
Governance	(1,003,638)	(1,077,144)	(1,061,903)
General Purpose Funding	(425,909)	(408,097)	(395,394)
Law, Order, Public Safety	(1,483,886)	(1,030,068)	(1,575,896)
Health	(847,984)	(675,974)	(728,762)
Education and Welfare	(179,251)	(188,803)	(167,643)
Housing	(28,160)	(20,439)	(33,354)
Community Amenities	(2,192,874)	(2,174,087)	(2,349,650)
Recreation & Culture	(3,161,398)	(2,752,161)	(3,016,920)
Transport	(2,077,893)	(4,087,190)	(4,739,984)
Economic Services	(1,650,096)	(1,807,154)	(1,453,833)
Other Property and Services	(1,280,066)	(643,966)	(377,722)
Restricted Cash	0	0	(25,300)
TOTAL OPERATING EXPENSE	(14,331,155)	(14,865,083)	(15,926,358)
CHANGE IN NET ASSETS RESULTING FROM OPERATIONS	3,811,915	1,645,076	2,283,132

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2016 TO 30 JUNE 2017

9. STATEMENT OF FINANCIAL POSITION

	June 2016/17 Y-T-D Actual \$	2015/2016 Actual \$
CURRENT ASSETS		
Cash Assets	1,979,355	2,379,039
Reserves - Cash Backed	3,330,023	2,572,164
Receivables - Cash	1,928,339	1,865,506
Receivables - Non Cash	40,593	38,536
Inventories	26,713	34,480
TOTAL CURRENT ASSETS	7,305,023	6,889,725
NON-CURRENT ASSETS		
Receivables	149,418	168,322
Inventories	0	0
Property, Plant and Equipment	55,105,350	54,797,949
Infrastructure	99,451,020	96,865,206
TOTAL NON-CURRENT ASSETS	154,705,789	151,831,477
TOTAL ASSETS	162,010,812	158,721,202
CURRENT LIABILITIES		
Payables	774,553	1,279,262
Accrued Interest on Debentures	0	30,562
Interest-bearing Liabilities	0	176,438
Provisions	688,185	703,202
TOTAL CURRENT LIABILITIES	1,462,738	2,189,465
NON-CURRENT LIABILITIES		
Interest-bearing Liabilities	2,409,227	2,204,805
Provisions	152,503	152,503
TOTAL NON-CURRENT LIABILITIES	2,561,730	2,357,308
TOTAL LIABILITIES	4,024,468	4,546,773
NET ASSETS	157,986,344	154,174,429
EQUITY		
Reserves - Asset Revaluation	106,207,280	106,207,280
Reserves - Cash Backed	3,330,023	2,572,164
Retained Surplus	48,449,040	45,394,985
TOTAL EQUITY	157,986,344	154,174,429

APPENDIX 2

LIST OF ACCOUNTS PAID BY COUNCIL SUBMITTED TO THE
COUNCIL MEETING HELD ON AUGUST 2017

TYPE	DATE PAID NAME	DETAILS	AMOUNT
Chg/EFT			
EFT22010	03/07/2017 NEO INFRASTRUCTURE PTY LTD	BRIDGE AT MURRAY ROAD	159167.80
EFT22015	04/07/2017 LGIS RISK MANAGEMENT	EEO - WORKPLACE BEHAVIOUR TRAINING	2112.00
EFT22016	04/07/2017 GINGIN CRC	BUSINESS MEMBERSHIP	55.00
EFT22017	04/07/2017 HELEN MARIE SAMPSON	WASTE MANAGEMENT	2411.60
EFT22018	04/07/2017 ARISTEI ENTERPRISES PTY LTD	RATES PRIZE 16/17	2500.00
EFT22019	04/07/2017 COVS PARTS PTY LTD	PGG050 NEW DRIVING LIGHTS	716.12
EFT22020	04/07/2017 KLEENHEAT GAS PTY LTD	PROPANE GAS	940.79
EFT22021	04/07/2017 GR THOMSON TRUCK HIRE	TRUCK HIRE	7811.38
EFT22022	04/07/2017 REGENTS ISUZU UTE	NEW ISUZU 4X4 D-MAX CREW CAB UTILITY	39956.46
EFT22023	05/07/2017 WA FUEL SUPPLIES	DIESEL	13353.50
EFT22024	05/07/2017 STEWART AND HEATON CLOTHING	PPE	420.88
EFT22025	05/07/2017 CELLARBRATIONS GINGIN	RESTOCK FOR BFAC MEETING	108.99
EFT22026	05/07/2017 BROOKS HIRE SERVICE	DRY HIRE OF MULTI-TYRED ROLLER	5974.98
EFT22027	05/07/2017 DARRYL BRENDON FERGUSON	MAINTENANCE GRADING BEERMULLAH RD	2337.50
EFT22028	05/07/2017 ADOFORM ENGRAVING & SIGNS	1X PLAQUE - HERB ELLIOT	38.50
EFT22029	05/07/2017 MOORE RIVER ELECTRICAL	FIX FLURO LIGHTS IN LADIES ABLUTION	132.00
EFT22030	05/07/2017 HILLS FIRE EQUIPMENT SERVICE	FIRE EQUIPMENT SERVICING	4456.10
EFT22031	05/07/2017 AMPAC DEBT RECOVERY	DEBT RECOVERY	8680.39
EFT22032	05/07/2017 LANCELIN MECHANICAL	TOWING OF ABANDONED VEHICLE	88.00
EFT22033	05/07/2017 BITUTEK PTY LTD	RESEAL BARRAGOON ROAD	82500.00
EFT22034	05/07/2017 KLEENHEAT GAS PTY LTD	SUPPLY 554.4 L BULK GAS	436.04
EFT22035	06/07/2017 COO-EE COURIERS	FREIGHT	705.02
EFT22036	06/07/2017 GR THOMSON TRUCK HIRE	TRUCK HIRE	3918.75
EFT22037	06/07/2017 ADVANCED TRAFFIC MANAGEMENT	TRAFFIC CONTROL	14014.29
EFT22038	06/07/2017 ROAD SIGNS AUSTRALIA	SIGNS	5500.00
EFT22039	06/07/2017 G T HARLEY FENCING	INSTALL AND REPLACE FENCING	6489.56
EFT22040	06/07/2017 GINGIN TRADING	JUNE ACCOUNT 2017	1669.61
EFT22041	06/07/2017 JASON INDUSTRIES & SIGNMAKERS	SIGNS	610.50
EFT22042	06/07/2017 COUNTRY COPIERS NORTHAM	METER READING	2790.09
EFT22043	06/07/2017 GR THOMSON TRUCK HIRE	TRUCK HIRE	679.25
EFT22044	06/07/2017 DAVID GRAY AND CO PTY LTD	BINS	12597.21
EFT22045	06/07/2017 CASTLEDEX W/SPACE SOLUTIONS	OFFICE FURNITURE	3022.80
EFT22046	06/07/2017 BINDOON TRACTORS	NEW WHIPPER SNIPPER FOR LA DEPOT	820.00
EFT22047	06/07/2017 DIRECTIONS WORKFORCE SOLUTIONS	APPRENTICE SALARY N MICALLEF	3778.41
EFT22048	06/07/2017 LANCELIN IGA XPRESS	JUNE ACCOUNT 2017	102.48
EFT22049	06/07/2017 GA LIDDELOW STEEL FABRICATION	MANAGEMENT FEE GU CARAVAN PARK	41250.00
EFT22050	06/07/2017 MCGEES PROPERTY	VALUATION OF LOT 11 MOOLABEENEE RD	3850.00
EFT22051	06/07/2017 TROY'S PLUMBING PTY LTD	REPAIR HOT WATER CYCLINDER	99.00
EFT22052	06/07/2017 TONER PLUS	SP3510SF - RECEPTION PRINTER	202.50
EFT22053	06/07/2017 DAIMLER TRUCKS PERTH	DRYER AND FILTER AND COOLING UNIT	1618.01
EFT22054	06/07/2017 GINGIN PREMIUM MEATS	CATERING	135.50
EFT22055	06/07/2017 AUSTRALIA POST	POSTAGE	1462.50
EFT22056	06/07/2017 BOC PTY LTD	FREIGHT	110.84
EFT22057	06/07/2017 IT VISION AUSTRALIA PTY LTD	MONTHLY HOSTING FEE FOR CPM	220.00
EFT22058	06/07/2017 GINGIN IGA EXPRESS	JUNE ACCOUNT 2017	1159.39
EFT22059	10/07/2017 CELLARBRATIONS GINGIN	CATERING	104.99
EFT22060	10/07/2017 GINGIN MECHANICAL SERVICES	SOLVENT FOR PATCHING	2159.96
EFT22061	10/07/2017 SANDRA DWYER	REFUND FOR TRAP	50.00
EFT22062	10/07/2017 WHEELS & KEELS AUTO ELECTRICAL	WORKSHOP DUTIES	2093.78
EFT22063	10/07/2017 COVS PARTS PTY LTD	MAINTENANCE ITEMS	902.63
EFT22064	10/07/2017 ASHDOWN- INGRAM	VACUM PUMP AND CONSUMABLES	1821.79
EFT22065	10/07/2017 GINGIN PREMIUM MEATS	CATERING	145.50
EFT22066	10/07/2017 INTEGRITY MANAGEMENT SOLUTIONS P	SUBSCRIPTION FOR ATTAIN SOFTWARE	3850.00
EFT22067	10/07/2017 ROAD SPECIALIST AUSTRALIA	PATCHING PUMP REPAIR AND HIRE	4416.50
EFT22068	10/07/2017 PAMELA ASHANNA VINTEN	REFUND FOR TRAP	50.00
EFT22069	10/07/2017 JOANNE TONNA GRAPHIC DESIGN	ADVERTISING	180.00
EFT22070	10/07/2017 GINGIN FUEL AND TYRES	TYRES GG050	1426.50
EFT22071	11/07/2017 MARIE THERESA CRANE	CRAFT SUPPLIES	159.17
EFT22072	11/07/2017 GR THOMSON TRUCK HIRE	TRUCK HIRE	21370.30
EFT22073	11/07/2017 FV & M SMIT TRUST ACCOUNT	DOCTOR'S SUPPORT	2155.34
EFT22074	11/07/2017 SONIC HEALTHPLUS PTY LTD	PAUL O'BRIEN - PRE-EMPLOYMENT MED	231.00
EFT22075	11/07/2017 KOOKABURRA BINS	TRANSPORT GLASS RECYCLABLES	440.00
EFT22076	11/07/2017 DAIMLER TRUCKS PERTH	PGG028,NEW BRAKE CONTROL MODULE	4668.00
EFT22077	11/07/2017 ITR WESTERN AUSTRALIA	PGG026 NEW BUCKET CUTTING EDGE	728.66
EFT22078	11/07/2017 LANDGATE	VALUATIONS	794.89
EFT22079	12/07/2017 ENVIRONMENTAL HEALTH AUSTRALIA	SUBSCRIPTION FOR ENVIRO HEALTH	204.00
EFT22080	12/07/2017 PRECISION AIR CONDITIONING (WA)	REPLACE AIR CON UNITS TO SENIOR UNITS	1760.00
EFT22081	12/07/2017 TUTT BRYANT	GG029 NEW EXPANSION TANK	696.06
EFT22082	12/07/2017 DVG WANNEROO MITSUBISHI	SCHEDULED SERVICES	675.31
EFT22083	12/07/2017 TRUCK CENTRE WA PTY LTD	SERVICES	1163.59
EFT22084	12/07/2017 LANCELIN BEACH HOTEL	BENNIES RD FIRE INC NO 364438 FIREFIGHT	410.00
EFT22085	12/07/2017 DARREN LONG CONSULTING	ANNUAL BUDGET PREPARATION	14058.00
EFT22086	12/07/2017 WHEELS & KEELS AUTO ELECTRICAL	VEHICLE SERVICING	1096.39
EFT22087	12/07/2017 COVS PARTS PTY LTD	TRAILER MUD FLAPS	648.49
EFT22088	12/07/2017 GRANTS EMPIRE	APP FOR FUNDING LOTTERYWEST	924.00
EFT22090	12/07/2017 GINGIN FUEL AND TYRES	TYRES	1404.90
EFT22091	12/07/2017 IT VISION AUSTRALIA PTY LTD	INNOVATE IT VISION CONFERENCE	350.24
EFT22092	12/07/2017 CARDNO (WA) PTY LTD	GG AND DANDARAGN CHRMAP	14889.60
EFT22093	12/07/2017 STEWART AND HEATON CLOTHING	PPE	178.27
EFT22094	12/07/2017 DAVID GRAY AND CO PTY LTD	PURCHASE 24 BINS	1541.76
EFT22095	12/07/2017 AVON WASTE	RUBBISH COLLECTION	10562.10
EFT22096	12/07/2017 COASTLINE CLEANING SERVICES	CLEANING ABLUTION BLOCKS	4476.00
EFT22097	12/07/2017 KEVIN VINE	CLEANING	2579.22
EFT22098	12/07/2017 N M AVEY AND E M PAUL	MANAGEMENT FEE	15023.30
EFT22099	12/07/2017 GINGIN FUEL AND TYRES	FUEL	89.42
EFT22100	12/07/2017 KLEENHEAT GAS PTY LTD	GAS SUPPLIES	1890.97
EFT22102	13/07/2017 RSPCA WA (INC.)	PAYROLL DEDUCTIONS	7.00
EFT22103	13/07/2017 LGRCEU (WA DIVISION)	PAYROLL DEDUCTIONS	54.68
EFT22104	13/07/2017 HIF	PAYROLL DEDUCTIONS	110.28
EFT22105	13/07/2017 SOCIAL CLUB TRUST	PAYROLL DEDUCTIONS	944.06

EFT22106	13/07/2017	PAYWISE	VEHICLE LEASE	2172.34
EFT22107	14/07/2017	DFES	ESL PAYMENT FOR JUNE 2017	3747.89
EFT22108	14/07/2017	WRIGHT EXPRESS	JUNE ACCOUNT 2017	2037.92
EFT22109	17/07/2017	HITACHI	PGG003 SEAL KIT FOR MOTOR	998.77
EFT22110	17/07/2017	LYNDSAY MICHAEL CARLISLE	TILING TO WALLS	908.00
EFT22111	17/07/2017	ENZED PERTH	NEW DUMP VALVE ON COMPRESSOR	242.00
EFT22112	17/07/2017	MIRACLE RECREATION EQUIPMENT	SUPPLY/INSTALL PLAYGROUND EQUIP	41276.93
EFT22113	17/07/2017	WALGA	MEMBERSHIP/ASSOCIATE MEMBERSHIP	28605.94
EFT22114	17/07/2017	IT VISION USER GROUP INC	IT VISION USER GROUP MEMBERSHIP FEE	715.00
EFT22115	17/07/2017	FV & M SMIT TRUST ACCOUNT	SUPPLIES AND MATERIALS	2021.29
EFT22116	17/07/2017	AUSTRALIAN COASTAL COUNCILS	ANNUAL MEMBERSHIP FEES	1292.84
EFT22117	17/07/2017	WA POLICE SERVICE	POLICE CHECKS	44.70
EFT22118	17/07/2017	PEDDERS SUSPENSION	WHEEL ALIGNMENT	198.00
EFT22119	17/07/2017	NATIONWIDE SIGNS	SHIRE OFFICE FRONT DOOR SIGNS	220.00
EFT22120	17/07/2017	IT VISION AUSTRALIA PTY LTD	SYNSOFT & UNIVERSAL ANNUAL FEES	83983.90
EFT22121	17/07/2017	JASON INDUSTRIES & SIGNMAKERS	STEEL YELLOW POSTS WITH CAPS	2088.68
EFT22122	17/07/2017	CELLARBRATIONS GINGIN	REFRESHMENTS	100.00
EFT22123	17/07/2017	PERTH AUDIOVISUAL	ADDITIONAL WIRELESS MICROPHONE	841.23
EFT22124	17/07/2017	LANCELIN GULL ROADHOUSE	FUEL	379.97
EFT22125	17/07/2017	RODNEY & JOY VENESS	CLEANING	260.00
EFT22126	17/07/2017	HENDO'S PLUMBING AND GAS	SERVICE OF ATU AT WANGAREE CENTRE	600.00
EFT22127	17/07/2017	AMPS PRODUCTS	SUPPLY AND DELIVER 5 SPIRAL RACKS	12438.80
EFT22128	17/07/2017	ASHDOWN- INGRAM	5 X 4 FLUSH FLUID FOR GG088	437.80
EFT22129	17/07/2017	COURIER AUSTRALIA	FREIGHT	120.18
EFT22130	17/07/2017	GINGIN FUEL AND TYRES	TYRE	199.50
EFT22131	17/07/2017	LANCELIN TRADE AND RURAL SUPPLIES	JUNE ACCOUNT 2017	1973.64
EFT22132	17/07/2017	MOORE RIVER ROADHOUSE	JUNE ACCOUNT 2017	1317.53
EFT22133	17/07/2017	BUILDING COMMISSION	SERVICES LEVY JUNE 2017	2665.66
EFT22134	17/07/2017	COMMUNITY NEWSPAPER GROUP	ADVERTISING	2136.82
EFT22135	17/07/2017	DUDLEY CHEMICALS PTY LTD	CLEANINGS CHEMICALS AND TOILETRIES	2440.80
EFT22136	17/07/2017	OFFICEMAX AUSTRALIA LTD	STATIONERY	44.27
EFT22137	17/07/2017	DAVE'S PROPERTY IMPROVEMENTS	PROVISION OF CHANGING FACILITY	27707.75
EFT22138	17/07/2017	COURIER AUSTRALIA	FREIGHT	34.39
EFT22139	17/07/2017	LANDGATE	VALUATIONS	485.40
EFT22140	18/07/2017	FUEL DISTRIBUTORS OF WA PTY LTD	DIESEL	12921.60
EFT22141	19/07/2017	HELEN MARIE SAMPSON	WASTE MANAGEMENT	2411.60
EFT22142	19/07/2017	MINT TINT	OBSCURING FILM TO OFFICE WINDOWS.	220.00
EFT22143	19/07/2017	WHEATBELT GYMNASTICS	APPROVED KIDSPORT REGISTRATION X1	110.00
EFT22144	19/07/2017	CHEFMASTER AUSTRALIA	80 LITRE GREEN RUBBISH BAGS	251.70
EFT22145	19/07/2017	LEDGE POINT HARDWARE	G CUP MIX	19.36
EFT22146	19/07/2017	GULL GINGIN	PIZZAS - SPECIAL BFAC MEETING	108.50
EFT22147	19/07/2017	NICOLE SIEMON AND ASSOC PTY LTD	SEABIRD SEAWALL REVEGETATION	2907.30
EFT22148	19/07/2017	PHONOGRAPHIC PERFORMANCE	PPCA - 1/6/2017 TO 31/5/2018	921.46
EFT22149	19/07/2017	FV & M SMIT TRUST ACCOUNT	DOCTOR'S SUPPORT	2800.36
EFT22150	19/07/2017	CHITTERING SEPTIC SERVICE	SEPTIC REMOVAL	80.00
EFT22151	19/07/2017	MOORE RIVER SKIP BINS	RECYCLING	440.00
EFT22152	19/07/2017	YANCHEP JUNIOR F/BALL CLUB	APPROVED KIDSPORT APPLICATION X1	200.00
EFT22153	19/07/2017	TECHNOLOGYONE LIMITED	INTRAMAPS LICENSE FEE	12375.00
EFT22154	19/07/2017	WANNEROO JUNIOR FOOTBALL CLUB	APPROVED KIDSPORT APPLICATION X1	85.00
EFT22155	19/07/2017	COURIER AUSTRALIA	FREIGHT	125.34
EFT22156	19/07/2017	AUSTRALIAN TAXATION OFFICE	JUNE FBT 2017,FUEL REBATE	144639.34
EFT22157	20/07/2017	LENOVO (AUSTRALIA & NEW ZEALAND)	REPLACEMENT PCS	3973.20
EFT22158	21/07/2017	DURTY FILTHY GARDEN SUPPLIES	LAWN TOP DRESSING/WANGAREE PARK.	262.50
EFT22161	21/07/2017	CELLARBRATIONS GINGIN	REFRESHMENTS	25.99
EFT22162	21/07/2017	CENTRAL REGIONAL TAFE	ENROLMENT FOR TAFE UNITS S MOIR	124.16
EFT22163	21/07/2017	ASHLEYS ELECTRICAL SERVICES	REPAIRS	185.08
EFT22164	21/07/2017	ENZED PERTH	VACUUM PUMP REGULATOR	111.10
EFT22165	21/07/2017	GULL GINGIN	CATERING	152.00
EFT22166	21/07/2017	TUTT BRYANT	GG029 SCHEDULED SERVICE 1500HRS	1399.60
EFT22167	21/07/2017	DIRECTIONS WORKFORCE	APPRENTICE SALARY - N MICALLEF	2417.54
EFT22168	21/07/2017	ROAD SIGNS AUSTRALIA	SIGNS	831.60
EFT22169	21/07/2017	GWYDIR SHIRE COUNCIL	MEMBERSHIP REGIONAL ROAD GROUP	500.00
EFT22170	21/07/2017	FULTON HOGAN INDUSTRIES PTY LTD	8 X BULKA BAGS ROAD PATCH	5632.00
EFT22171	21/07/2017	DEPARTMENT OF TRANSPORT	VEHICLE SEARCH	155.10
EFT22172	21/07/2017	BIG WHEELS	STEERING ALIGNMENT AND SUSPENSION	647.90
EFT22173	21/07/2017	GINGIN PREMIUM MEATS	CATERING	145.00
EFT22174	21/07/2017	AHG TRADE PARTS CENTRE	PGG009 NEW BRAKES AND WATER PUMP AI	1457.59
EFT22175	21/07/2017	GINGIN FUEL AND TYRES	TYRES	878.50
EFT22178	21/07/2017	PACIFIC BRANDS WORKWEAR	STAFF UNIFORM	5103.80
EFT22179	21/07/2017	LGIS	LGIS MOTOR VEHICLE INSURANCE 17/18	79510.66
EFT22180	21/07/2017	LGIS WORKCARE	LGIS PROPERTY INSURANCE	176249.64
EFT22181	21/07/2017	PACIFIC BRANDS WORKWEAR	STAFF UNIFORM	3436.57
EFT22182	21/07/2017	LANCELIN CWA	QUARTERLY HALL HIRE	63.64
EFT22183	21/07/2017	GULL GINGIN	CATERING	295.10
EFT22184	21/07/2017	MBE WEST PERTH	POSTERS FOR GD CHRMAPS W/SHOP	426.80
EFT22185	21/07/2017	LANCELIN SANDS	PUMP CARAVAN DUMP POINT GU C/PARK	1200.00
EFT22186	21/07/2017	STEWART AND HEATON CLOTHING	PPE	265.35
EFT22187	21/07/2017	TALBOT WALSH ENGRAVING	STAINLESS STEEL PLAQUE	301.40
EFT22188	21/07/2017	MOORE RIVER ELECTRICAL	INSTALL KITCHEN ELECTRICS	297.00
EFT22189	21/07/2017	GFAB	2 DRAINAGE GRATES	550.00
EFT22190	21/07/2017	FRONTLINE FIRE AND RESCUE EQUIP	PPE	2670.26
EFT22191	21/07/2017	JOANNE TONNA GRAPHIC DESIGN	PUBLICATION - FIREBREAK ORDER	180.00
EFT22192	24/07/2017	CELLARBRATIONS GINGIN	REFRESHMENTS	129.99
EFT22193	24/07/2017	OFFICE NATIONAL JOONDALUP	RAP REVIEW CHANGE OF FORMAT	150.00
EFT22194	24/07/2017	ASHDOWN- INGRAM	DRIVING LIGHT HARNESS	53.90
EFT22195	24/07/2017	AHG TRADE PARTS CENTRE	WATER CONTAINER ,WIPER BLADES	509.15
EFT22196	24/07/2017	RAMM SOFTWARE PTY LTD	RAMM ANNUAL FEE 01/07/17 - 30/06/18	7385.16
EFT22197	24/07/2017	DIELECTRIC SECURITY SYSTEMS	SECUTIRY MONITORING FOR GG OFFICE	302.50
EFT22198	24/07/2017	GINGIN FLORIST	FLORAL BOUQUET FOR 100TH BIRTHDAY	90.00
EFT22199	24/07/2017	RECALL	2017/18 ANNUAL RETENTION FEES	193.14
EFT22200	24/07/2017	NORTHERN VALLEY NEWS	ADVERTISING	800.00
EFT22201	24/07/2017	COVS PARTS PTY LTD	WORKSHOP SUNDRIES	706.64
EFT22202	24/07/2017	DAIMLER TRUCKS PERTH	NEW WINDOW MOTOR	438.79
EFT22203	24/07/2017	GINGIN FUEL AND TYRES	TYRE	2139.00
EFT22204	24/07/2017	JASON INDUSTRIES & SIGNMAKERS	SIGN	46.20

EFT22205	25/07/2017	PRECISION AIR CONDITIONING (WA)	REPLACE AIR CON	2695.00
EFT22206	25/07/2017	COS	STATIONERY	550.31
EFT22207	25/07/2017	GINGIN NETBALL CLUB INC.	APPROVED KIDSPORT APPLICATION X 2	221.00
EFT22208	25/07/2017	TUDOR HOUSE	FLAGS	1317.00
EFT22209	25/07/2017	AUSTRALIA POST	POSTAGE	165.00
EFT22210	25/07/2017	LOCAL GOVERNMENT PROFESSIONAL	LG PROFESSIONALS WOMEN'S FORUM	2635.00
EFT22211	25/07/2017	SONIC HEALTHPLUS PTY LTD	PRE EMPLOYMENT MEDICAL ASSESSMENT	231.00
EFT22212	25/07/2017	WHEELS & KEELS AUTO ELECTRICAL	WORKSHOP DUTIES	947.89
EFT22213	25/07/2017	COVS PARTS PTY LTD	NEW WATER LINE REEL FOR WKSHOP	515.84
EFT22214	25/07/2017	DOCU-SHRED	DOCUMENT SHREDDING	380.82
EFT22215	25/07/2017	GRANTS EMPIRE	APP FOR FUNDING LOTTERYWEST	924.00
EFT22216	25/07/2017	ARROW BRONZE	BRONZE PLAQUE - GG CEMETERY	275.38
EFT22217	25/07/2017	JASON INDUSTRIES & SIGNMAKERS	STICKERS AND SIGNS	144.60
EFT22218	25/07/2017	LA COMMUNITY AND SPORTING CLUB	APPROVED KIDSPORT APPLICATION X1	85.00
EFT22219	26/07/2017	WANT PLUMBING SERVICES	REPLACE HOT WATER SYSTEM	1721.50
EFT22220	26/07/2017	SPECIALISED TREE LOPPING	REMOVE TREES	3300.00
EFT22221	27/07/2017	PAYWISE	VEHICLE LEASE	2807.92
EFT22222	27/07/2017	RSPCA WA (INC.)	PAYROLL DEDUCTIONS	10.00
EFT22223	27/07/2017	LGRCEU (WA DIVISION)	PAYROLL DEDUCTIONS	82.00
EFT22224	27/07/2017	HIF	PAYROLL DEDUCTIONS	157.55
EFT22225	27/07/2017	SOCIAL CLUB TRUST	PAYROLL DEDUCTIONS	1609.00
EFT22226	27/07/2017	TUTT BRYANT	NEW AIR VALVE	413.85
EFT22227	27/07/2017	WREN OIL	WASTE OIL	16.50
EFT22228	27/07/2017	HELEN MARIE SAMPSON	WASTE MANAGEMENT	2818.60
EFT22229	27/07/2017	SIGMA CHEMICALS	CHEMICALS	355.94
EFT22230	27/07/2017	OFFICEMAX AUSTRALIA LTD	STATIONERY	152.14
EFT22231	27/07/2017	BINDOON TRACTORS	SWITCH	10.74
EFT22232	27/07/2017	ROAD SIGNS AUSTRALIA	SIGNS	292.60
EFT22233	27/07/2017	LEDGE'S KANGA AND SKIP BIN HIRE	SKIP BIN HIRE FOR LANCELIN JETTY	1320.00
EFT22234	27/07/2017	PEDDERS SUSPENSION	GG050, SUSPENION FIT AND UPGRADE	1539.00
EFT22235	27/07/2017	ALANCO AUSTRALIA	ANTENNAS	144.14
EFT22236	27/07/2017	COVS PARTS PTY LTD	GG079 NEW 40CH RADIO PACK	478.34
EFT22237	27/07/2017	COURIER AUSTRALIA	FREIGHT	91.30
EFT22238	27/07/2017	GINGIN FUEL AND TYRES	GUAGE	6.50
EFT22239	31/07/2017	STEWART AND HEATON CLOTHING	PPE	318.45
EFT22240	31/07/2017	AUSTRALIAN MEDIA AUTHORITY	LICENCE RENEWAL KARAKIN LAKE LA	44.00
EFT22241	31/07/2017	LOCAL GOVERNMENT PROFESSIONALS	LOCAL GOV PROFESSIONALS	1563.00
EFT22242	31/07/2017	FV & M SMIT TRUST ACCOUNT	STAFF COSTS GG MEDICAL CENTRE	3271.70
EFT22243	31/07/2017	SIGMA CHEMICALS	CHEMICALS	453.59
EFT22244	31/07/2017	ROSEBROOK EMBROIDERY	UNIFORM EMBROIDERY	85.00
EFT22245	31/07/2017	DATAM3	EMAIL SECURITY SUB - MIMICAST S1	5583.80
EFT22246	31/07/2017	COVS PARTS PTY LTD	COOLANT SYSTEM ANALYSER	723.00
EFT22247	31/07/2017	GINGIN FUEL AND TYRES	TYRES	1040.06
EFT22248	31/07/2017	KLEENHEAT GAS PTY LTD	BULK PROPANE GAS	778.28
EFT22249	31/07/2017	WORK CLOBBER	RANGER UNIFORM	277.95
EFT22250	31/07/2017	EASTSIDE CONCRETE CONTRACTING	FOOTPATH IN GINGIN AND LANCELIN	9343.13
EFT22251	31/07/2017	GINGIN FUEL AND TYRES	TYRES	2091.05

EFT TOTAL

1,326,226.91

CHEQUES

115257	05/07/2017	PHILLIP NORMAN YUKICH	REFUND OF APPLICATION FEE	147.00
115258	05/07/2017	TELSTRA	FIRE BRIGADE PHONES AND DATA	171.83
115259	10/07/2017	PAUL BUCKLEY	REFUND FOR TRAP	50.00
115260	11/07/2017	BEACHSANDS LEDGE POINT	JUNE 2017 ACCOUNT	102.29
115261	13/07/2017	ANNE MARTINO	EMBROIDERY ON RANGER UNIFORMS	162.50
115262	13/07/2017	SHIRE OF GINGIN	PAY ENDING PE 11/7/2017	2146.49
115263	17/07/2017	CONSTRUCTION TRAINING FUND	LEVY PAYMENT	4273.94
115264	18/07/2017	PETTY CASH SHIRE OF GINGIN	EOFY 16/1/ POLICE LICENSING BALANCING	76880.95
115265	19/07/2017	TERENCE DESMOND SHINNICK	REIMBURSEMENT FOR CROSS OVER	250.00
115266	24/07/2017	KRISTY BUMBAK	REFUND FOR GU C/PARK	115.00
115267	24/07/2017	SYNERGY	LANCELIN CARAVAN PARK	3733.10
115268	24/07/2017	GINGIN PHARMACY	BURN GEL	62.95
115269	24/07/2017	JIUFFRE ITALO	REFUND FOR GU C/PARK	115.00
115270	27/07/2017	SHIRE OF GINGIN	PAY ENDING 25/7/2017	2220.00

CHEQUES TOTAL

90,431.05

DIRECT DEBIT

DD22053.1	05/07/2017	TELSTRA	GUILDERTON CARAVAN PARK	559.33
DD22052.1	06/07/2017	SYNERGY	RED GULLY FIRE BRIGADE	50.5
DD22048.1	10/07/2017	TELSTRA	OFFICE - JUNE ACCOUNT	2378.12
DD22051.1	10/07/2017	T-QUIP	STREET SWEEPER RENTAL - JUNE 2017	3771.83
DD22036.1	11/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	2011.78
DD22036.2	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	77.58
DD22036.3	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	84.52
DD22036.4	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	161.80
DD22036.5	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	140.52
DD22036.6	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	63.39
DD22036.7	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	137.35
DD22036.8	11/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	472.89
DD22036.9	11/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	789.66
DD22055.1	11/07/2017	TELSTRA	MOBILE TELEPHONES - JUNE 2017	1327.99
DD22211.1	11/07/2017	PERTH ENERGY PTY LTD	MONTHLY ACCOUNT	5224.61
DD22036.10	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	141.32
DD22036.11	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	164.38
DD22036.12	11/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	367.53
DD22036.13	11/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	12381.73
DD22036.14	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	370.35
DD22036.15	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	440.45
DD22036.16	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	879.78
DD22036.17	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	245.41
DD22036.18	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	77.10

DD22036.19	11/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	108.88
DD22057.1	12/07/2017	SYNERGY	OCEAN FARM RADIO MAST - JUNE 2017	1491.55
DD22082.1	18/07/2017	SYNERGY	13 KING DRIVE, WOODRIDGE	1726.80
DD22143.1	21/07/2017	SYNERGY	5 WELD STREET, GINGIN	39.25
DD22145.1	21/07/2017	SYNERGY	AGED UNITS	58.85
DD22147.1	21/07/2017	SYNERGY	CHURCH STREET, GINGIN	60.90
DD22149.1	21/07/2017	SYNERGY	LOT 134 CONSTABLE ST, GINGIN	68.90
DD22151.1	21/07/2017	SYNERGY	LOT 126 CONSTABLE ST, (PLAYGROUP)	79.15
DD22153.1	21/07/2017	SYNERGY	GINGIN CHRISTIAN FELLOWSHIP HALL	113.25
DD22155.1	21/07/2017	SYNERGY	GINGIN PUMP GRANVILLE	202.40
DD22157.1	21/07/2017	SYNERGY	CEO RESIDENCE	410.95
DD22159.1	21/07/2017	SYNERGY	SHIRE DEPOT	1128.50
DD22161.1	24/07/2017	SYNERGY	LOT501 HONEYCOMBE RD, GINGIN	110.40
DD22163.1	24/07/2017	SYNERGY	LOT 10 COCKRAM RD, GINGIN	152.40
DD22165.1	24/07/2017	SYNERGY	GG FIRESHED	448.95
DD22168.1	24/07/2017	SYNERGY	STREET LIGHTING	11361.05
DD22170.1	24/07/2017	TELSTRA	LEDGE POINT FIRE BRIGADE - INTERNET	25.95
DD22172.1	24/07/2017	WA TREASURY CORPORATION	GOVERNMENT GUARANTEE FEE	8469.48
DD22174.1	24/07/2017	TELSTRA	MOBILES - JULY 2017	507.44
DD22176.1	25/07/2017	SYNERGY	GG REC GROUND	327.15
DD22178.1	25/07/2017	SENSIS PTY LTD	GU CPARK ADVERTISING - JULY 2017	81.40
DD22180.1	25/07/2017	WATER CORPORATION	PARK - MIRAGLIOTTA ST, LANCELIN	99.51
DD22129.1	25/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	2585.46
DD22129.2	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	88.15
DD22129.3	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	84.52
DD22129.4	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	231.14
DD22129.5	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	200.75
DD22129.6	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	126.79
DD22129.7	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	200.75
DD22129.8	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	285.73
DD22129.9	25/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	706.92
DD22129.10	25/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	1145.63
DD22129.11	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	209.97
DD22129.12	25/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	501.18
DD22129.13	25/07/2017	CLICK SUPER	PAYROLL DEDUCTIONS	17824.87
DD22129.14	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	452.34
DD22129.15	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	647.19
DD22129.16	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	1902.24
DD22129.17	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	350.59
DD22129.18	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	114.23
DD22129.19	25/07/2017	CLICK SUPER	SUPERANNUATION CONTRIBUTIONS	217.76
DD22182.1	26/07/2017	SYNERGY	FROGMORE DEPOT	341.65
DD22204.1	27/07/2017	WA TREASURY CORPORATION	LOAN 127 - SB EROSION EXTENSION	12159.77
DD22208.1	27/07/2017	TELSTRA	SEABIRD FIRE STATION	59.22
DD22187.1	28/07/2017	SYNERGY	GRACE DARLING PARK	227.00
DD22189.1	28/07/2017	SYNERGY	107 GINGIN RD, LANCELIN	279.70
DD22192.1	28/07/2017	SYNERGY	WANGAREE	390.60
DD22194.1	28/07/2017	SYNERGY	LANCELIN SOUTH PARK	256.90
DD22196.1	28/07/2017	SYNERGY	HAROLD PARK	759.75
DD22198.1	31/07/2017	SYNERGY	LOT 104 ATKINSON WAY, LANCELIN	253.95
DD22200.1	31/07/2017	SYNERGY	AGED PERSONS - LANCELIN	132.95
DD22202.1	31/07/2017	SYNERGY	LANCELIN DEPOT	170.95
DD22206.1	31/07/2017	WA TREASURY CORPORATION	LOAN 100 - GINGIN MEDICAL CENTRE	18835.02
DIRECT DEPOSIT				114,376.92
TOTAL MUNICIPAL				<u>1,531,034.88</u>
TRUST				
3198	18/07/2017	GINGIN EAGLES FOOTBALL CLUB	DONATION-FUNDRAISER MASTERS GAME	100.00
3199	19/07/2017	CONNIE WALKER	PARTIAL PAYOUT SOCIAL CLUB	200.00
3200	25/07/2017	TRANSWA	JUNE TRANSWA TICKET SALES	2.70
3201	27/07/2017	JEREMY EDWARDS	SOCIAL CLUB PAYOUT	2400.00
				<u>2,702.70</u>
BANK STATEMENT TOTALS				
		STATEMENT DEBITS	BANK FEES AND CHARGES	1,011.37
		PAYS	WAGES AND SALARIES	200,750.58
		ELECTRONIC PAYMENTS	POLICE LICENCING	146660.45
			LA OFFICE RENT	643.38
			GG DOCTORS RESIDENCE	800.00
			FLEXIRENT	212.14
			LA DOCTORS RESIDENCE	1,600.00
			LA DOCTORS VEHICLE	623.52
				<u>352,301.44</u>
TOTAL EXPENDITURE				<u>1,883,336.32</u>
CREDIT CARD BREAK-UP				
Jun-17				
		BANK CHARGES	MONTHLY CARD FEE X 7	28.00
		REFRESHMENTS/RECEPTIONS	CEO/EMCCS MTG	86.00
		TRAINING/CONFERENCE	S MOIR TRAINING, O EDWARDS ENROL, IT VISION CONFERENCE ACC - EMCCS, ZE, KB	483.95
		IT SUPPORT	IPAD RECHARGE, EMO MOBILE COVER, RECEPTION TV MOUNT	284.10
		UNIFORMS	PPE - EMO	179.90
		VEHICLES	GG009 PARTS, GG088 FLUSH FLUID, WORKSHOP MATERIALS	940.27

PARKING	TAXI FARE EMO VEHICLE TRANSFER	39.90
OFFICE		
GUILDERTON CARAVAN PARK	TILES - CHALET	273.70
AGED UNITS	REPLACE OVEN LA UNIT	1,029.00
CEO RESIDENCE	GAS BOTTLE REFILL	130.00
LANCELIN CARAVAN PARK	LA CPARK UTE HIRE MONTHLY	<u>1291.06</u>
		4,765.88

AT THE TIME OF PRINTING THE
AGENDA THERE WERE NO CREDITORS
OUTSTANDING

CHIEF EXECUTIVE OFFICER

PRESIDENT

11.3. REGULATORY SERVICES

11.3.1 APPLICATION FOR DEVELOPMENT APPROVAL - INTERNAL FRONT COUNTER MODIFICATION TO GINGIN POST OFFICE ON LOT 401 (18) BROCKMAN STREET, GINGIN

FILE:	BLD/6831
APPLICANT:	A M AND R L ARTHUR
LOCATION:	LOT 401 (18) BROCKMAN STREET, GINGIN
OWNER:	J ADAM AND A M AND R L ARTHUR
ZONING:	TOWN CENTRE
WAPC NO:	N/A
AUTHOR:	KYLIE BACON – MANAGER STATUTORY PLANNING
REPORTING OFFICER:	LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT
REPORT DATE:	15 AUGUST 2017
REFER:	NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Development Approval for internal front counter modifications to the Gingin Post Office situated on Lot 401 (18) Brockman Street, Gingin.

BACKGROUND

The proposal is for modification to the front counter inside the Gingin Post Office. The Post Office is a State Heritage Listed building and consultation has been undertaken with the Heritage Council of Western Australia (HCWA).

The internal works consist of extending and opening up the existing front counter to make more functional space for the Post Office's day to day operations.

A Location Plan, Site Plan and a copy of the Applicant's proposal are provided as **Appendix 1**.

COMMENT

Community Consultation

The proposal was referred to the HCWA for consideration and the Council has conditionally supported the internal works.

PLANNING ASSESSMENT

Local Planning Scheme No. 9 (LPS 9)

The subject lot is zoned Town Centre under Local Planning Scheme No. 9 (LPS 9). The objectives of the Town Centre zone are to:

- a) *Promote, facilitate and strengthen the town centre zone as the principal focus of the district in terms of shopping, professional, administrative, cultural, entertainment and other business activities;*
- b) *Accommodate a diversity of commercial, cultural and residential facilities;*
- c) *Encourage the integration of existing and proposed facilities within the zone so as to promote ease of pedestrian movement and the sharing of infrastructure, as well as to retain the opportunity for any future expansion of the area;*
- d) *Provide for the efficient and safe movement and parking of vehicles; and*
- e) *Ensure that buildings, ancillary structures and advertising are of high quality and contribute to the uniqueness of the townscape.*

The internal works to the post office will not impact upon the objectives of the Town Centre zone and will not affect the existing post office use.

State Listed Heritage Building

The internal works to the Post Office require planning consent in accordance with Schedule 2, Part 7, Clause 61 of the *Planning and Development (Local Planning Scheme) Regulations 2015* (deemed provisions) as the building is entered in the Register of Heritage Places under the *Heritage of Western Australia Act 1990*.

Consultation has been undertaken with the HCWA, which has provided the following advice:

- 1. *Gingin Post Office is a rare example of the Colonial Government's post office building program and is the oldest extant purpose built post office in Western Australia.*
- 2. *The place, in its relatively intact interior of public space, mail room and residence, is a fine demonstration of a rural postal establishment in the late nineteenth century for the receiving, sorting and distribution of mail and telegrams along the horseback routes of the district.*
- 3. *The referral is for the extension of the internal front service counter hatch which would appear to be original.*
- 4. *Whilst we acknowledge that the change will have a negative impact on the place, we understand that it is a necessary change in order to keep the building functioning as a Post Office.*

HCWA has supported the internal front counter works on condition that high resolution digital photographs of the interior, showing clear details of the existing hatch on both sides, are submitted to the Director Heritage Development at the Department of Planning, Lands and Heritage prior to the commencement of works.

Local Planning Policy 5.2 – Gingin Town Centre

The policy objectives are to provide guidelines for the development or redevelopment of the Town Centre with the aim to protect and enhance its character and amenity.

The proposal is considered to be a minor development which will not impact upon the character or amenity of the Town Centre, as no new physical infrastructure is being developed.

Summary

The HCWA has conditionally supported the proposal as the internal front counter modification is a necessary change in order to keep the building functioning as a Post Office. The Shire does not object to this position nor does it contravene LPS 9.

Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- A. Further to this Approval, the Applicant will be required to submit the application for a building permit as a certified application in accordance with the requirements of the *Building Act 2011* and *Building Regulations 2012* for approval by the Shire of Gingin.
- B. This approval is not a building permit or an approval under any law other than the *Planning and Development Act 2005*. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licences required under any other law, and to commence and carry out development in accordance with all relevant laws.

STATUTORY ENVIRONMENT

Local Planning Policy Scheme No. 9

Part 3 – Zones and the Use of the Land

3.2 Objectives of the zones

3.2.2 Town Centre zone

4.8 – Zone Specific Development Standards

4.8.2 Town Centre

Local Planning Policy 5.2 – Gingin Town Centre

Schedule 2, Part 7, Clause 61 of the Planning and Development (Local Planning Scheme) Regulations 2015

Heritage of Western Australia Act 1990.

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015 – 2025

Focus Area	<i>Local Business</i>
Objective	<i>4. To facilitate local business growth</i>
Outcome	<i>4.1 Attract new enterprise</i>
Outcome	<i>4.2 Grow local business, employment and training</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for the proposed internal front counter modification to the Gingin Post Office situated at Lot 401 (18) Brockman Street, Gingin, subject to the following conditions:

1. The land use and development shall be undertaken in accordance with the approved plans and specifications unless conditioned otherwise in this approval;
2. High resolution digital photographs of the interior, showing clear details of the existing hatch on both sides, are to be submitted to the Director Heritage Development at the Department of Planning, Lands and Heritage prior to the commencement of works; and
3. High resolution digital photographs of the interior, showing clear details of the existing hatch on both sides, are to be included, by amendment, in the Shire of Gingin Municipal Heritage Inventory.

RESOLUTION

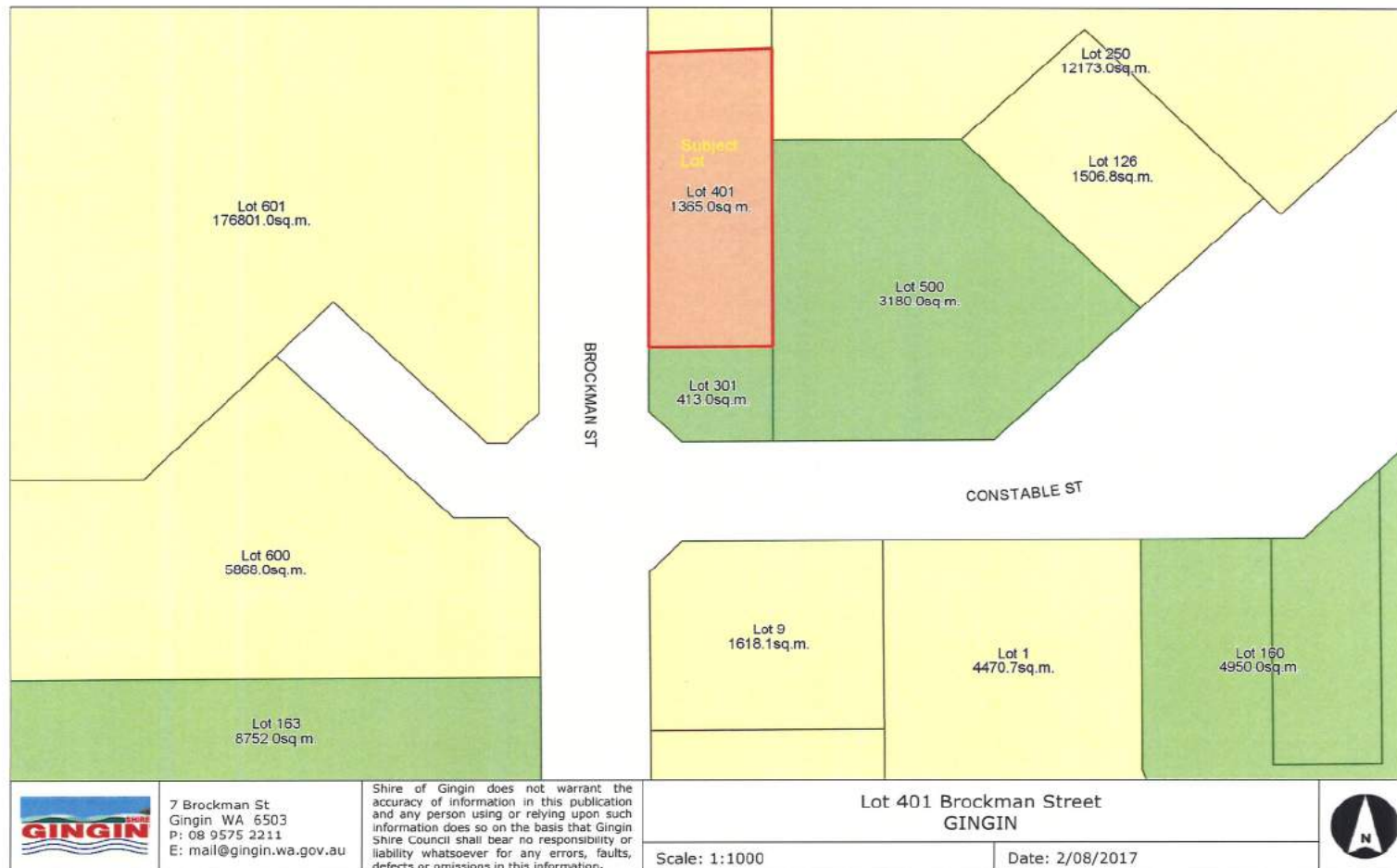
Moved Councillor Collard, seconded Councillor Elgin that Council grant Development Approval for the proposed internal front counter modification to the Gingin Post Office situated at Lot 401 (18) Brockman Street, Gingin, subject to the following conditions:

1. **The land use and development shall be undertaken in accordance with the approved plans and specifications unless conditioned otherwise in this approval;**

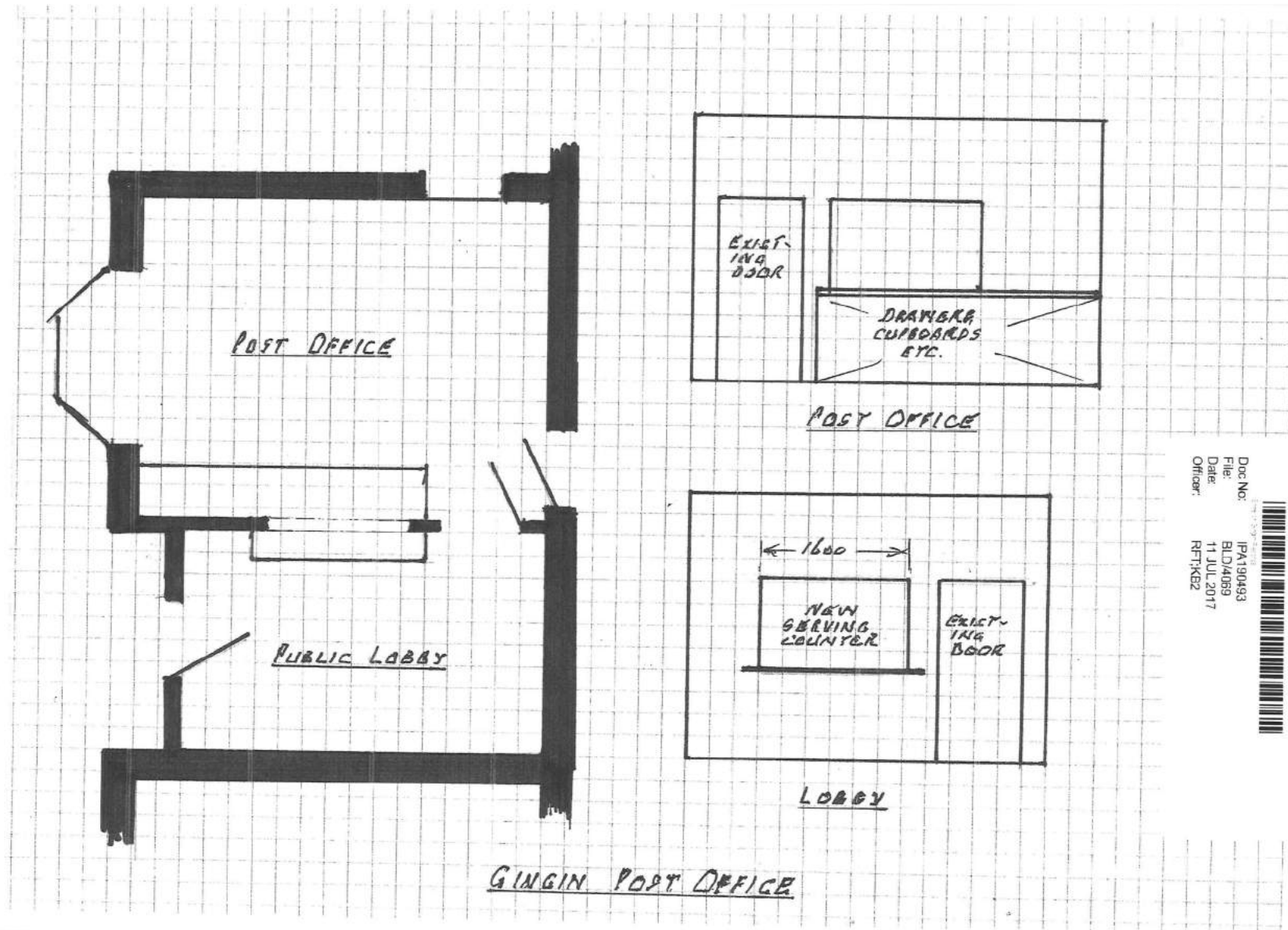
- 2. High resolution digital photographs of the interior, showing clear details of the existing hatch on both sides, are to be submitted to the Director Heritage Development at the Department of Planning, Lands and Heritage prior to the commencement of works; and**
- 3. High resolution digital photographs of the interior, showing clear details of the existing hatch on both sides, are to be included, by amendment, in the Shire of Gingin Municipal Heritage Inventory.**

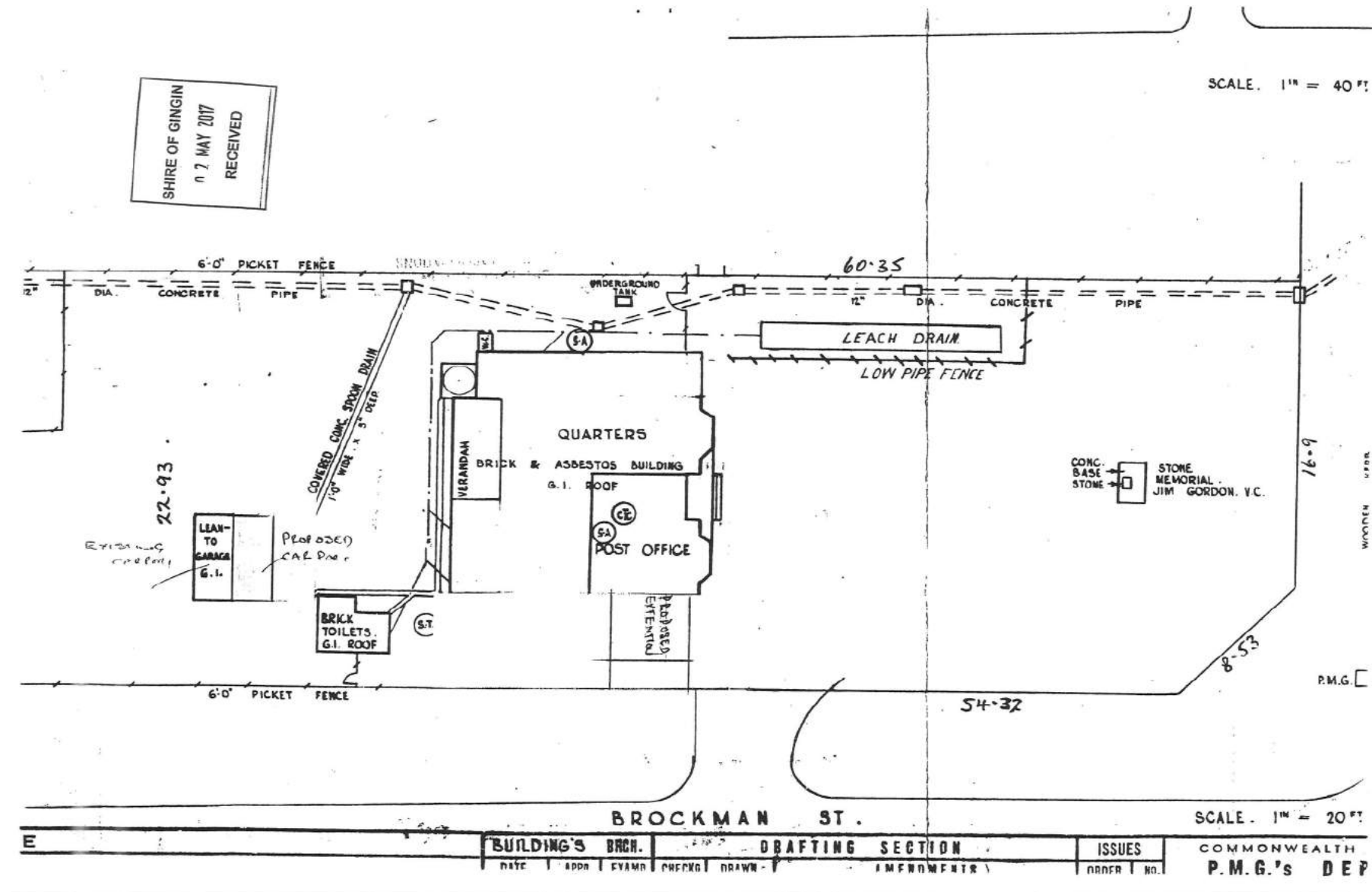
CARRIED UNANIMOUSLY

APPENDIX 1









11.3.2 APPLICATION FOR PLANNING APPROVAL - PROPOSED OUTBUILDING, HARDSTAND AND STORAGE ON LOT 435 (35) WALKER AVENUE, LANCELIN

FILE:	BLD/6833
APPLICANT:	TSIM CITY PLANNING
LOCATION:	LOT 435 WALKER AVENUE, LANCELIN
OWNER:	KIM SCADDEN AND ANITA SCADDEN
ZONING:	SPECIAL USE 2
WAPC NO:	N/A
AUTHOR:	JAMES BAYLISS – STATUTORY PLANNING OFFICER
REPORTING OFFICER:	LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT
REPORT DATE:	15 AUGUST 2017
REFER:	NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Planning Approval for an Outbuilding, Hardstand and Storage on Lot 435 (35) Walker Avenue, Lancelin.

BACKGROUND

The Shire is in receipt of an Application for Planning Approval for an Outbuilding, Hardstand and Storage at the abovementioned site. The subject property is 45,456.6m² and is currently vacant.

The proposed outbuilding is 36m in length and 15m in width equating to an area of 540m². The proposed wall height is 5 metres with an overall height of 6.59 metres. The application includes two hardstand areas (crushed limestone) to be used for vehicle manoeuvring and outdoor storage. The main hardstand area is 170 metres in length and 110 metres in width equating to 18,700m². The second hardstand area is located in the south-eastern portion of the lot and is 60 metres in length and 40 metres in width equating to 2,400m². This is a combined hardstand area of 21,100m².

The applicant seeks approval for the outbuilding and hardstand to be used for storage purposes consisting predominantly of boats, caravans, heavy machinery and trucks. No staff are proposed to be permanently based onsite, with the storage uses being long term agreements that are negotiated offsite. Any potential lessee will be provided with keys to access the site to store / pick-up goods between 7am to 7pm, however it is anticipated the site will be infrequently accessed.

Council consideration is required given the site is zoned 'Special Use 2' under Local Planning Scheme No. 9 and the endorsed Outline Development Plan forming the basis for subdivision approval and permitted land uses over the lot has not been implemented.

A location plan is attached as **Appendix 1**.

A copy of the applicant's proposal (including cover letter, site plan, floor plan, overlay plan and elevation plan) is attached as **Appendix 2**.

A copy of the approved Outline Development Plan is attached as **Appendix 3**.

COMMENT

Community Consultation

The application was advertised to surrounding landowners for a period of 21 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

The Shire received six submissions, one of which was signed by four residents, providing general comments with respect to the proposal. Several responses raised the issue of access to the site as there is a school bus drop off point at the end of Whitfield Street. A copy of the Schedule of Submissions is attached as **Appendix 4**.

PLANNING ASSESSMENT

Local Planning Scheme No. 9 (LPS 9)

The subject property is identified as being zoned Special Use 2 (SU2) within the Shire's LPS 9. The zoning came about as a result of a Scheme Amendment (No. 92) to the superseded Town Planning Scheme No. 8. The property was formerly zoned 'Local Scheme Reserve – Parks and Recreation' and was subsequently amended to be zoned 'Special Use – Industrial/Mixed Business' and is acknowledged within 'Schedule 4 – Special Use Zones' of LPS 9.

As part of Scheme Amendment No. 92 there was a requirement for an Outline Development Plan (ODP) to be endorsed by the Western Australian Planning Commission (WAPC) as the basis for approval of any subdivision application over the parent lot. The WAPC endorsed an ODP outlining 19 Industrial/Mixed Business lots of 1500m² and above on 20 October 2009. Scheme Amendment 92 also outlined permissible uses on the proposed lots. **Table 1** below is a copy of Schedule 4 – Special Use Zones relating specifically to the subject property.

Table 1: Schedule 4 – Special Use Zones

No.	Description of Land	Special Use	Conditions
SU2	Lot 435, Walker Avenue, Lancelin AMD 14 GG 08/04/16	Composite area consisting of mixed business and industrial uses	1. Permissible uses on lots that either abut, or are visible from, Walker Avenue are: <ul style="list-style-type: none">• Car Wash• Dry cleaning premises• Garden Centre• Laundromat

			<ul style="list-style-type: none"> • Service Industry • Showroom • Trade Display • Vehicle Hire and Sales • Market • Veterinary Establishment • Shop <p>These uses shall be subject to the 'P' requirements of the Scheme except for 'Market' and 'Veterinary Establishment', which shall be subject to the 'AA' requirements of the Scheme and 'Shop', which shall be subject to the 'IP' requirements of the Scheme.</p> <p>No other uses are permitted.</p> <ol style="list-style-type: none"> 2. Permissible uses on all other lots not referred to in Condition 1 above shall be as per the General Industry zone of the Scheme. 3. Subdivision shall be in accordance with a WAPC endorsed Structure Plan. 4. The facades of any service industry buildings on lots that abut, or are visible from, Walker Avenue are to be of masonry construction. 5. Other than those buildings requiring a masonry façade, industrial buildings are to be constructed using Colourbond (or similar) materials for all external walls. No zincalume is permitted. 6. Use of land forward of the building line will comprise of car parking and landscaping only, unless otherwise approved by local government.
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LPS 9 defines 'Storage' as:

"Premises used for the storage of goods, equipment, plant or materials"

The proposal seeks approval to use the outbuilding and hardstand for the purpose of storage. Storage does not generate car parking requirements, however the original intent of the outbuilding was for a warehouse use which does generate a parking requirement hence the reason bays are indicated on the site plan. The applicant has since advised that Storage is the most appropriate land use; however the design still provides an area for car parking given the site has ample room.

Reference is made to Condition 2 outlined in Table 1 above, as this provides for lots not fronting or visible from Walker Avenue to be determined in accordance with the 'General Industry' zoning of LPS 9. Given the proposed outbuilding is located within Child Lot 3 of the ODP, it is not deemed to front Walker Avenue and can therefore be assessed in accordance with the General Industry zoning. Storage is considered to be a 'P- Permitted' use with the General Industry zoning.

Condition 4 outlined in Table 1 requires lots that abut, or are visible from Walker Avenue to be of masonry construction. The western portion of the site is to remain vacant, with the intention to develop and/or subdivide at a later stage. The outbuilding will be constructed from Colourbond, satisfying Condition 5 of Table 1 above as Child lot 3 is not considered to front Walker Avenue. Although it will be visible from the street frontage in the short term, once the ODP is implemented the development will not be visible.

The applicants have advised the Shire that they are aware that, if the development prejudices the ODP in any way, the WAPC may request an amended ODP to be prepared prior to any future subdivision works.

Further Comments

Given the subject lot is in close proximity to residential lots and the proposal includes a significant amount of hardstand (crushed limestone) for vehicle manoeuvring and storage purposes, it is deemed appropriate to impose a condition requiring a dust mitigation plan.

Administration has deemed that it would be cost prohibitive and onerous to require the landowner to seal the entire hardstand area, particularly given that any future development of the site would involve removing the hardstand to enable subdivision works. However, the existing crossover, internal access roads and car parking area will service the most vehicle traffic and therefore should be sealed to mitigate dust and erosion while also creating a more visually appealing development at the entrance to the Lancelin townsite.

In addition to the above, it is also deemed necessary for the subject site to be provided with appropriate landscaping along the Walker Avenue property boundary. The vegetative buffer will enhance the existing streetscape and will also contribute to reducing any potential dust impacts to the nearby residential properties.

Summary

In view of the above assessment, Administration is of the view that the proposed Outbuilding, Hardstand and Storage use can be accommodated at the subject lot. The proposal is not anticipated to jeopardise the future implementation of the ODP. The use of the Outbuilding on Child lot 3 is in keeping with the intent of the ODP by having a permitted use operate from the site.

Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- A. Further to this approval, the Applicant is required to submit working drawings and specifications to comply with the requirements of the *Building Regulations 2012*, which are to be approved by the Shire of Gingin.
- B. If the development jeopardises the approved Outline Development Plan (ODP) dated 30 October 2009, then the applicant/owner may be required to prepare a new ODP.
- C. This planning approval shall not be construed as an approval or support of any kind for any other planning related application on the subject land including using the site as a transport depot.
- D. No signage is permitted as part of this application. Any future signage is required to receive the appropriate approvals issued by the Shire prior to erection.
- E. This approval does not authorise any interference with dividing fences, or entry onto neighbouring land. Accordingly, should you wish to remove or replace any portion of a dividing fence, or enter onto neighbouring land, you must first come to a satisfactory arrangement with the adjoining property owner. Please refer to the *Dividing Fences Act 1961*.
- F. It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment.

STATUTORY ENVIRONMENT

Local Planning Scheme No. 9
Schedule 4 – Special Use zones

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015 – 2025

Focus Area	<i>Built Environment</i>
Objective	<i>3. To effectively manage growth and provide for community</i>
Outcome	<i>3.2 Plan for future development</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY**RECOMMENDATION**

It is recommended that Council grant Development Approval for an Outbuilding, Hardstand and Storage on Lot 435 (35) Walker Avenue, Lancelin subject to the following conditions:

1. The land use and development shall be undertaken in accordance with the approved plans and specifications (including any amendments marked in RED) unless conditioned otherwise by this approval;
2. This Approval is for an Outbuilding, Hardstand and Storage use only;
3. The operation of the site is limited to between the hours of 7am – 7pm;
4. A landscaping buffer is required to be planted along the northern and western boundaries (refer Condition 5) as marked in red ink on the approved plans.
5. Prior to the commencement of a landscaping buffer (refer Condition 4), a Landscaping Plan is to be submitted to the Shire of Gingin within 28 days from the approval date. The landscaping plan, at a minimum is to address the extent of the buffer area and the location and spacing of trees and shrubs.
6. The landscaping buffer is required to be planted prior to the occupation of the shed and is to be maintained at all times to the satisfaction of the Shire of Gingin;
7. The existing crossover, proposed parking area and internal access roads are to be sealed to the satisfaction of the Shire of Gingin (refer condition 8).
8. An Internal Traffic Management Plan outlining the existing crossover, proposed parking area and internal access roads is to be submitted to the Shire of Gingin within 28 days from the approval date. The Internal Traffic Management Plan is to address the extent of the sealed internal access roads and parking area while outlining the asphalt specifications.
9. The hardstand areas are not to generate dust drift and shall be maintained in accordance with a Dust Management Plan (refer condition 10).
10. A Dust Management Plan is to be submitted to the Shire of Gingin within 28 days from the approval date outlining how the site will control dust drift associated with the hardstand area to the satisfaction of the Shire;

11. All outdoor storage or hardstand is to be removed prior to any future subdivision works occurring;
12. Stormwater runoff from all roofed and hardstand areas shall be collected and contained onsite; and
13. All parking bays indicated on the approved plans are to be line marked in accordance with AS2890 (as amended) and maintained in good condition thereafter.

RESOLUTION

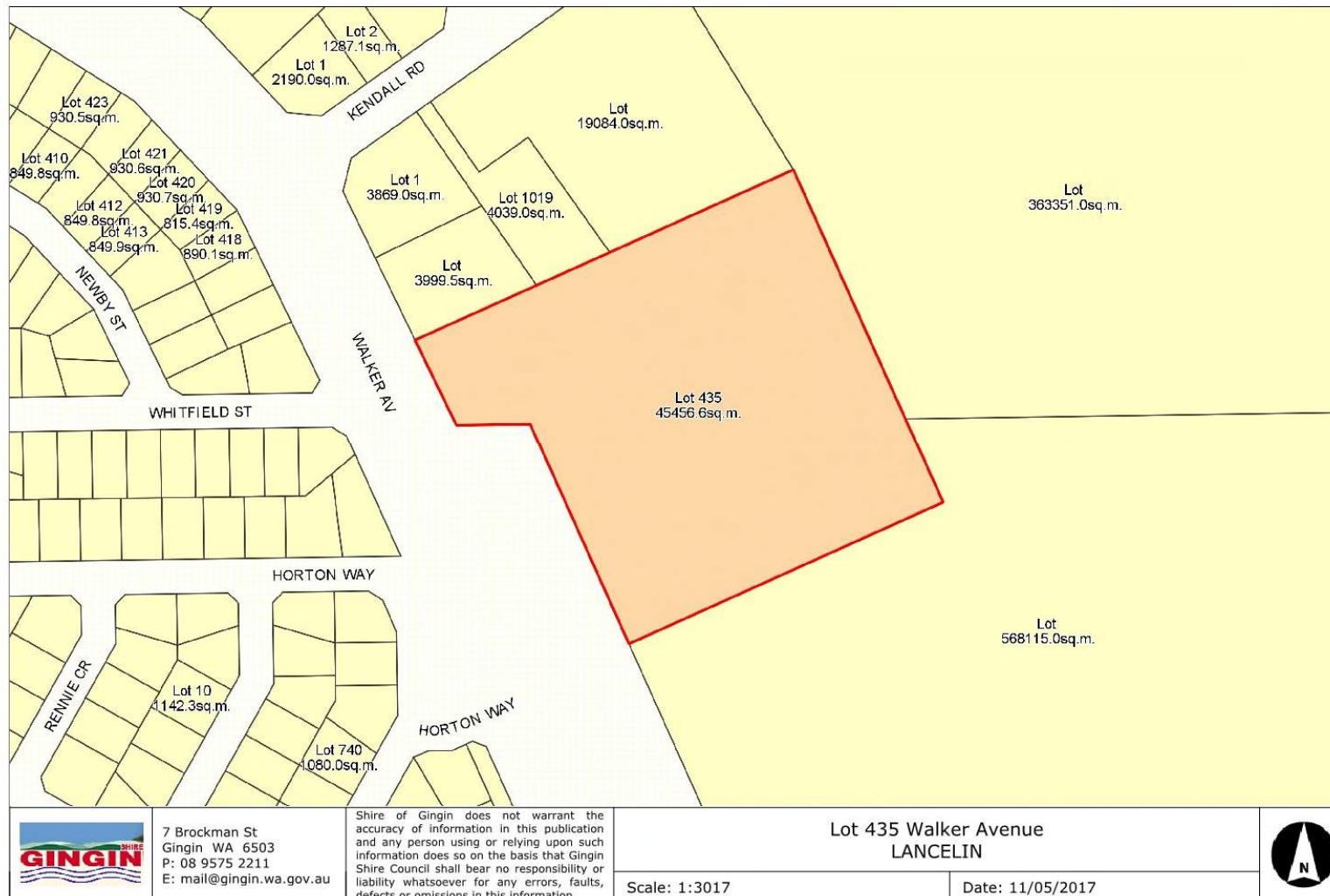
Moved Councillor Fewster, seconded Councillor Ammon that Council grant Development Approval for an Outbuilding, Hardstand and Storage on Lot 435 (35) Walker Avenue, Lancelin subject to the following conditions:

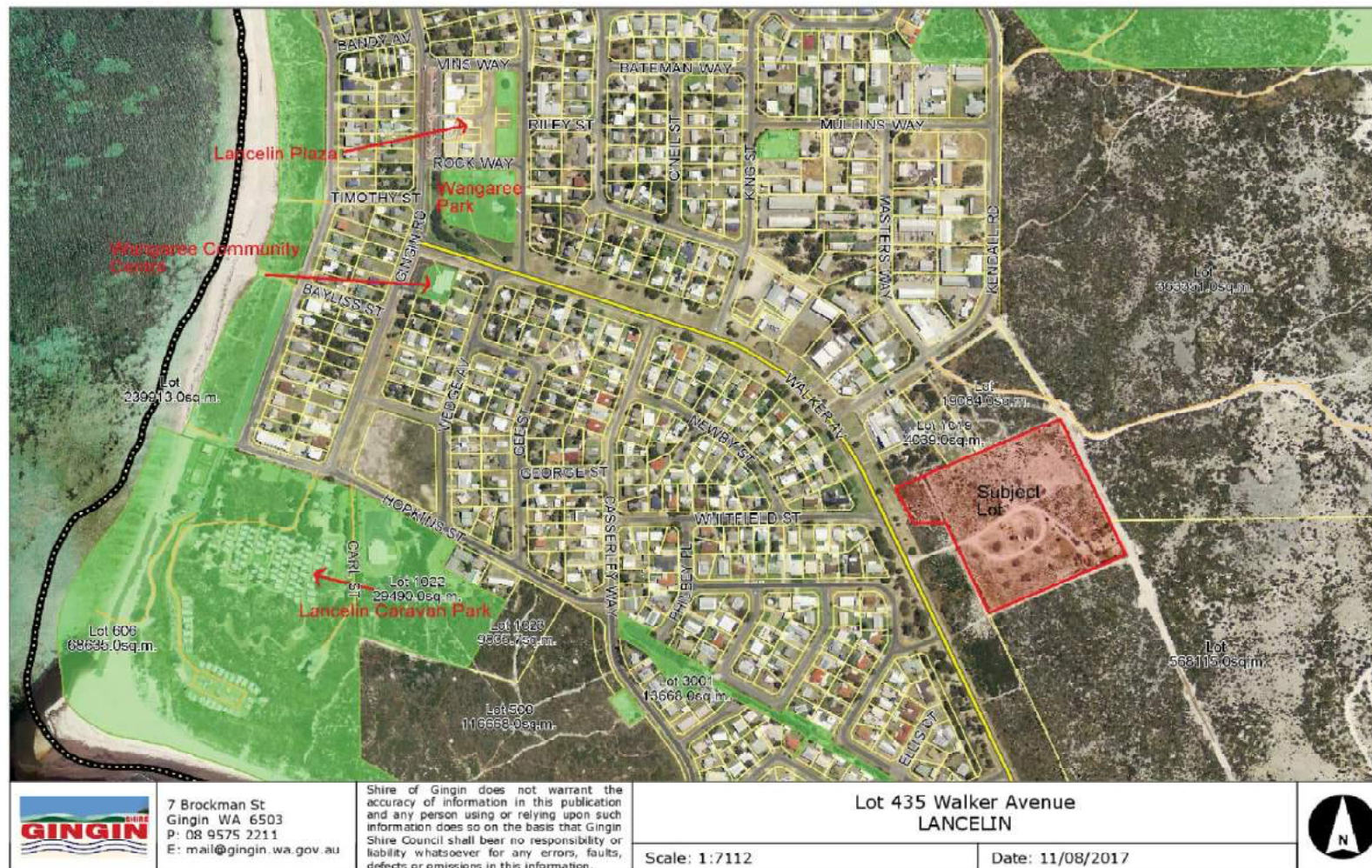
1. The land use and development shall be undertaken in accordance with the approved plans and specifications (including any amendments marked in RED) unless conditioned otherwise by this approval;
2. This Approval is for an Outbuilding, Hardstand and Storage use only;
3. The operation of the site is limited to between the hours of 7am – 7pm;
4. A landscaping buffer is required to be planted along the northern and western boundaries (refer Condition 5) as marked in red ink on the approved plans.
5. Prior to the commencement of a landscaping buffer (refer Condition 4), a Landscaping Plan is to be submitted to the Shire of Gingin within 28 days from the approval date. The landscaping plan, at a minimum is to address the extent of the buffer area and the location and spacing of trees and shrubs.
6. The landscaping buffer is required to be planted prior to the occupation of the shed and is to be maintained at all times to the satisfaction of the Shire of Gingin;
7. The existing crossover, proposed parking area and internal access roads are to be sealed to the satisfaction of the Shire of Gingin (refer condition 8).
8. An Internal Traffic Management Plan outlining the existing crossover, proposed parking area and internal access roads is to be submitted to the Shire of Gingin within 28 days from the approval date. The Internal Traffic Management Plan is to address the extent of the sealed internal access roads and parking area while outlining the asphalt specifications.
9. The hardstand areas are not to generate dust drift and shall be maintained in accordance with a Dust Management Plan (refer condition 10).
10. A Dust Management Plan is to be submitted to the Shire of Gingin within 28 days from the approval date outlining how the site will control dust drift associated with the hardstand area to the satisfaction of the Shire;

- 11. All outdoor storage or hardstand is to be removed prior to any future subdivision works occurring;**
- 12. Stormwater runoff from all roofed and hardstand areas shall be collected and contained onsite; and**
- 13. All parking bays indicated on the approved plans are to be line marked in accordance with AS2890 (as amended) and maintained in good condition thereafter.**

CARRIED UNANIMOUSLY

APPENDIX 1





APPENDIX 2



Development Application – Lot 435 (35) Walker Avenue, Lancelin

Development Application

BACKGROUND

Our client is Kim Scaddan, who owns Lot 435 Walker Avenue, Lancelin (subject site). The subject site is currently vacant and this application is seeking an approval to erect a colourbond shed and use the property as a warehouse for the storage of boats, caravans, heavy machinery, trucks and other general items if the property is leased in the future.

The property falls within the Shire of Gingin's Special Use Zone (SU2) under Local Planning Scheme No. 9 (LPS 9) and is currently vacant.

This application seeks to conform with the requirements of LPS 9 and partially develop the lot by proposing a use on the eastern side with the intention of eventually developing the western side of the lot that directly abuts Walker Avenue.

PROPOSAL

This proposal seeks to propose a Warehouse and 'Storage' use within a shed and outside on a hardstand. 'Warehouse' and 'Storage' are considered 'P' uses within the 'General Industry' zone, which are permitted under Schedule 4 of LPS 9. This proposal is for the storage of mainly boats, caravans, heavy machinery and trucks but may also be leased in the future for the storage of other non-hazardous materials. The shed would be of colourbond construction and consistent with the requirements of LPS 9.

The proposed uses would be situated away from any nearby landowners to cause minimal disturbance and amenity impact. The lot is currently fenced with a 1.8m high chain link mesh, which is intended to remain as part of this application. No staff are proposed to remain onsite from any of the uses. The warehouse and storage uses would be long term storage agreements that are completed offsite.

The proposed hours of operation would be from 7am to 7pm and no staff are proposed to remain onsite on a permanent basis. Parking has been provided in excess of the rate of 1 bay per 100m² of warehouse and no addition parking for the external storage areas. The external storage areas will not result in a need for additional parking as it will be ancillary to the main use of warehouse and also not result in any additional people being onsite. Landscaping has not been proposed as part of this application as any future development of the subject site would require removal of the hardstand and any vegetation for subdivisional works and associated development.

Tsim City Planning

20 Covington Loop,
SUCCESS WA 6164

ABN: 64 351 892 397

tsimcity@outlook.com
Phone: 0401 219 172



Due to the economic downturn in Western Australia, the 'Outline Development Plan' previously endorsed by the WAPC that proposed a 19 lot subdivision has not been viable to proceed with. However, consideration has been given to situate a shed on a future child lot (lot 3 of outline development plan) that would be sufficiently setback from all boundaries without prejudicing any future subdivision layout.

The western side of the lot that would be visible from Walker Avenue would remain vacant, with the intention to be developed or subdivided at a later stage. The provisions of Schedule 4 of LPS 9 that require the western portion of the lot to be constructed of masonry and other design requirements for car parking and landscaping to be forward of the building line would not be applicable in this situation.

Conclusion

The proposed development seeks to conform with the requirements of LPS 9, but will not adversely affect the future development of the portion of the lot that direct abuts Walker Avenue. There has been much consideration of the desired outcome of the SU2 area and this application does not seek to prejudice the final product. There has also been consideration of the nearby landowners that may be impacted by the proposed development, therefore the development has been situated in a position that would cause the least impact to any nearby landowner. Therefore, it is requested that Council determine this application favourably.

Should you require further information or wish to discuss any of the information provided, please contact Richard Trinh on 0401 219 172 or through tsimcity@outlook.com.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Richard Trinh', is written over a horizontal line.

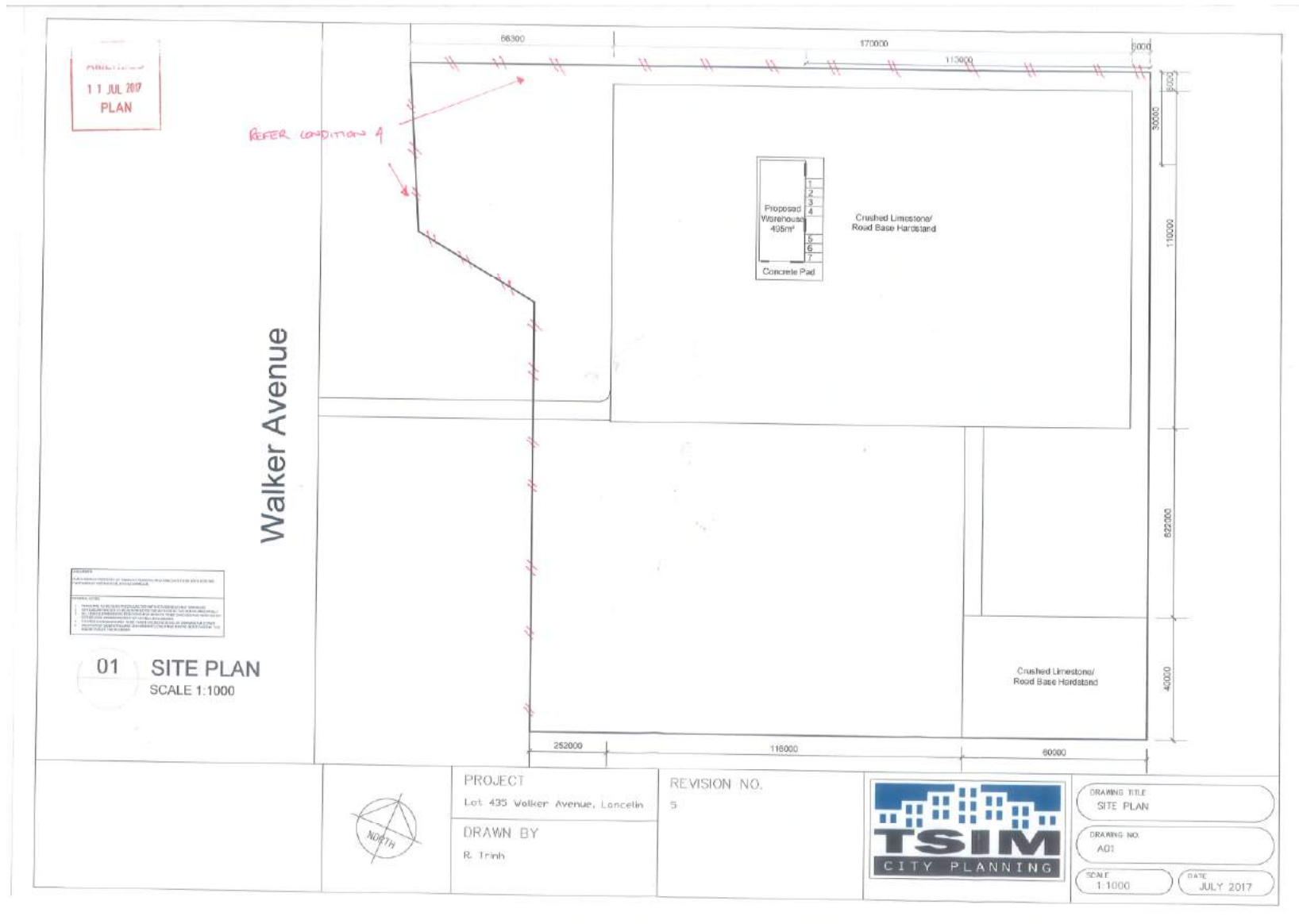
Richard Trinh
BA, MURP
Director

Tsim City Planning

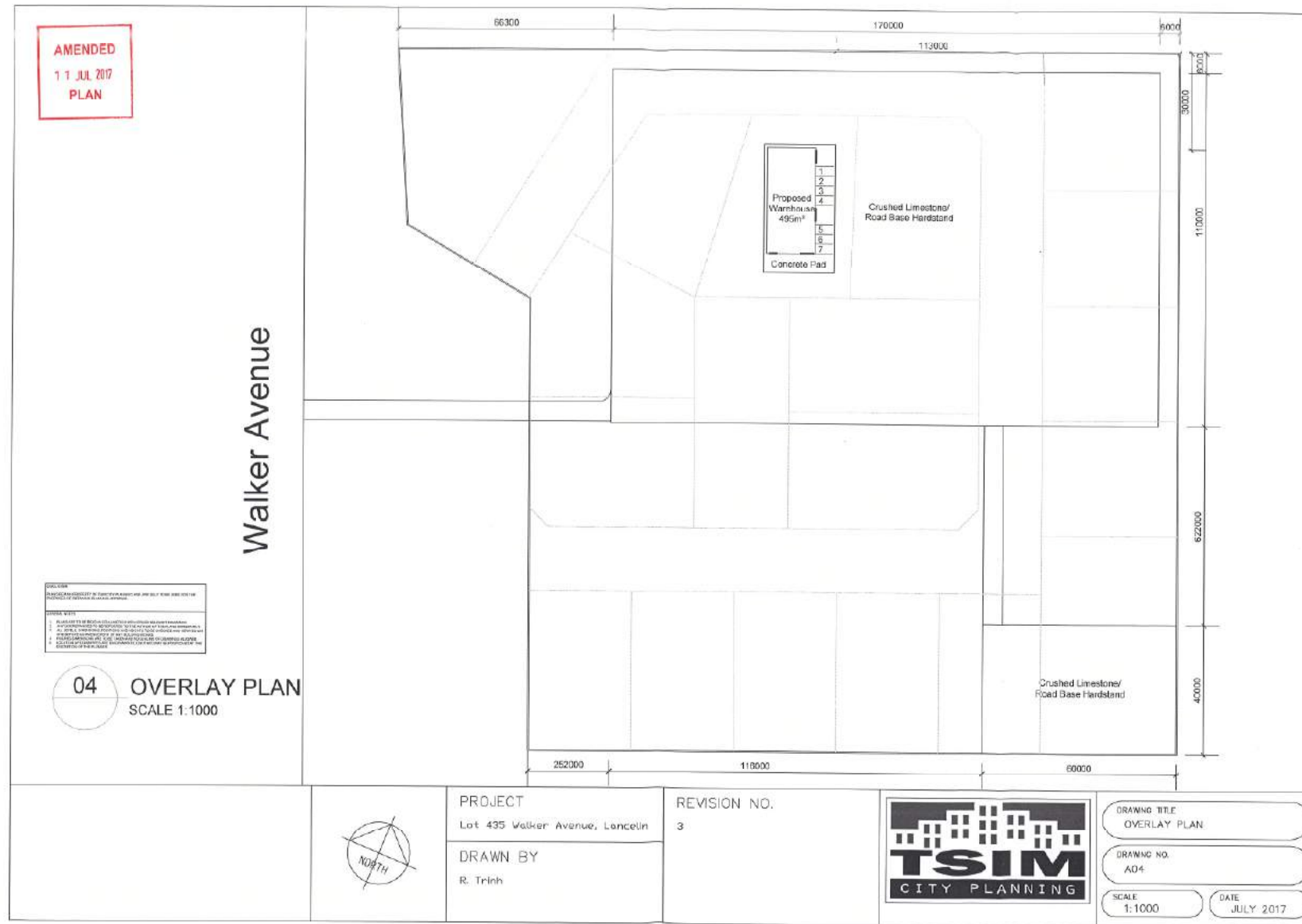
20 Covington Loop,
SUCCESS WA 6164

ABN: 64 351 892 397

tsimcity@outlook.com
Phone: 0401 219 172







<p>West Elevation</p>	
<p>North Elevation</p>	
<p>South Elevation</p>	
<p>East Elevation</p>	
<p>03 ELEVATIONS SCALE 1:100</p>	
<p>Proposed Warehouse to be constructed of Colourbond</p>	
<p>PROJECT Lot 435 Walker Avenue, Lancelin</p>	
<p>REVISION NO. 5</p>	
<p>DRAWN BY R. Irish</p>	
<p>TSIM CITY PLANNING</p>	
<p>DRAWING TITLE ELEVATIONS</p>	
<p>DRAWING NO. A03</p>	
<p>SCALE 1:100</p>	
<p>DATE MAY 2017</p>	

APPENDIX 3

ENDORSEMENT OF LOT 435 WALKER STREET, LANCELIN, OUTLINE DEVELOPMENT PLAN

The Western Australian Planning Commission resolved on 21 August 2009 to endorse Lot 435 Walker Street, Lancelin, Outline Development Plan, as a guide for subdivision within the locality.

Signed for and on behalf of the Western Australian Planning Commission

S. J. Ubert

an officer of the Commission duly authorised by the Commission pursuant to section 24 of the Planning and Development Act 2005 for that purpose in the presence of

M. Wisla

Witness

04 DEC 2009 Date

Notations:

- a) As per Appendix 10 - SU2 Condition 1:
Permissible uses on lots that either abut or are visible from Walker Avenue are:
- Car wash
 - Dry cleaning premises
 - Laundromat
 - Service industry
 - Showroom
 - Trade display
 - Vehicle hire and sales
 - Market
 - Veterinary establishment
 - Shop

These uses shall be subject to the 'P' requirements of the Scheme except for 'Market' and 'Veterinary establishment' which shall be subject to the 'AA' requirements of the Scheme, and 'Shop' which shall be subject to the 'IP' requirements of the Scheme.

b) Permissible uses on all other lots not referred to in Condition 1 above shall be as per the Industrial zone of the Scheme;

c) Subdivision shall be in accordance with a WAPC endorsed Outline Development Plan. Conditions of subdivision will include the preparation of a Fire Management Plan, a Geotechnical Report and an Urban Water Management Plan, and the provision of reticulated water and sewerage systems.



This Outline Development Plan was adopted by the Council of the Shire of Gingin Council in accordance with the requirements of TPS No. 8 introduced via Amendment No. 92.

Chief Executive Officer: _____

Date: _____

**Outline Development Plan
Lot 435 Walker Avenue, Lancelin**

NOTES:
• THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMPILED AND IN ACCORDANCE WITH THE TERMS OF ENDORSEMENT.
• THE ENDORSEMENT, AND ANY VARIATIONS, ARE SUBJECT TO THE REQUIREMENTS OF ALL APPLICABLE ACTS AND REGULATIONS.



25 September 2009

J07047-00F2-000523A



APPENDIX 4

SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED WAREHOUSE AND STORAGE ON LOT 435 WALKER AVENUE, LANCELIN

No.	Submitter	Submission Detail	Recommended Response
1.	Ratepayer	The Submitter supports the above proposal and makes the following comments: <i>I have no problem with the proposed development. Good to see something happening in Lancelin.</i>	1. Noted.
2.	Ratepayer	The Submitter does not support the above proposal and makes the following comments: 1. <i>No indication given of plans for access and egress. Concerned as school bus stop is at end of Whitfield Street and children move around this area during weekdays;</i> 2. <i>A 36m Sidewall facing east will capture a fair degree of sand when easterlies blow. Consider re-orientating side walls to north-south; and</i> 3. <i>At a height of 6.59m, the Storage Shed as proposed will significantly block any views of the dune system and will be aesthetically unappealing for residents of Whitfield Street. This may be rectified with a decision to re orient the building as in point 2 above.</i>	2. Noted. Access to the site is located relatively central between the intersections of Walker Avenue and Horton Way and also Walker Avenue and Whitfield Street. The entry is approximately 80 metres to the south of the Bus pick-up / drop off location which is consider to be ample. 3. Noted. The applicant has proposed the shed in its current orientation to fall within a child lot of a future subdivision. 4. Noted. Refer to point 3 above.
3.	Ratepayer	The Submitter does not support the above proposal and makes the following comments: 1. <i>This is a very large shed area and a very large hardstand. My concern firstly is noise from any heavy machinery and secondly what use this facility may be put to in the future.</i>	5. The machinery will be used for storage purposes only and should therefore not be in use for extended periods other than relocating onsite. The Shire cannot predict what use may operate in the future, rather assess the current proposal for storage.
4.	Ratepayers	The Submitters do not support the above proposal and make the following comments:	6. Noted. The Shire cannot consider potential road blocks for breath testing as a planning

		<p><i>This letter is written as concerned ratepayers. We bring to your attention that the corner is a very busy intersection, where there are two bus stops for children, many tourists or holiday makers who use this intersection to go down to the café or the beach.</i></p> <p><i>Since the many accidents along Indian Ocean Drive, the police are now using this corner to set up road blocks or a section of Walker Avenue just past Whitfield Street heading south to have breathalysers tests done to ensure more lives are not lost, it is bringing more congestion to this said corner as some drivers divert should they see a roadblock.</i></p> <p><i>Whilst we do not disagree with the erection of the warehouse or the work being carried out, every consideration should be given and to ensure the entry to this said premises are completed to ensure there are not more traffic issues on Walker Avenue in the vicinity of Walker Avenue and Whitfield Street intersection, Lancelin.</i></p> <p><i>We though do suggest at some point of time that a roundabout be considered in the town planning for this said corner in the near future as a slowing down of traffic and to ensure the safety of children boarding school buses or anyone who maybe using the footpaths.</i></p>	<p>consideration. In regards to the access location refer to point 2 above.</p>
5.	Ratepayer	<p>The Submitter does not support the above proposal and makes the following comments:</p> <p><i>This letter is written as concerned ratepayers. We bring to your attention that this corner is a very busy intersection, where there are two bus stops for children, many tourists or holiday makers who use this intersection to go down to the café or the beach.</i></p> <p><i>Since the many accidents along Indian Ocean Drive, the police are now using this corner to set up road blocks or a section of Walker Avenue just past Whitfield Street heading south to have breathalysers tests done to ensure more lives are not lost, it is</i></p>	<p>7. Noted. Refer to Point 6 above.</p>

		<p><i>bringing more congestion to this said corner as some drivers divert should they see a roadblock.</i></p> <p><i>Whilst we do not disagree with the erection of the warehouse or the work being carried out, every consideration should be given and to ensure the entry to this said premises are completed to ensure there are not more traffic issues on Walker Avenue in the vicinity of Walker Avenue and Whitfield Street intersection, Lancelin.</i></p> <p><i>We though do suggest at some point of time that a roundabout be considered in the town planning for this said corner in the near future as a slowing down of traffic and to ensure the safety of children boarding school buses or anyone who maybe using the footpaths.</i></p>	
6.	Ratepayer	<p>The Submitter provides the following general comments:</p> <p><i>As there is an existing plan for Industrial/Type Area for Lancelin South, the existing plan as confirmed by Department of Planning for Residential on 19 September? 2002 (date indiscernible). Need more connectivity between Lancelin and Lancelin South.</i></p>	8. Noted.

11.3.3 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED ADDITIONS TO DWELLING AND AN OUTBUILDING ON LOT 337 (4) WEDGE AVENUE, LANCELIN

FILE:	BLD/6793
APPLICANT:	CHRISTOPHER BROOKS
LOCATION:	LOT 337 (4) WEDGE AVENUE, LANCELIN
OWNER:	CHRISTOPHER BROOKS
ZONING:	RESIDENTIAL R12.5/20
WAPC NO:	N/A
AUTHOR:	JAMES BAYLISS – STATUTORY PLANNING OFFICER
REPORTING OFFICER:	LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT
REPORT DATE:	15 AUGUST 2017
REFER:	NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Development Approval for Additions to Dwelling and an Outbuilding on Lot 337 (No. 4) Wedge Avenue, Lancelin.

BACKGROUND

The Shire is in receipt of an Application for Planning Approval for additions to the existing dwelling. The proposed additions include a garage, laundry, balconies (x two), decking and a front fence. The application also proposes the construction of a new Outbuilding 18m in length, 7.5m in width (135m²) with a wall height of 3.6m and an overall height of 4.6m.

The property is 1011.7m² in area and currently contains an existing dwelling.

A location plan, site plan, floor plans and elevations are provided as **Appendix 1**.

Consideration by Council is required as the proposal is recommended for refusal and Administration does not have authority under Delegation 7.1 Town Planning Powers to refuse applications.

COMMENT

Community Consultation

The application was not advertised to surrounding landowners due to the submitted plans not providing the required level of detail for the Shire or adjoining landowners to accurately consider the proposal.

It should be noted that, if sufficient information had been lodged, then advertising would be required for a period of 14 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

PLANNING FRAMEWORK

Local Planning Scheme No. 9 (LPS 9)

The subject land is zoned Residential under LPS 9, the objectives of which are to:

- a) *Provide for a range of housing types and encourage a high standard of residential development;*
- b) *Maintain and enhance the residential character and amenity of the zone;*
- c) *Limit non-residential activities to those of which the predominant function is to service the local residential neighbourhood and for self-employment or creative activities, provided such activities have no detrimental effect on the residential amenity; and*
- d) *Ensure that the density of development takes cognisance of the availability of reticulated sewerage, the effluent disposal characteristics of the land and other environmental factors.*

The proposal does not generally contravene any of the above objectives.

State Planning Policy 3.1 – Residential Design Codes of Western Australia

The Residential Design Codes (R-Codes) provide a comprehensive basis for the control of residential development throughout Western Australia. When a development proposal does not comply with the deemed-to-comply provisions, the application is assessed against the associated design principles to determine whether the justification is acceptable.

In this instance the information submitted does not allow Administration to undertake an accurate assessment of the proposal to determine compliance with the R-Codes. The following amendments/information are required in order for an assessment to be undertaken:

- The front boundary line is not shown on the proposed site plan. Primary setback dimensions are to be taken from the property line, therefore a distance to the proposed deck cannot be determined. The setback indicated has been taken from the road;
- No set back dimension has been indicated on the site plan from the southernmost point of the 'rooftop balcony' to the southern boundary. This is relevant for Clause 5.4.1 – Visual Privacy of the R-Codes as it will determine if privacy screening is required;
- The location of the existing septic system is not indicated on the site plan and is required to ensure the additions will not be constructed over the existing system;

- Amended plans are required altering the design of the boundary fence within the front setback area (7.5m from front boundary) to have the same design as the front fence (i.e. piers and slats);
- Elevation plans for the front fence and fencing within the front setback area are also required to determine the height of the structure; and
- The proposed garage is located up to the southern property boundary in lieu of the required 1.5m setback. Given the site is coded R12.5, the R-Codes do not provide for any buildings to be constructed up to the lot boundary. Written justification is required addressing the Design Principles of Clause 5.1.3 of the R-Codes. Neighbour consent is also required but cannot be obtained in this instance as the application cannot be advertised due to insufficient information being provided.

Without the above information the Shire is unable to accurately determine the variations being sought under the R-Codes and therefore cannot commence the required advertising process.

Local Planning Policy 2.1 – Residential Outbuildings

The Shire adopted Local Planning Policy 2.1 – Residential Outbuildings (LPP 2.1) in January 2013 to complement the provisions of the R-Codes relating to outbuildings to better reflect community expectations.

Clause 3.5 – Scale of Outbuilding Development outlines the maximum allowable standards for outbuildings throughout the Shire based on lot size and location. The table below is applicable to the subject lot.

TOWNSITE	STANDARD	MAXIMUM	PROVIDED
Coastal town sites (1001m ² – 4000m ² lot size)	Area	120m ²	135m ² – non-compliant
	Wall Height	3.6m	3.6m – compliant
	Overall Height	5.0m	4.6m – compliant

The proposed outbuilding has a floor area of 135m², which significantly exceeds the R-Code provisions (60m² or 10% of the site area) and also LPP 2.1 by 15m². The variation to LPP 2.1 has no justification and is not supported.

Request for Information

The Shire sent a letter on 16 March 2017 to the applicant requesting that the additional information be submitted within 21 days. No response has been received to this request.

The applicant was contacted via telephone on 18 May 2017 to discuss the matter, at which time the applicant advised that he had not received the Shire's letter. The applicant also advised it was his intention to make amendments to the application, which coincidentally reflected the changes requested by Administration.

An amended application was not received and Administration attempted to again contact the applicant via telephone on 12 July 2017, to no avail.

Summary

In view of the above the Shire is of the view that ample time (5½ months) and opportunity has been afforded the applicant to submit the required information in order for an assessment to be completed. The statutory timeframe for determination of an application of this nature is 60 days. An application cannot be put on hold for an indefinite period of time and in this instance the proposal has been determined based on the information currently submitted.

Advice Notes

In the event that Council resolves to refuse this application, the following advice notes will apply:

- A. If you are aggrieved with the conditions of this refusal you have the right to request the State Administration Tribunal (SAT) to review the decision, under Part 14 of the *Planning and Development Act 2005*.

STATUTORY ENVIRONMENT

State Planning Policy 3.1 – Residential Design Codes
Part 5

Local Planning Scheme No. 9
3.2 – Objectives of the Zones
3.2.1 Residential Zone

Local Planning Policy 2.1 – Residential Outbuildings

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015 – 2025

Focus Area	<i>Build Environment</i>
Objective	<i>3. To effectively manage growth and provide for community</i>
Outcome	<i>3.3 High quality and well utilised community facilities and assets</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council refuse the Development Application for Additions to Dwelling and an Outbuilding on Lot 337 (4) Wedge Avenue, Lancelin, as the application does not comply with Clause 67 of the *Planning and Development (Local Planning Schemes) Regulations 2016* as follows:

1. Clause 67(c) Any approved state planning policy

The proposal does not comply with Clause 5.1.3 – Lot Boundary Setback, Clause 5.2.4 – Street Walls and Fences, Clause 5.2.5 – Sight lines and Clause 5.4.3 – Outbuildings of the R-Codes; and

2. Clause 67(g) Any local planning policy for the scheme area

The proposal does not comply with Clause 3.5 – Scale of Outbuilding Development of Local Planning Policy 2.1 – Residential Outbuildings.

RESOLUTION

Moved Councillor Aspinall, seconded Councillor Court that Council refuse the Development Application for Additions to Dwelling and an Outbuilding on Lot 337 (4) Wedge Avenue, Lancelin, as the application does not comply with Clause 67 of the *Planning and Development (Local Planning Schemes) Regulations 2016* as follows:

1. Clause 67(c) Any approved state planning policy

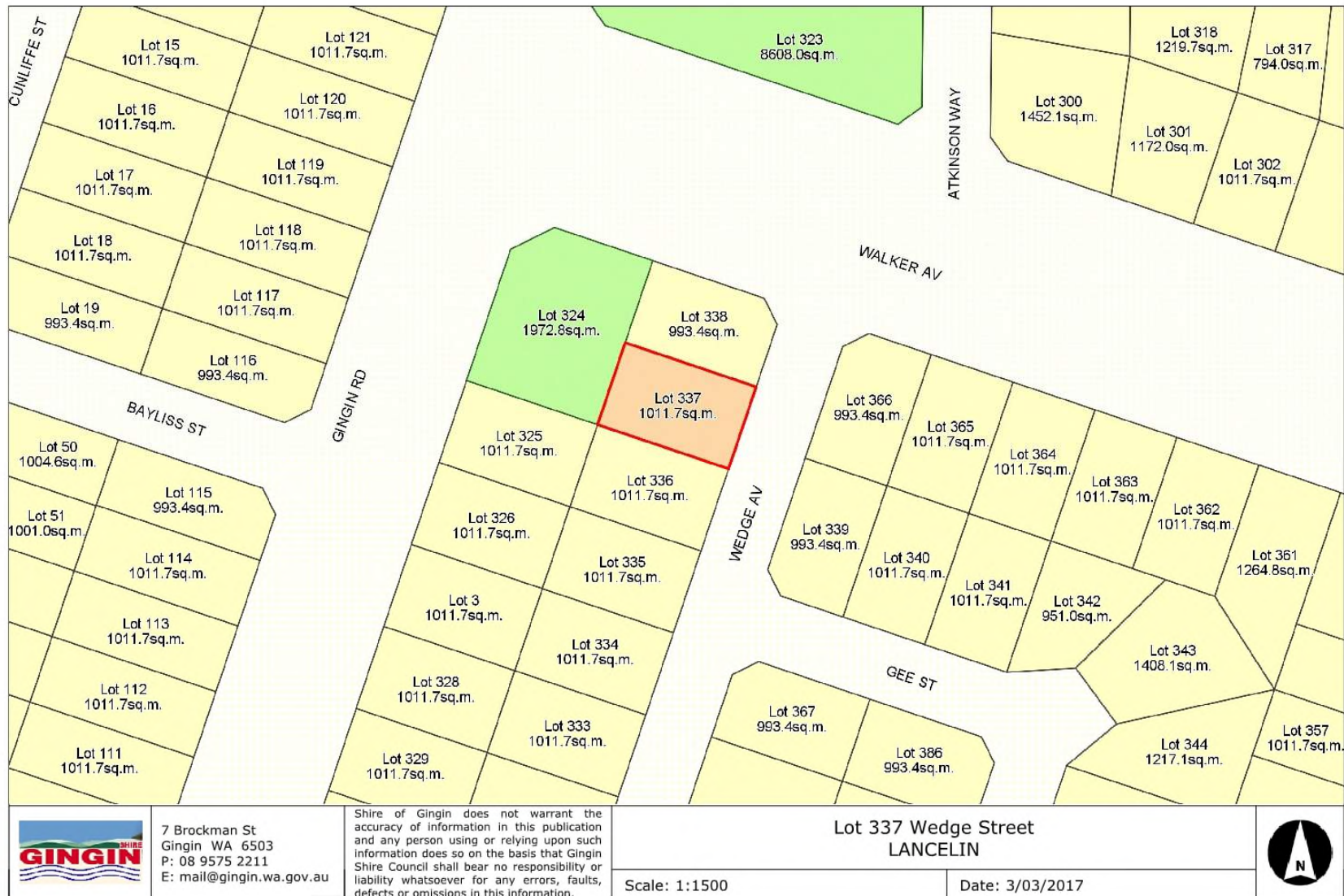
The proposal does not comply with Clause 5.1.3 – Lot Boundary Setback, Clause 5.2.4 – Street Walls and Fences, Clause 5.2.5 – Sight lines and Clause 5.4.3 – Outbuildings of the R-Codes; and

2. Clause 67(g) Any local planning policy for the scheme area

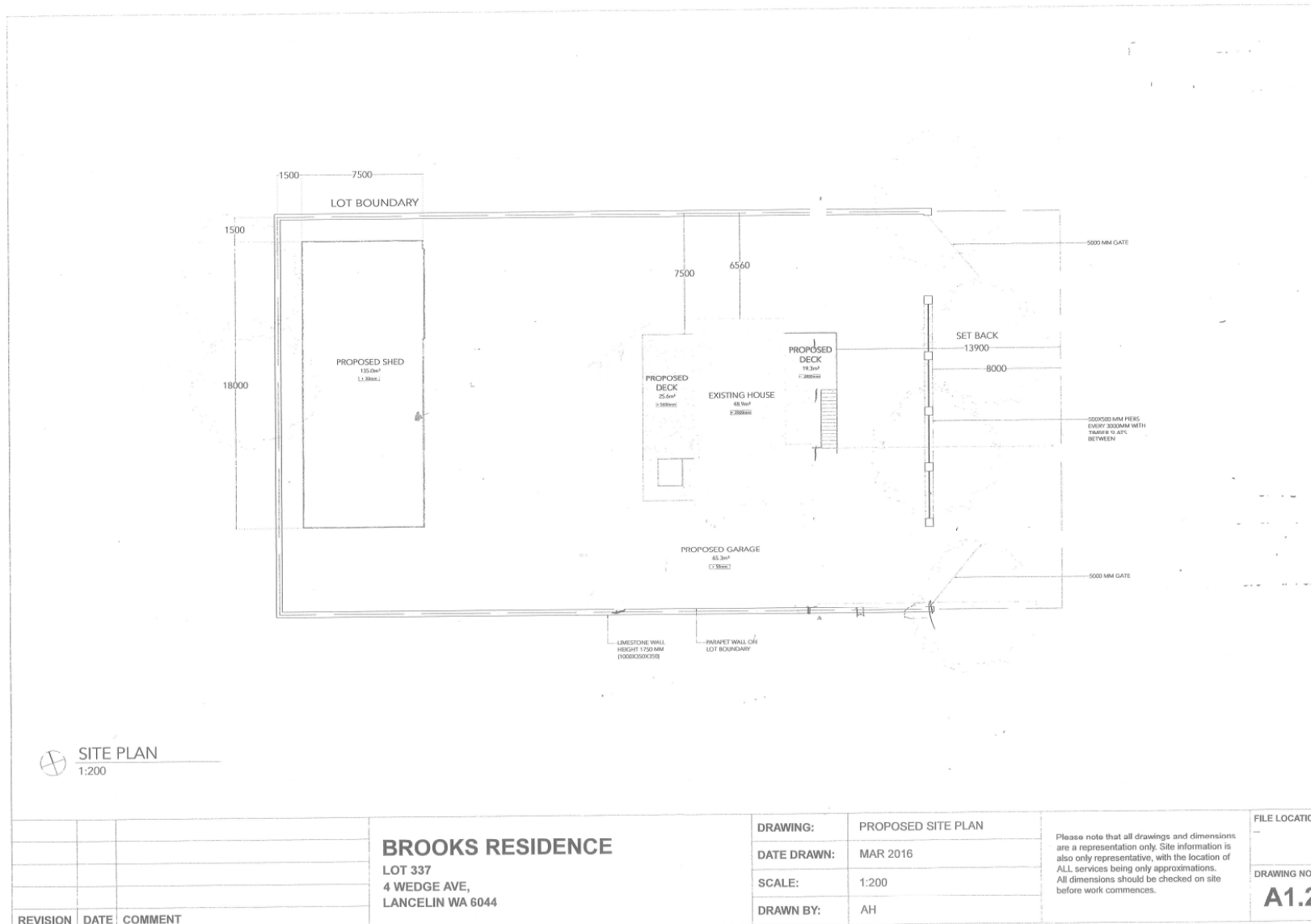
The proposal does not comply with Clause 3.5 – Scale of Outbuilding Development of Local Planning Policy 2.1 – Residential Outbuildings.

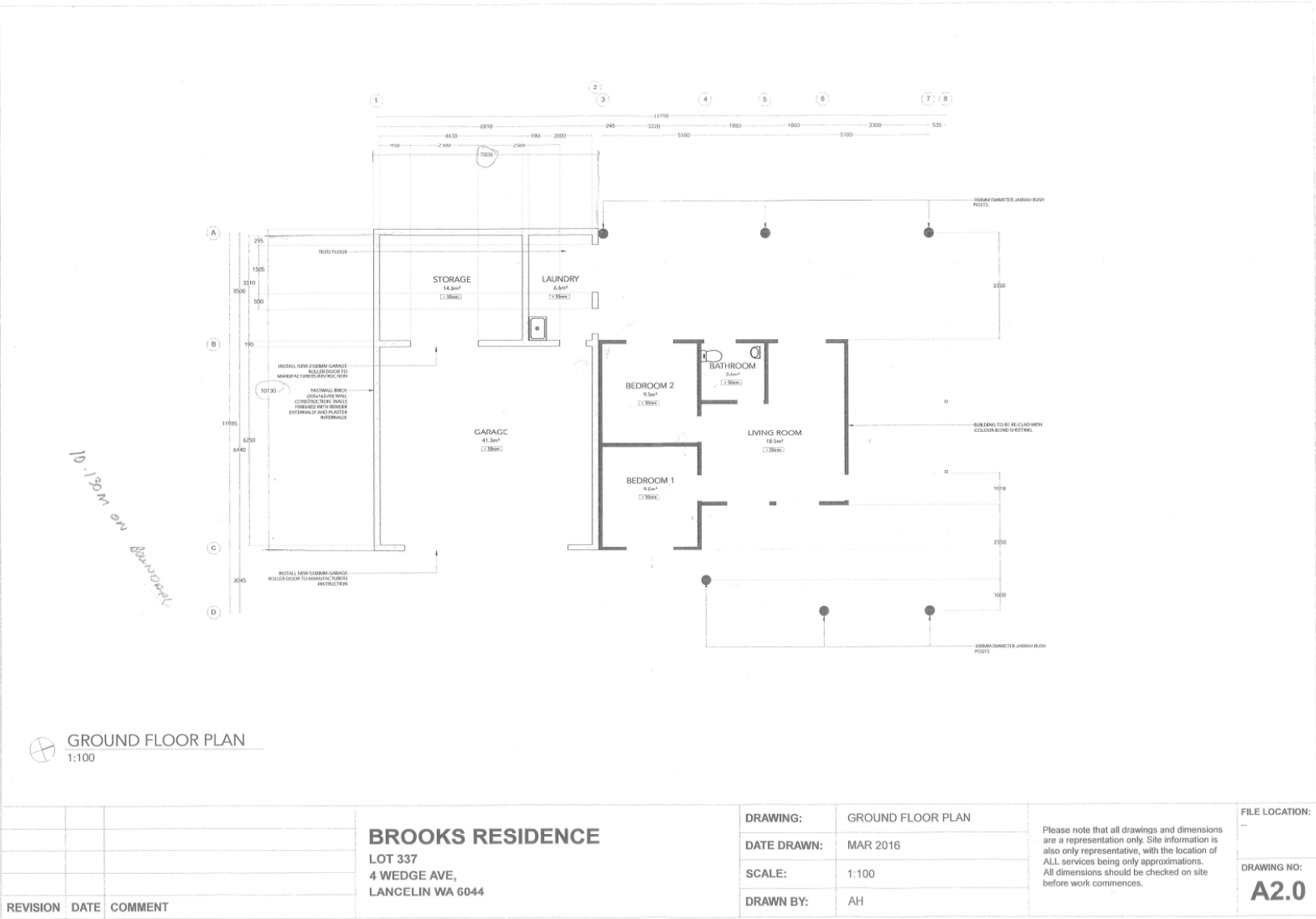
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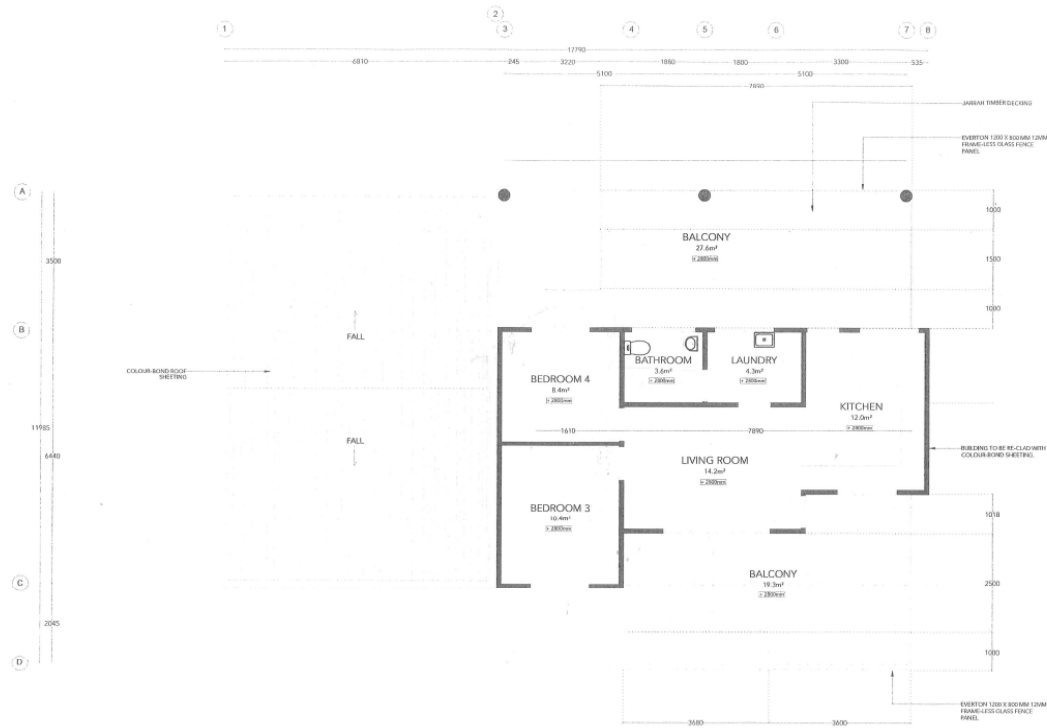
APPENDIX 1





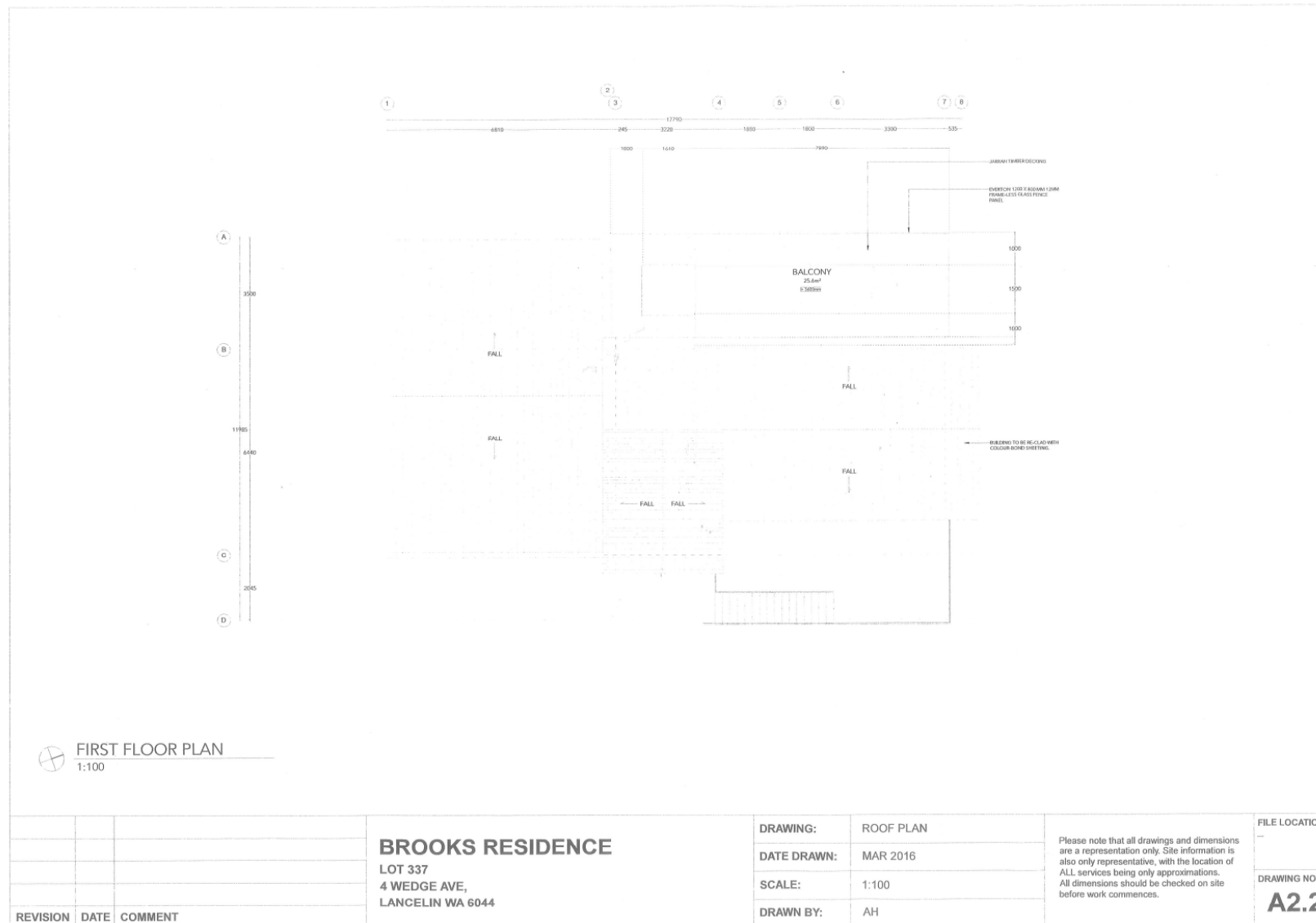




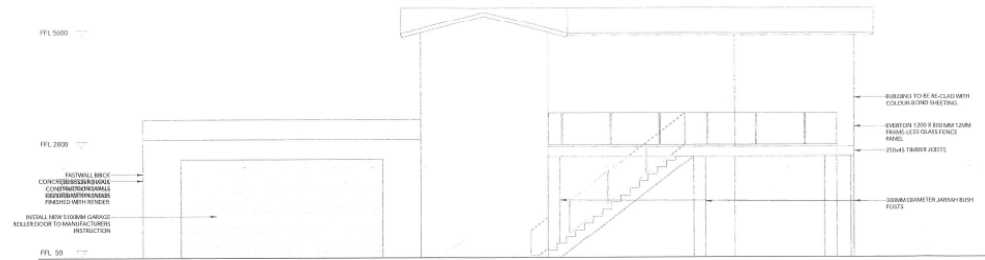


 FIRST FLOOR PLAN
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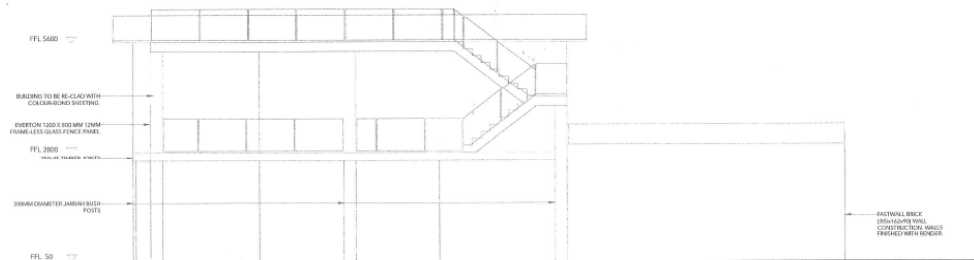
				BROOKS RESIDENCE LOT 337 4 WEDGE AVE, LANCELIN WA 6044	DRAWING:	FIRST FLOOR PLAN	Please note that all drawings and dimensions are a representation only. Site information is also only representative, with the location of ALL services being only approximations. All dimensions should be checked on site before work commences.	FILE LOCATION:
					DATE DRAWN:	MAR 2016		
					SCALE:	1:100		DRAWING NO:
REVISION	DATE	COMMENT			DRAWN BY:	AH		A2.1



EAST ELEVATION
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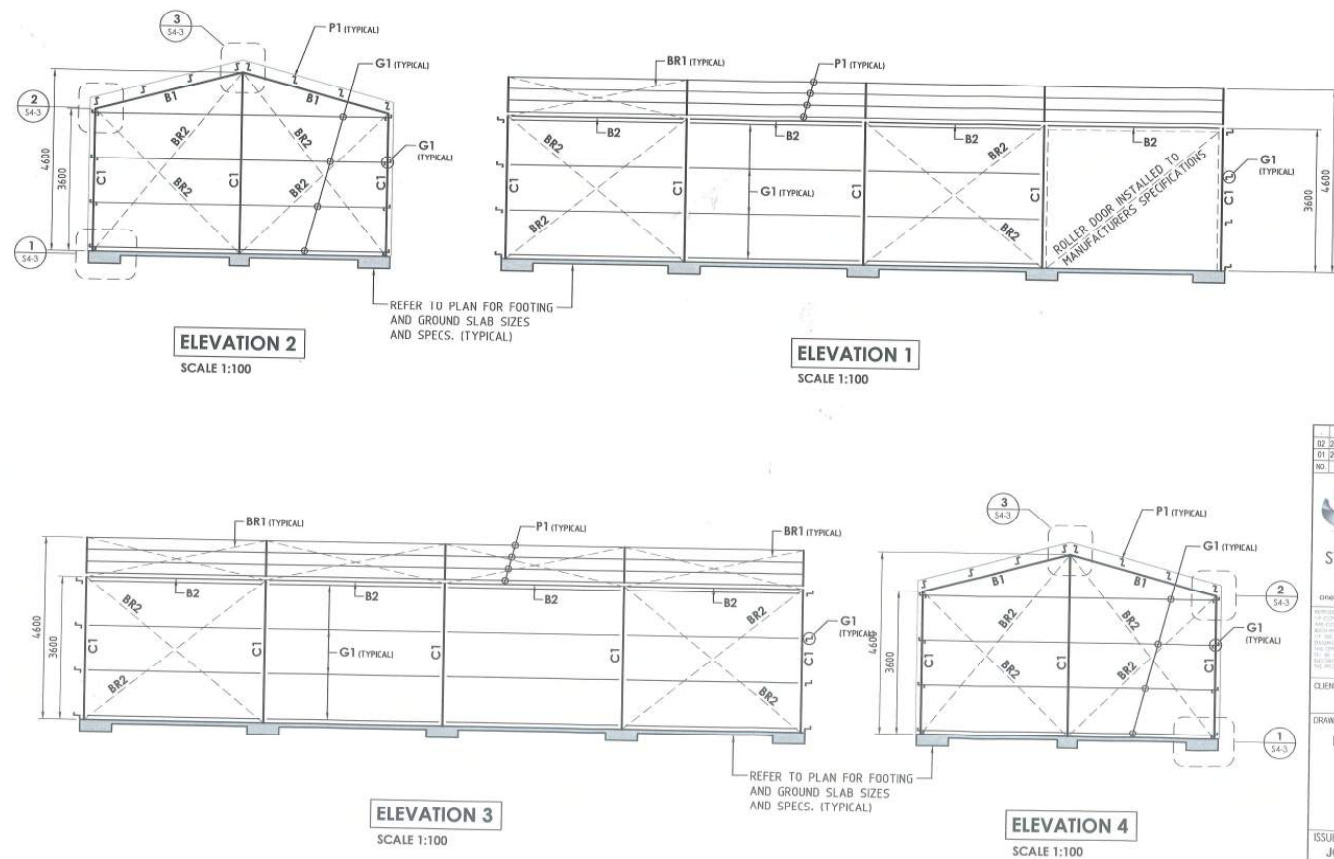


WEST ELEVATION
1:100



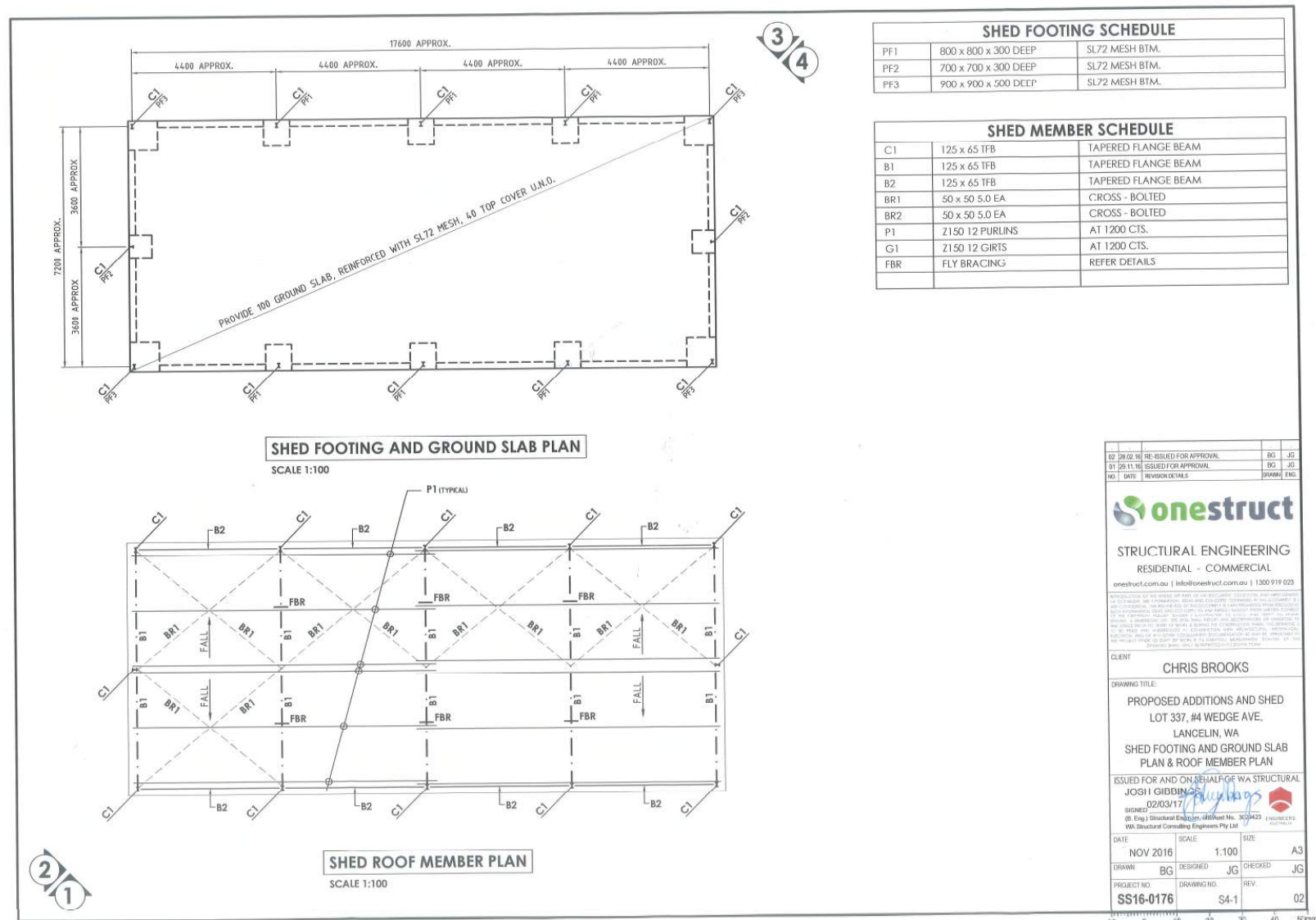
REVISION	DATE	COMMENT	BROOKS RESIDENCE LOT 337 4 WEDGE AVE, LANCELIN WA 6044	DRAWING:	EAST AND WEST ELEVATIONS	Please note that all drawings and dimensions are a representation only. Site information is also only representative, with the location of ALL services being only approximations. All dimensions should be checked on site before work commences.	FILE LOCATION:
				DATE DRAWN:	MAR 2016		
				SCALE:	1:100		
				DRAWN BY:	AH		DRAWING NO: A4.0

127



02/08/16	RF-SUBMIT FOR APPROVAL	BC	JG
01/29/16	ISSUED FOR APPROVAL	BC	JG
NO.	DATE	REVISION/DETAILS	DRAWN/ENG.

onestruct	
STRUCTURAL ENGINEERING	
RESIDENTIAL - COMMERCIAL	
onestruct.com.au info@onestruct.com.au 1300 919 023	
<small>onestruct Pty Ltd is a company of the onestruct group. The onestruct group is a group of companies that provide structural engineering services. The onestruct group is a group of companies that provide structural engineering services. The onestruct group is a group of companies that provide structural engineering services.</small>	
CLIENT	CHRIS BROOKS
DRAWING TITLE	PROPOSED ADDITIONS AND SHED LOT 337, #4 WEDGE AVE, LANCELIN, WA TYPICAL SHED ELEVATIONS
ISSUED FOR AND ON BEHALF OF WA STRUCTURAL JOSH GIBBINS 02/03/17 <small>SIGNED (Dr. Eng) Structural Engineer (No. 302425) WA Structural Consulting Engineers Pty Ltd</small>	
DATE	NOV 2016
SCALE	1:100
SHEET	A3



11.3.4 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED AGRICULTURE INTENSIVE (IRRIGATION DAM) ON LOT 437 LENNARDS ROAD, LENNARD BROOK

FILE:	BLD/5476
APPLICANT:	PHUNG TRAN DO & TUYET CHAU HUYNH
LOCATION:	LOT 437 LENNARDS ROAD, LENNARD BROOK
OWNER:	PHUNG TRAN DO & TUYET CHAU HUYNH
ZONING:	GENERAL RURAL
WAPC:	N/A
AUTHOR:	KYLIE BACON – MANAGER STATUTORY PLANNING
REPORTING OFFICER:	LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT
REPORT DATE:	15 AUGUST 2017
REFER:	20 DECEMBER 2016 ITEM 11.3.4

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Development Approval for Agriculture Intensive (Irrigation Dam) on Lot 437 Lennards Road, Lennard Brook.

BACKGROUND

The subject lot is located on Lennards Road and has an area of 46.30 hectares. In December 2016, Council granted planning approval to convert the eight hectares of existing orchard on the property into a market garden.

The current proposal that is before Council is for the construction of an irrigation dam. The dam specifications are as following:

Capacity: 14,245 Mega litres;

Length: 100m

Width: 60m

Depth: 5m

The dam is to be set back approximately 190 metres from the front (northern) boundary of the property, and is to be fed by a bore and lined with an HDPE UV stabilised membrane. The closest dwelling is located approximately 315m down hill.

There is no Council policy or local planning policy regarding dam construction within the Shire. The dam is considered to be an incidental use to the market garden.

A location plan and a copy of the applicant's proposal are provided as **Appendix 1**.

COMMENT

Community Consultation

The application was advertised to surrounding landowners for a period of 14 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*. Furthermore, the proposal was advertised to the Department of Water.

The Shire received one submission objecting to the proposal and advice was provided from the Department of Water.

The Schedule of Submissions and Recommended Responses has been provided as **Appendix 2**.

PLANNING FRAMEWORK

Local Planning Scheme No. 9 (LPS 9)

The subject lot is zoned General Rural under LPS 9, the objectives of which are to:

- a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agriculture activities such as horticulture as primary uses; with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and*
- d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

Under LPS 9, Agriculture – Intensive is a discretionary use and is defined as follows:

'agriculture – intensive' means premises used for trade or commercial purposes, including outbuildings and earthworks, associated with the following:

- a) *The production of grapes, vegetables, flowers, exotic or native plants, or fruit or nuts;*
- b) *The establishment and operation of plant or fruit nurseries;*
- c) *The development of land for irrigated fodder production or irrigated pasture (including turf farms); or*

d) *Aquaculture.*

The construction of the dam is an incidental use to the Agriculture-Intensive (Market Garden) and does not impact upon the objectives of the General Rural zone.

Local Planning Scheme No. 9 Setbacks

The proposed dam complies with the LPS 9 General Rural setback requirement of 20 metres. The dam is to be set back approximately 190 metres from the front boundary. Therefore, it is not considered that it will have significant visual amenity impacts on adjoining landowners.

Department of Water Advice

The proposal was referred to the Department of Water and Environmental Regulation (DWER) for consideration. The Department has advised the following:

The DWER has no objections to the proposed dam, however is unable to determine the water source for the dam. Should the dam intersect groundwater, the water used will contribute towards the licensee's annual entitlement and be subject to the conditions on the licence.

The dam should be constructed in line with the recommendations in Water Quality Protection Note 53: Dam construction and operation in rural areas (DWER, 2006).

The dam will not intersect with any ground water as it is lined with a HDPE UV stabilised membrane. In the event that Council approves the application, an advice note will be included to advise of the applicant's responsibility for ensuring that the dam is constructed in line with the recommendations in Water Quality Protection Note 53: Dam construction and operation in rural areas (DWER, 2006).

The applicant has provided a structural report with the application which concludes that the proposed dam will be structurally sound. However, dam safety is the responsibility of the dam owner and is regulated under the *Rights in Water and Irrigation Act 1914*.

Summary

In view of the above assessment, the proposed dam is consistent with the General Rural objectives of LPS 9, is an incidental use to the Agriculture Intensive – Irrigated Horticulture (Market Garden) and is conditionally supported.

Advice Notes

In the event that Council resolves to approve this application, the following advice note will apply:

- A. The dam should be constructed in line with the recommendations in *Water Quality Protection Note 53: Dam Construction and Operation in Rural Areas* (DWER, 2006).

STATUTORY ENVIRONMENT

Local Planning Scheme No. 9

Part 3 – Zones and the Use of the Land

3.2 Objectives of the zones

Part 4 – General Development Requirements

4.7 General Development Standards

4.8.6 General Rural Zones

Water Quality Protection Note 53: Dam Construction and Operation in Rural Areas

Rights in Water and Irrigation Act 1914

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015 – 2025

Focus Area	<i>Natural Environment</i>
Objective	<i>2. To support a healthy natural environment</i>
Focus Area	<i>Local Business</i>
Objective	<i>4. To facilitate local business growth</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for the proposed Agriculture Intensive (Irrigation Dam) on Lot 437 Lennards Road, Lennard Brook, subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;
2. This approval is for Agriculture – Intensive (Irrigation Dam) only; and
3. Dust suppression measures shall be implemented to minimise dust and emissions at all times.

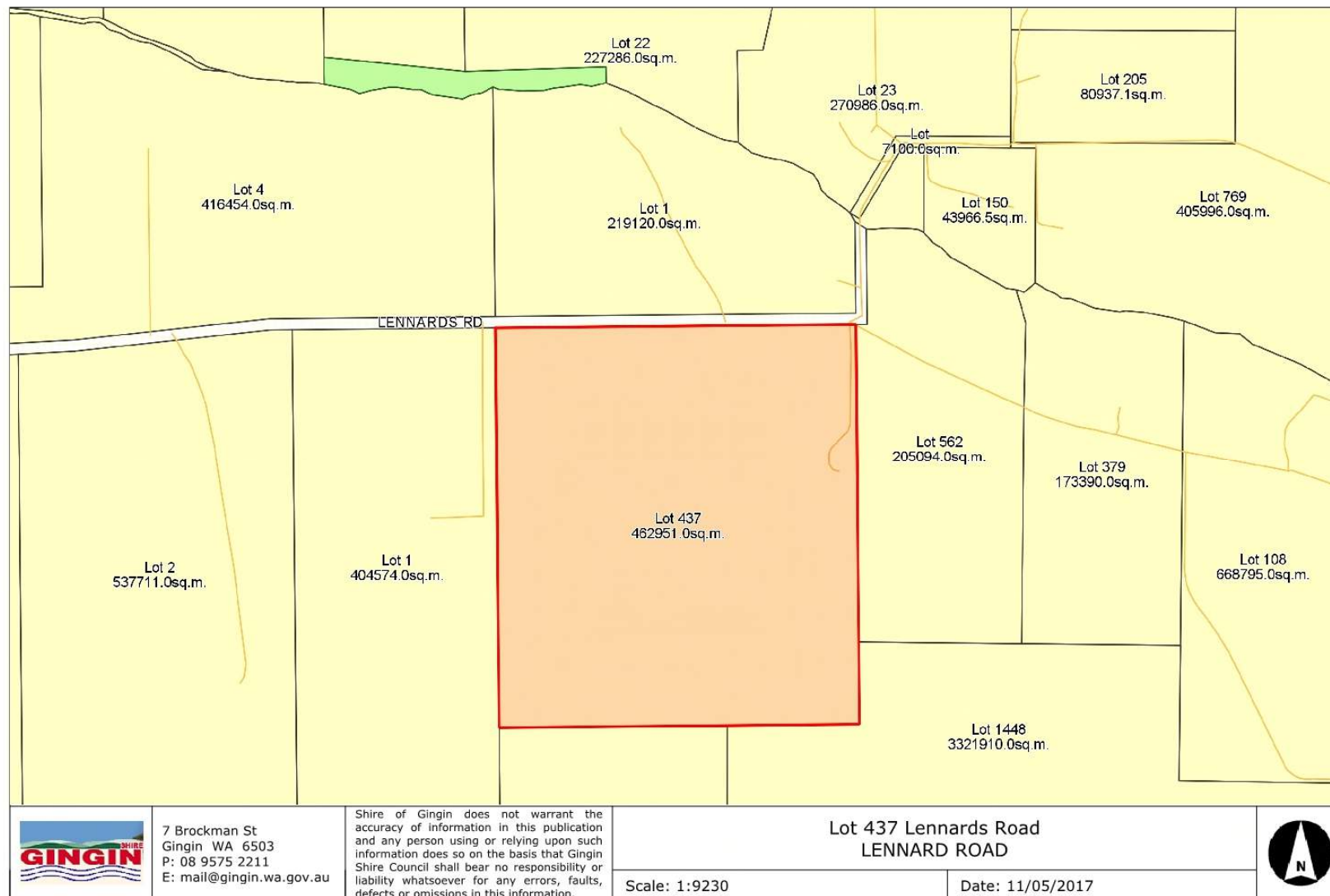
RESOLUTION

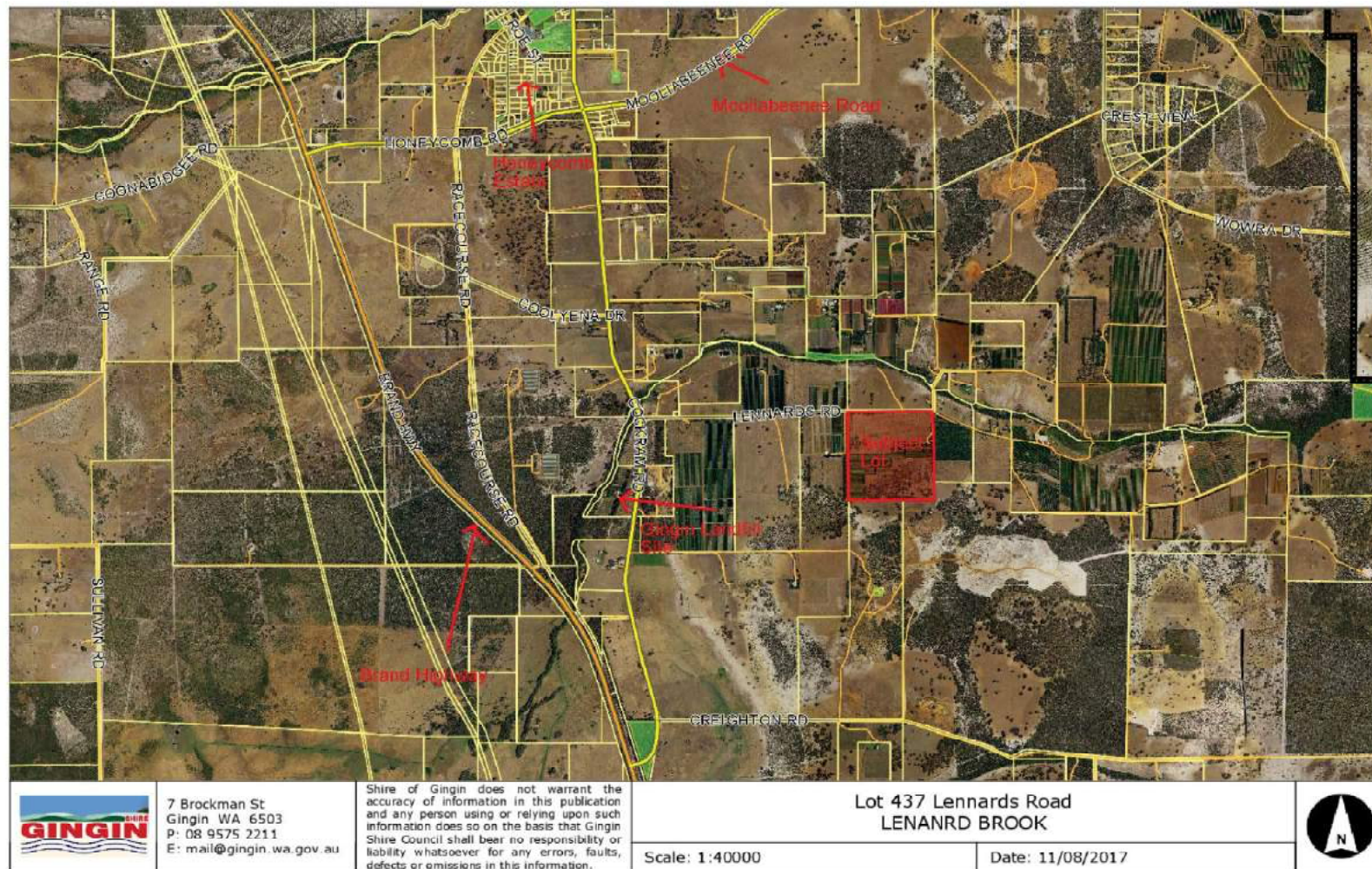
Moved Councillor Aspinall, seconded Councillor Collard that Council grant Development Approval for the proposed Agriculture Intensive (Irrigation Dam) on Lot 437 Lennards Road, Lennard Brook, subject to the following conditions:

- 1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;**
- 2. This approval is for Agriculture – Intensive (Irrigation Dam) only; and**
- 3. Dust suppression measures shall be implemented to minimise dust and emissions at all times.**

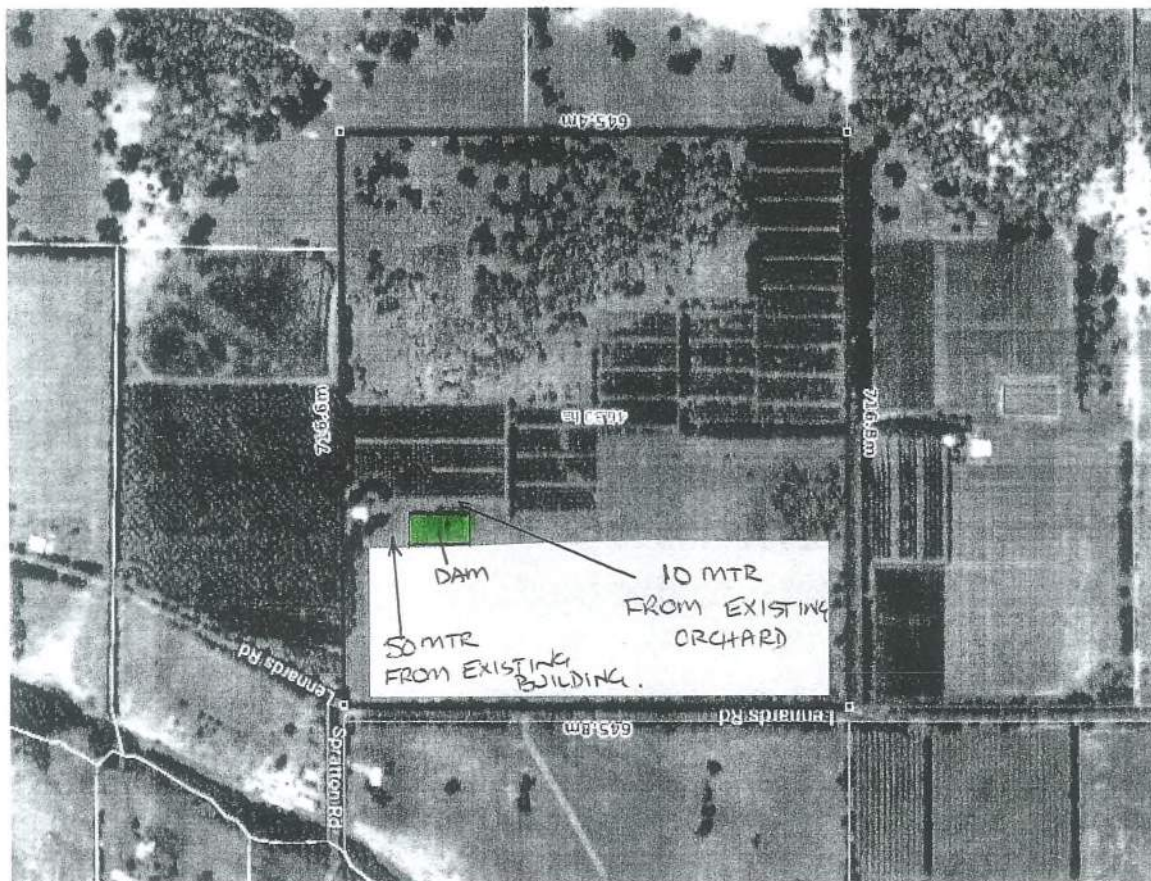
CARRIED UNANIMOUSLY

APPENDIX 1





DAM 218 LENNARDS RD



SHIRE OF GINGIN	
SCAN #	RECEIVED
9 - MAY 2015	
DOC #	
FILE #	
OFFICER	

WESTERN FRUIT FARM 2
100 x 60 TOTAL FOOTPRINT.

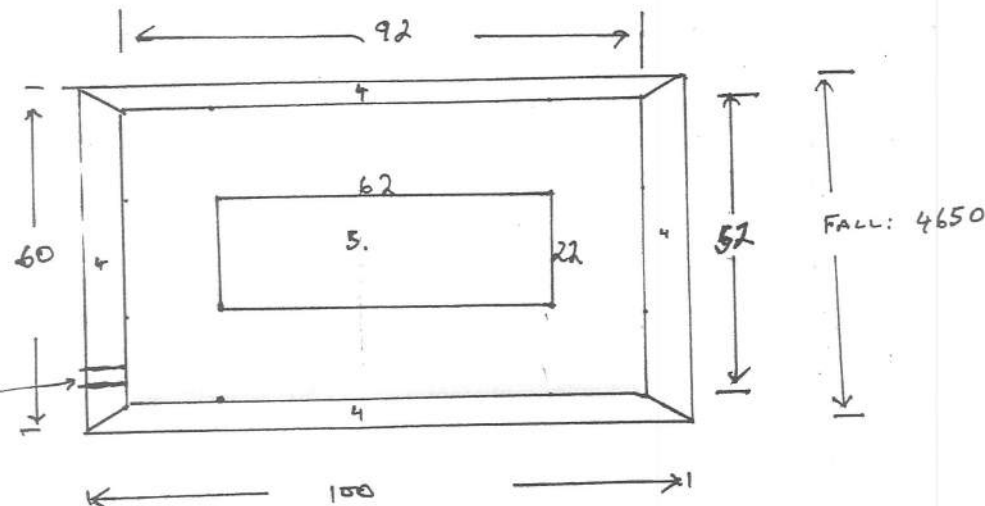
↑
N

T: 90 x 50
B: 60 x 26
D: 5.

1:3 BATTERSLOPE
500 ANCHOR TRENCH.
2 x PIPE BOOTS.

1 x 300 SUCTION.
1 x 250 FLUSH LINE

1 mm LINER.
OVERFLOW 3M x 250mm



$$\begin{aligned} 92 &\div 62 \\ 52 &\div 22 \end{aligned}$$

FALL: 4650

$$\begin{aligned} 77 \times 37 \times 5 \\ = 14245 \end{aligned}$$

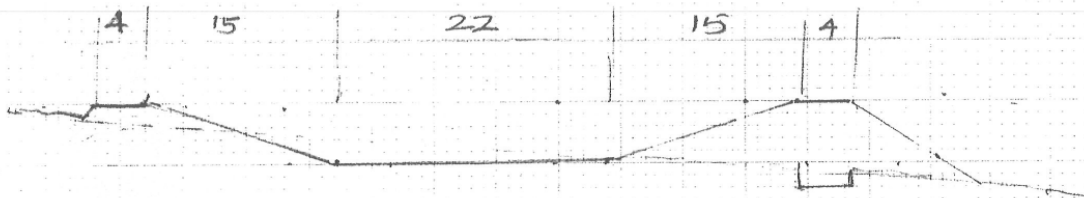
WESTCOAST :

MENT. :

CAPACITY 14245 MEG.

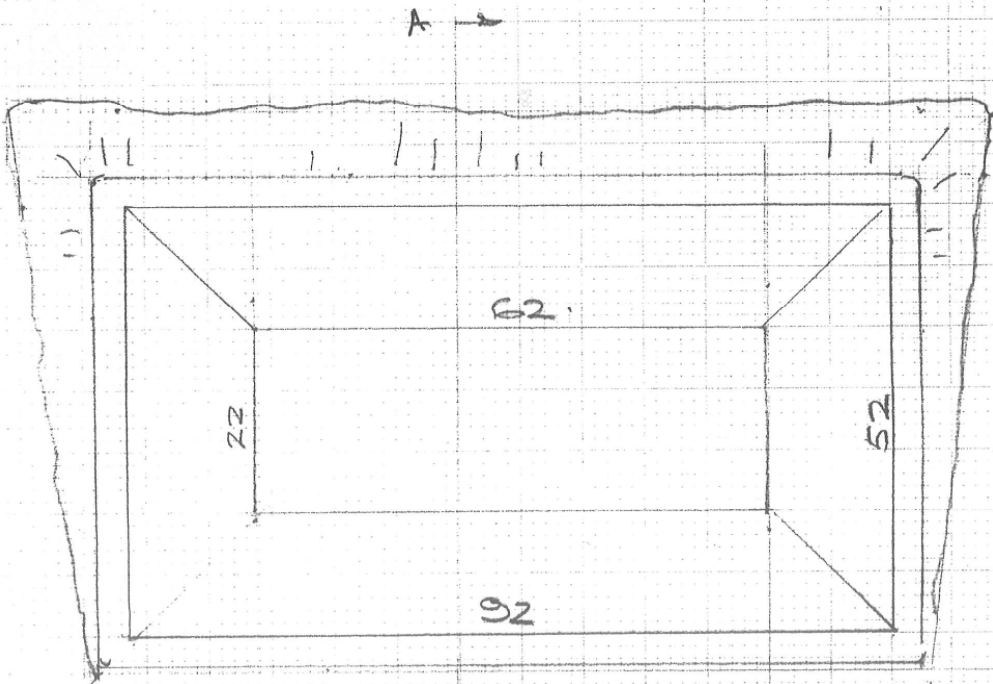
1:3 BATTER.

$$\begin{aligned} 84.5 \\ 44.5 \\ = 1880 \text{ cu.} \end{aligned}$$



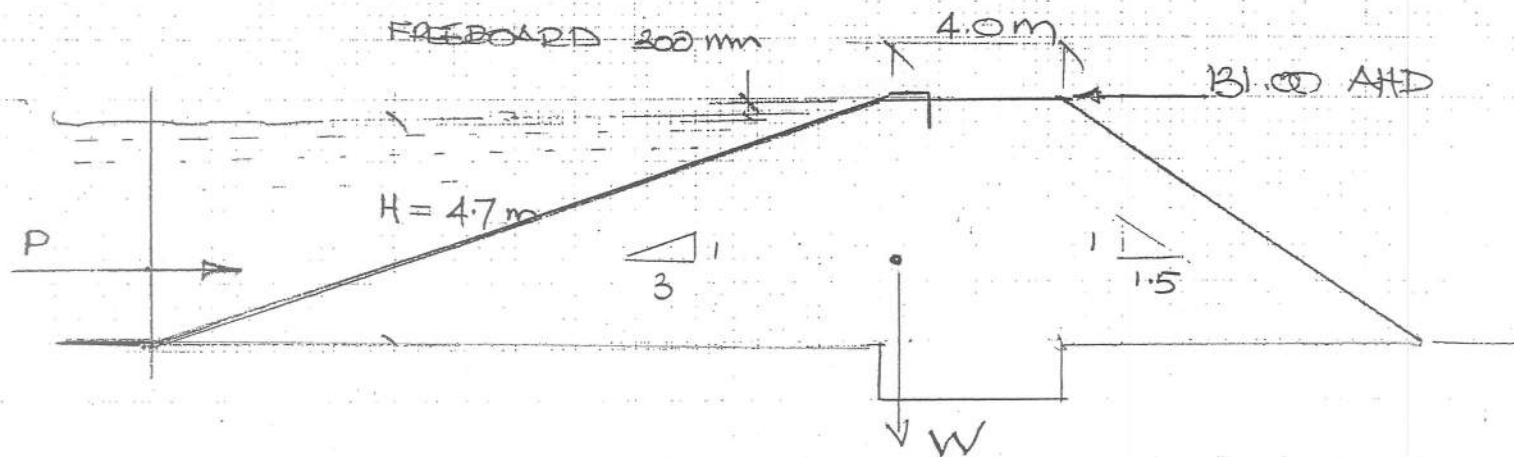
SECTION A - A

1:50



1:75

Briandy Services P/L



CHECK PRESSURE PER METRE OF WALL P

$$P = \frac{w H^2}{2} = \frac{9.81 \times 4.7^2}{2} = 108.35 \text{ kN}$$

WEIGHT OF EARTH PER METRE OF WALL W

$$W = \text{DENSITY} \times \text{AREA} = 18 \times 80 = 1440 \text{ kN}$$

∴ NO OVERTURNING CAN OCCUR, SF OF 10

APPENDIX 2

SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED AGRICULTURE INTENSIVE (IRRIGATION DAM) ON LOT 437 LENNARDS ROAD, LENNARD BROOK

No.	Submitter	Submission Detail	Recommended Response
1.	Ratepayer	<p>The Submitter does not support the proposal and makes the following comments:</p> <p><i>Please refer to specific and general comments submitted by Mr Craig Wallace, partner Lavan Legal by email on our behalf on 8 June 2017.</i></p> <p><i>I and have been instructed to write to the Shire of Gingin in response to its letter dated 19 May 2017 opposing an application for development of a large holding dam at Lot 437 Lennards Road, Lennard Brook.</i></p> <p><u>Background and Summary</u></p> <ul style="list-style-type: none"> <i>The Subject Land is zoned General Rural under the Shire's Town Planning Scheme No 9 (TPS 9). Intensive Agriculture is listed as a "D" use under the Zoning Table.</i> <i>Clause 3.3.2 of TPS 9 confirms that "D" means that the use is not permitted unless the local government has exercised its discretion by granting development approval.</i> <i>The presumption in respect of a "D" use is that the use is not permitted.</i> <i>The burden of rebutting the presumption is wholly on the Applicant, and it should not be for the Shire or neighbours to second-guess what may or may not be the intent or suitability of the proposal.</i> 	<p><u>Deficient Application</u></p> <p>In accordance with Schedule 2 Part 8 clause 63 subclause 2 of the deemed provisions, the local government may waive or vary a requirement set out in subclause 1. The Shire considers the information that was submitted as part of the application is sufficient for the Shire to make an informed assessment and decision.</p> <p><u>Dam Location</u></p> <p>The dam complies with the setback requirements of Local Planning Scheme No.9 (LPS9) and the objectives of the General Rural zone.</p> <p><u>Engineering Standards</u></p> <p>The applicant provided an engineer's report stating the dam will be structurally sound. Dam safety is the responsibility of the landowner and should be constructed inline with the recommendations in <i>Water Quality Protection Note 53: Dam Construction and Operation in Rural Areas</i>. In the event Council approves the application an advice note to this affect will be on the planning approval to notify the landowners' responsibility.</p>

		<ul style="list-style-type: none"> <i>In this case, my client has a significant number of legitimate planning concerns, all of which point to a clear refusal of the application.</i> <i>In summary, there are two key issues with the proposed development:</i> <ul style="list-style-type: none"> <i>Firstly, the application is deficient and lacking in detail, and cannot be legitimately considered by the Shire or neighbours in its current form; and</i> <i>Secondly, the application has not addressed all relevant matters set out in clause 67 of Schedule 2 of the Planning and Development (Local Planning Scheme) Regulations 2015 (Deemed Provisions) and therefore cannot be legitimately approved by the Shire in its current form.</i> <i>These concerns are articulated in detail below.</i> <p><u>Issue 1 – Deficient Application</u></p> <ul style="list-style-type: none"> <i>Clause 63 (1) of the Deemed Provisions, sets out the requirements for a valid application for a development approval. These requirements include the documents and plans, which must accompany any application for development approval. The plans provided by the Shire to my client for comment do not comply with those requirements. For example, the plans provided to no specify or include:</i> <ul style="list-style-type: none"> <i>Lot numbers;</i> <i>Dimensions of the site;</i> <i>Existing and proposed ground levels and contours;</i> 	<p><u>Environmental Impacts and Water Allocation</u></p> <p>The proposal was referred to Department of Water for comment. They have no objection to the proposal and their advice has been outlined in the officer's report.</p> <p>The dam will not interfere with the ground water table as it is lined with a HDPE UV membrane. Furthermore, ground water and water licence issues is monitored by the Department of Water not the Shire of Gingin. The landowner is required to comply with all their conditions outlined on their water licence.</p>
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		<ul style="list-style-type: none"> ○ <i>Existing and proposed services (i.e. how will the dame be filled);</i> ○ <i>Plans and elevations of the proposed development at scale; or</i> ○ <i>Contain site survey at scale.</i> • <i>In addition, in accordance with clause 63(3) of the Deemed Provisions, the application should be, but does not appear to be accompanied by, for example:</i> <ul style="list-style-type: none"> ○ <i>A soil/land capability assessment demonstrating the Subject Land can accommodate the proposal;</i> ○ <i>Environmental justification that the impact that the proposed dam will have on the flow, quality and availability of water in the Lennards Brook is acceptable; and</i> ○ <i>Engineering justification that the dam, as proposed, can be constructed in a safe manner and can be serviced by power and water supply.</i> • <i>If the Shire moves to consider the application, absent the necessary information required by clause 63 of the Deemed Provisions, it will fail to take into account relevant information, and will potentially leave any resulting decision open to legal challenge.</i> <p><u>Issue 2 – Relevant Matters</u></p> <ul style="list-style-type: none"> • <i>Clause 67 of the Deemed Provisions sets out all those matters which the local government is to have due regard in assessing an application for development approval.</i> 	
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		<ul style="list-style-type: none"> • <i>In my client's submission the proposed development has not adequately addressed the following provisions of clause 67:</i> <ul style="list-style-type: none"> ○ <i>The aims and provisions of this Scheme</i> ○ <i>The requirements of orderly and property planning</i> ○ <i>The compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality</i> ○ <i>The amenity of the locality including the following –</i> <ul style="list-style-type: none"> ○ <i>Environmental impacts of the development;</i> ○ <i>Social impacts of the development;</i> ○ <i>The likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource;</i> ○ <i>The suitability of the land for the development taking into account the possible risk of flooding, soil erosion, land degradation;</i> ○ <i>The suitability of the land for the development taking into account the possible risk to human health and safety;</i> ○ <i>The history of the site where the development is to be located;</i> 	
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		<ul style="list-style-type: none"> ○ <i>Any submissions received on this application.</i> • <i>With respect to the above considerations, the following is relevant to a decision to refuse:</i> <ul style="list-style-type: none"> ○ <i>The proposed development contemplates the storage of a significant amount of water, which will directly or indirectly be sourced from or diverted from the Lennards Brook or from ground water supplies;</i> ○ <i>If sourced from the river, this inevitably reduces the environmental flows within the river, causing flow on effects, such as raised salinity levels downstream, among other things;</i> ○ <i>If sourced from ground water, this reduces the capacity for others to draw from what is a limited resource;</i> ○ <i>Effectively, the Dam operates as an inefficient store. When filled, it is removing water from the environment that may otherwise be put to productive purposes in other locations, and is susceptible to significant evaporation when held in the open;</i> ○ <i>This is a relevant matter in terms of orderly and property planning, social impacts, the likely effect of the development on water resources and others in the community;</i> ○ <i>Water allocation and availability is a significant concern to my client and its neighbours from an operational perspective. The applicant has not demonstrated that the additional water required for the proposed development will have no negative impact on the water allocation and availability of water for the rest of the community;</i> 	
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		<ul style="list-style-type: none"> ○ <i>Water allocation and availability in this locality is finite resource. It is my understanding that the allocation for the locality is fully utilised by the community. Any attempt by the applicant to stockpile this resource, or draw over and above their current allocation effectively reduces the availability of water for other properties in the locality, and adversely impacts on the viability of surrounding properties to continue to be used for productive rural purposes. The cumulative impact of the proposed development, in its context, together with other water drawing uses on the Subject Land is a relevant matter which must be considered by the Shire and which, in my client's submission, points to a refusal of the application;</i> ○ <i>In additional, and of most concern to my client is that the proposed development is located directly uphill of my client's house and working sheds;</i> ○ <i>No justification for the location of the dam or the measures proposed to manage water egress/flooding has been provided by the applicant to demonstrate that the proposed development will not create a significant risk to human life and property;</i> ○ <i>The proposed dam does not appear to have been engineered, as no technical reports have been provided to demonstrate that the land can accommodate the significant weight of the water to be held in the proposed dam. No contour plans have been provided to ascertain the flow of water an no mitigation measures have been contemplated by the applicant to reduce the risk of flooding to neighbouring land to an acceptable level;</i> ○ <i>The Shire should be well aware of the drainage and</i> 	
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		<p><i>flooding issues already associated with this site. The issues with drainage and flooding in the area have already manifested themselves recently in a significant impact on my Client's Land. When Lennards Road was maintained and upgraded for drainage purposes last year, the high level runoff from the road flooded my client's working sheds, and caused significant damage to its property;</i></p> <ul style="list-style-type: none"> ○ <i>While this particular road drainage issue has been rectified by the Shire, it is foreseeable that if the dam were to fail, it would cause significantly more erosion and damage to my client's land and buildings than the road runoff;</i> ○ <i>Further, given the location of the dam relative to my client's house, there is a significant risk to human health and safety, which cannot be ignored, and points to a clear refusal of the application in its current form.</i> <ul style="list-style-type: none"> • <u>Suggestions</u> • <i>In my clients view:</i> <ul style="list-style-type: none"> ○ <i>The applicant should be required to provide sufficient technical justification for the proposed development, and any such additional information should be provided for neighbour comment and review. This information should be sent to the neighbours in a manner which will be easily received by them and allows a reasonable time for consideration and response;</i> ○ <i>Whilst my client objects to the proposed development, if it was to proceed in a modified form, the applicant should be encouraged to relocate the proposed dam to the west</i> 	
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		<p><i>of its property, so that it sits in a location where, if it fails, it will not cause any damage to my client's land or improvements, and has a reduced risk of causing damage to life and property; and</i></p> <ul style="list-style-type: none"> ○ <i>If approved, the applicant should in any event be required by the Shire to take out an insurance policy, at their cost, listing the Shire and neighbouring landholders as "the insured" to protect against any damage, which may arise in circumstances that the dam fails and causes damage to council or neighbouring property and infrastructure. With respect to this suggestion, the following is noted:</i> <ul style="list-style-type: none"> ▪ <i>Firstly, if the Shire was included to approve the proposed development, in my client's view, it would be prudent for the Shire to seek legal advice with respect to its liability in circumstances that the dam failed and caused damage to surrounding properties or injury to persons in the locality;</i> ▪ <i>Secondly, the requirement to obtain and maintain an insurance policy, protecting the Shire and neighbours, is a relatively standard planning requirement in circumstances that there is a material offsite risk posed;</i> ▪ <i>Thirdly, the requirement to maintain the insurance policy is usually protected by way of a deed between the Shire and the landholder. The deed would normally provide for a change and caveat over the land, to ensure that in circumstances that the landholder fails to renew the policy, or becomes insolvent, the Shire can renew the policy of its own volition and recover any outstanding monies owed from the sale of the property;</i> 	
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		<ul style="list-style-type: none"> ▪ <i>Fourthly, it is usually a requirement of the deed that the applicant must send a copy of the insurance policy, and any copies of the paid renewal notices, to all insured under the policy for their records; and</i> ▪ <i>Fifthly, potentially affected neighbours should be provided with the opportunity to make comment to the Shire on the adequacy of the insurance policy before it is approved by the Shire as adequate for the satisfaction of any such condition.</i> <ul style="list-style-type: none"> • <u>Conclusion</u> • <i>In my client's view, the application is clearly deficient and is not currently capable of approval;</i> • <i>I look forward to receiving notice that the application has been refused; or alternatively, notice enclosing sufficient information for the proposed development to be appropriately considered and assessed.</i> 	
2.	Department of Water and Environment Regulation (DWER)	<p>The Submitter provides the following comments regarding the proposal:</p> <p><i>Thank you for the above referral dated 11 May 2017. The Department of Water and Environment Regulation (DWER) has assessed the proposal and would like to provide the following advice:</i></p> <p><i>The DWER has no objections to the proposed dam, however is unable to determine the water source for the dam. Should the dam intersect groundwater, the water used will contribute towards the licensee's annual entitlement and be subject to the conditions on the licence.</i></p>	Noted.

	<p><i>The dam should be constructed in line with the recommendations in Water Quality Protection Note 53: Dam construction and operation in rural areas (DWER, 2006).</i></p> <p>Water Resource Advice Only</p> <p><i>The Department of Water has recently merged with the Department of Environment and Office of the Environmental Protection Authority to create the new agency Department of Water and Environmental Regulation.</i></p> <p><i>The former agencies are in the process of amalgamating their functions. Until this fully occurs, please note that the advice in this correspondence pertains only to water resource matters previously dealt with by the Department of Water.</i></p>	
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11.3.5 APPLICATION FOR DEVELOPMENT APPROVAL FOR PROPOSED ANIMAL ESTABLISHMENT ON LOT 106 (64) CALADENIA ROAD, WANERIE

FILE:	BLD/6051
APPLICANT:	CATHERINE BUSH
LOCATION:	LOT 106 (64) CALADENIA ROAD, WANERIE
OWNER:	CATHERINE & SANTEL DINO BUSH
ZONING:	GENERAL RURAL (GR20)
WAPC NO:	N/A
AUTHOR:	KYLIE BACON – MANAGER STATUTORY PLANNING
REPORTING OFFICER:	LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT
REPORT DATE:	15 AUGUST 2017
REFER:	21 JUNE 2016 ITEM 11.3.3

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an application for Development Approval for an Animal Establishment situated on Lot 106 (64) Caladenia Road, Wanerie.

BACKGROUND

The Shire is in receipt of an application for Development Approval for an Animal Establishment at Lot 106 (64) Caladenia Road, Wanerie.

Council approved the proposal for a period of 12 months at its 21 June 2016 Ordinary Council Meeting. The application that is currently before Council is for the same proposal, however with no time limit.

The proposal consists of an animal establishment comprising ten dog kennels and an exercise area enclosed within a 1.5m fence. The animal establishment is for a registered Australian Cattle Dog breeder and for the occasional boarding of previous customers' dogs.

Setbacks from lot boundaries are compliant with the General Rural Zoning of the Shire's Local Planning Scheme No. 9 (LPS 9). The Environmental Protection Authority Guidelines (EPA Guidelines) outline a minimum buffer distance of 500m between dog kennels and surrounding dwellings. The closest dwelling is located west approximately 145 metres. Applying the EPA's Guidelines is considered more appropriate to large scale boarding kennels. The buffer setbacks from the existing dog kennel are considered appropriate.

Furthermore, the kennels have been in operation for just over 12 months with the Shire receiving no complaints regarding barking issues from the subject property. In accordance with the Shire of Gingin Dogs Local Law 2004, the owner is required to apply annually for a licence to keep an approved kennel establishment on the premises and will be required to comply with the licence conditions. The ongoing management issues are regulated through this process and if the landowner does not manage the kennels in a manner that is considered acceptable, then the Shire does not issue a Kennel Licence and hence the landowner cannot operate. A Development Approval in itself does not give the landowner the right to operate from the subject lot, as this right is conferred by the holding of a valid Kennel Licence.

A location plan and a copy of the applicant's full proposal are provided as **Appendix 1**.

COMMENT

Community Consultation

Animal Establishment is a Permitted Use under LPS 9 and there is no statutory requirement to advertise. However, advertising to adjoining landowners is required as part of the kennel licence application process under the Shire's Dogs Local Law 2004, and therefore the proposal was advertised in the process of assessing the original application.

Nine submissions were received objecting to the original application during the public consultation period. However, the Shire has received no formal complaints in relation to the kennels during the last 12 months of operation.

PLANNING ASSESSMENT

Local Planning Scheme No. 9 (LPS 9)

The subject lot is zoned General Rural (GR30) under LPS 9, the objectives of which are to:

- a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticultural as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and*
- d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

An 'Animal Establishment' as defined under LPS 9 means *the premises used for the breeding, boarding, training or caring of animals for commercial purposes but does not include animal husbandry – intensive or veterinary centre.*

An Animal Establishment is a 'P' permitted use under the Scheme which means *that the use is permitted by the Scheme providing the use complies with the relevant development standards and the requirements of the Scheme.*

The proposal meets the objectives of the General Rural zone and complies with the development standards and Table 2 site requirements of LPS 9 by achieving setbacks greater than the required 20 metres.

Summary

In summary, the proposed Animal Establishment meets the objectives of LPS 9 and the General Rural zone. The proposal is considered to be an appropriate land use within the General Rural zone and has demonstrated that it can operate without causing amenity concerns to adjoining landowners.

In accordance with the Shire of Gingin Dogs Local Law 2004, the applicant/owner will be required to apply annually for a licence to keep an approved kennel establishment on the premises, and to comply with the licence conditions.

It should be noted it is the Kennel Licence that allows the landowner to physically operate not the Development Approval. It is through the Kennel Licence process that the Shire has control over whether the kennel continues to operate on an ongoing basis.

The owner has a noise management plan in place to control excessive barking if it becomes a nuisance issue under the Shire of Gingin's Dogs Local Law 2004 and/or the *Environmental Protection (Noise) Regulations 1997*.

The Shire to date has not received any formal complaints regarding barking issues from the subject property.

The proposal is recommended for approval subject to conditions.

Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- A. The Kennels are to comply at all times with the requirements of the *Environmental Protection (Noise) Regulations 1997*.
- B. Premises are to comply with the requirements of the *Public Health Act 2016* and all relevant health legislation.

STATUTORY ENVIRONMENT

Local Planning Scheme No. 9

Part 3 – Zones and the Use of Land
Part 4 – General Development Requirements
Clause 4.8.6 General Rural Zone

Shire of Gingin Dogs Local Law 2004)

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

The application fee of \$147.00 be waived as the application fee has already been paid in the original application. The current application is a request to formalise the approval with no timeframe being impose. The landowner is required to pay an annual Kennel Licence fee of \$157.50.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015 – 2025

Focus Area	<i>Community Wellbeing</i>
Objective	<i>1. To support the Shire of Gingin community to be inclusive, vibrant and healthy</i>
Focus Area	<i>Local Business</i>
Objective	<i>4. To facilitate local business growth</i>
Outcome	<i>4.2 Grow local business, employment and training</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for an Animal Establishment situated on Lot 106 (64) Caladenia Road, Wanerie, subject to the following conditions:

1. All development must be in accordance with the approved plans (including any amendments marked in RED) unless conditioned otherwise by this approval;
2. The owner of the Animal Establishment will be required to apply annually for, and obtain, a licence for an Approved Kennel Establishment under the Shire of Gingin's Dogs Local Law 2004 and comply with any conditions imposed by the licence; and
3. This approval is for an Animal Establishment only.

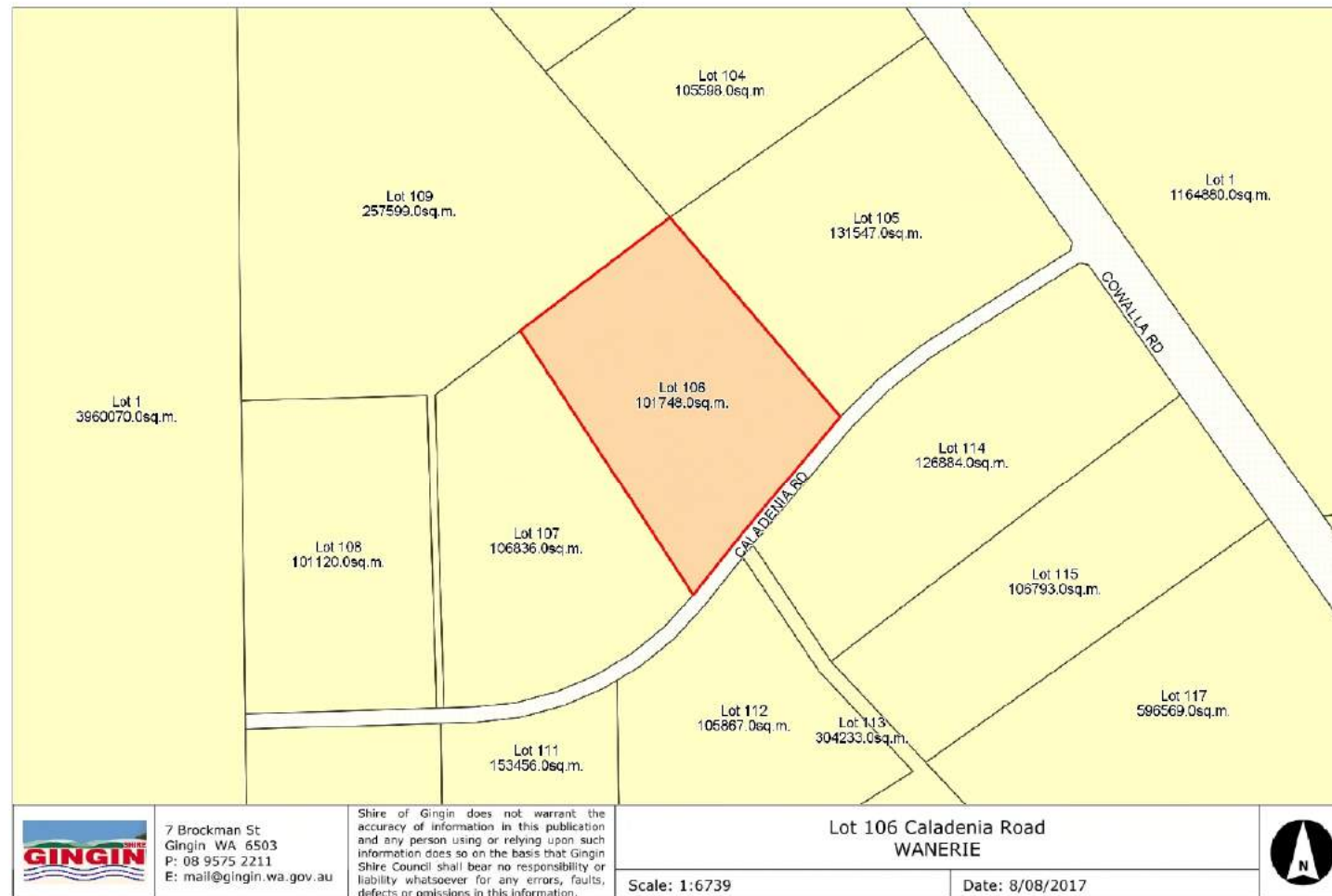
RESOLUTION

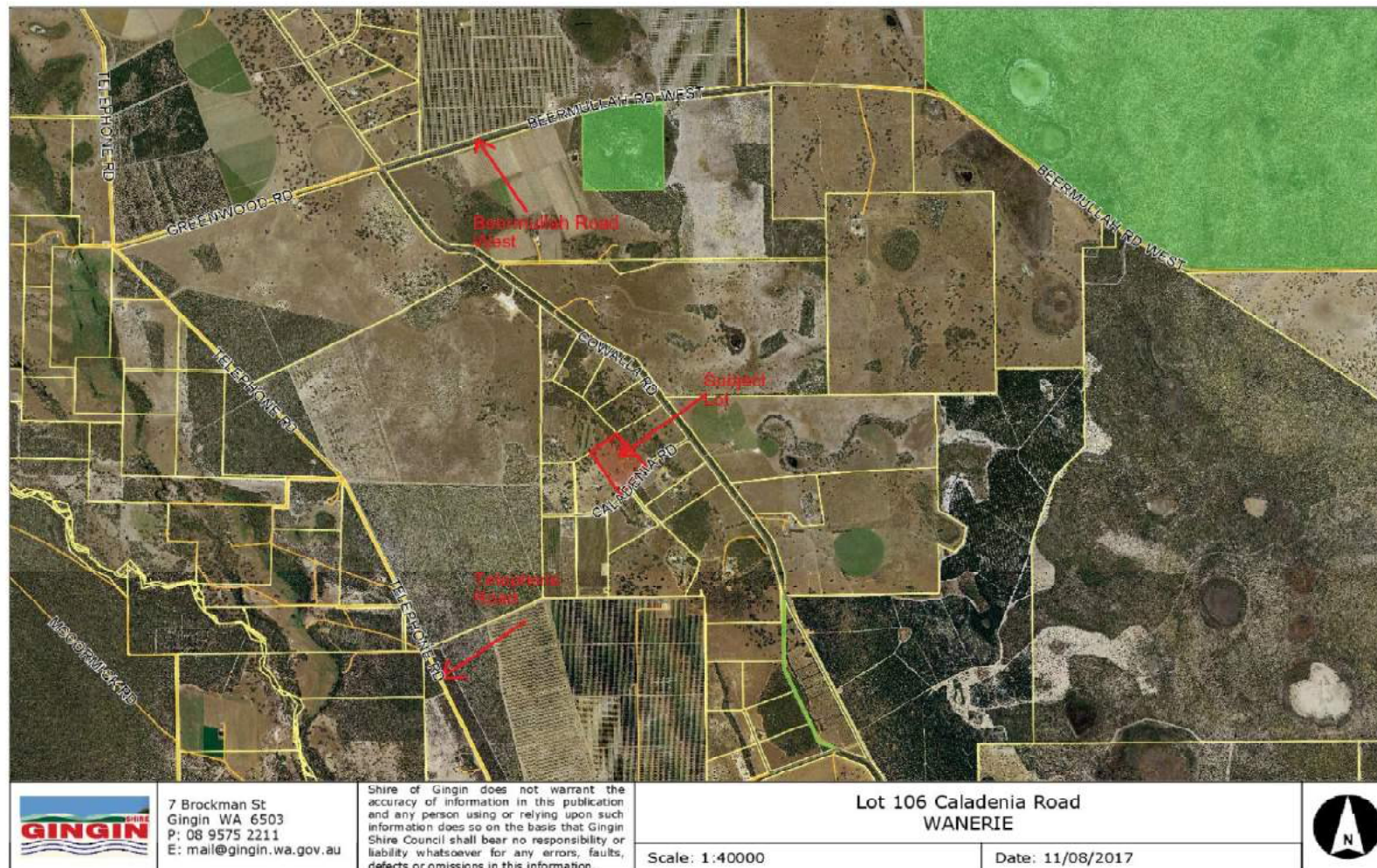
Moved Councillor Ammon, seconded Councillor Peczka that Council grant Development Approval for an Animal Establishment situated on Lot 106 (64) Caladenia Road, Wanerie, subject to the following conditions:

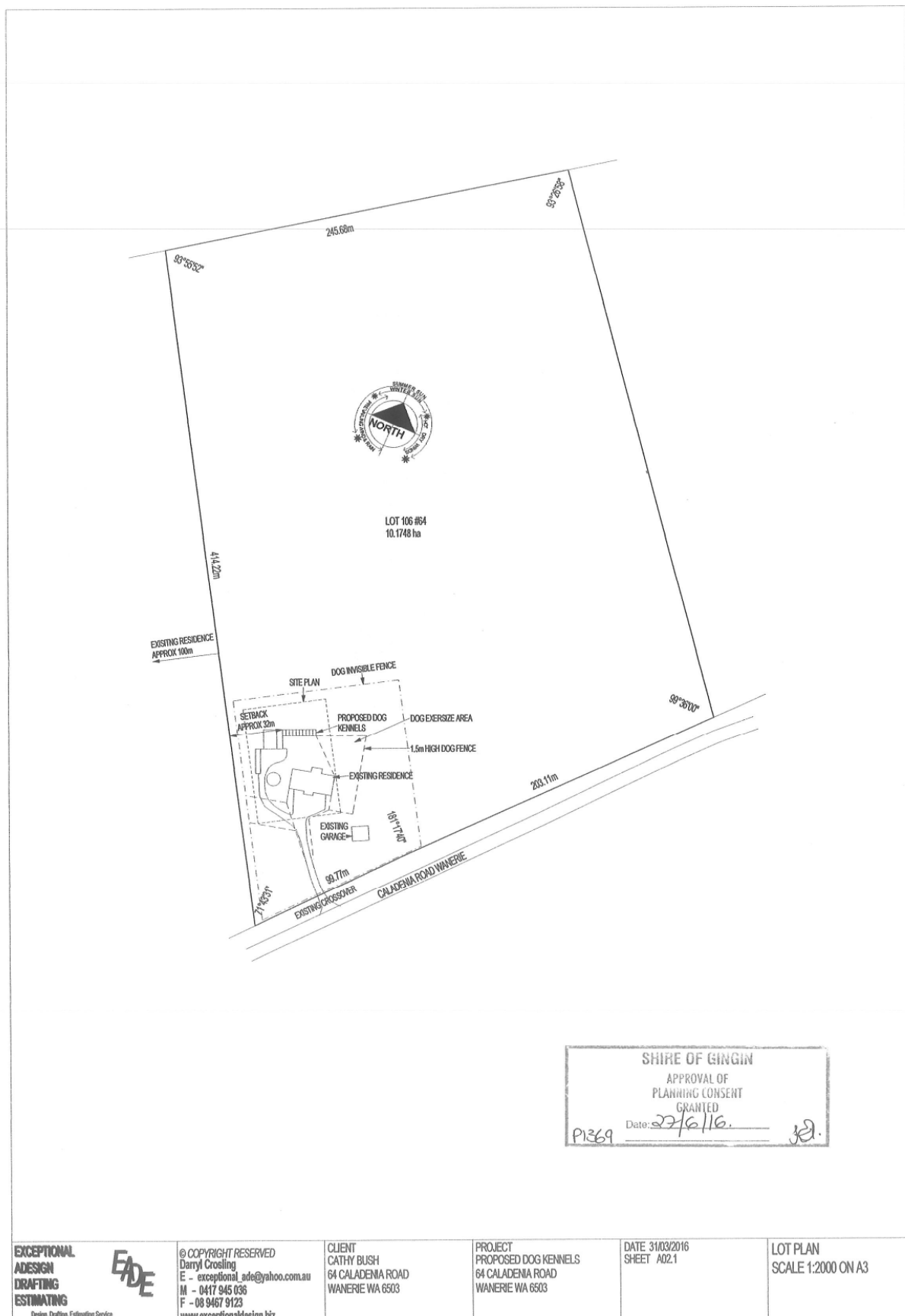
- 1. All development must be in accordance with the approved plans (including any amendments marked in RED) unless conditioned otherwise by this approval;**
- 2. The owner of the Animal Establishment will be required to apply annually for, and obtain, a licence for an Approved Kennel Establishment under the Shire of Gingin's Dogs Local Law 2004 and comply with any conditions imposed by the licence; and**
- 3. This approval is for an Animal Establishment only.**

CARRIED UNANIMOUSLY

APPENDIX 1



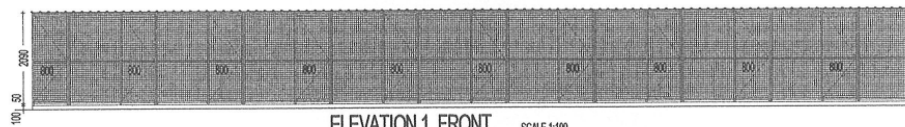




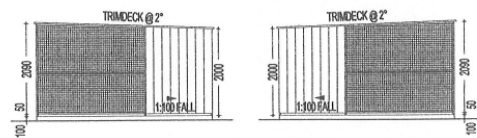


DOG KENNEL SPECIFICATION

FLOOR TYPE - N20/20/100 CONCRETE, SLR2 MESH,
FALL 1:100 TO SPOON DRAIN, BROOM FINISH
FRAMING - GALVANISED RHS 30x30x2
FRAMING TO CONCRETE ATTACHMENT TO SUPPLIERS DETAILS
WALL CLADDING - 0.45mm ZINC TRIMDECK
ROOF CLADDING - 0.45mm ZINC TRIMDECK @ 2"
FENCING & GATES - GALVANISED 50x50x4 MESH



ELEVATION 1, FRONT SCALE 1:100

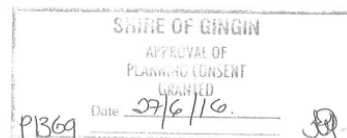



ELEVATION 2, RHS SCALE 1:100

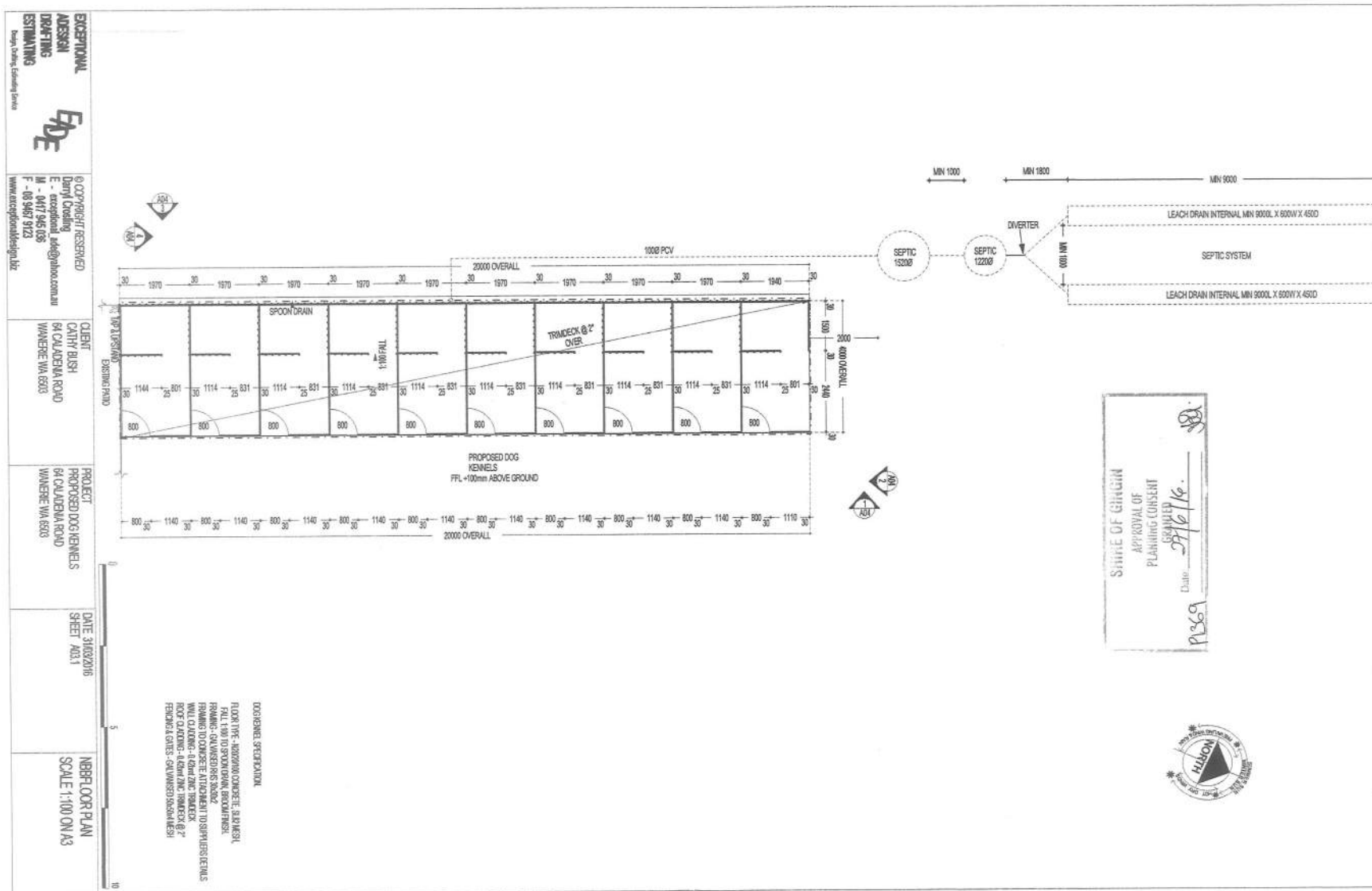
ELEVATION 4, LEFT SCALE 1:100



ELEVATION 3, REAR SCALE 1:100



EXCEPTIONAL ADESIGN DRAFTING ESTIMATING Design, Drafting, Estimating Service	 © COPYRIGHT RESERVED Daryl Crosting E - exceptional_ade@yahoo.com.au M - 0417 945 036 F - 08 9467 9123 www.exceptionaldesign.biz	CLIENT CATHY BUSH 64 CALADENIA ROAD WANERIE WA 6503	PROJECT PROPOSED DOG KENNELS 64 CALADENIA ROAD WANERIE WA 6503	DATE 31/03/2016 SHEET A04	ELEVATIONS SCALE 1:100 ON A3
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GENERAL NOTES

- G1. THE CLIENT MUST ASSUME RESPONSIBILITY FOR THE USE OF THE PLANS AND ACCURACY AND COMPLETENESS.
G2. IT IS THE BUILDERS RESPONSIBILITY TO CHECK ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO FABRICATION OR CONSTRUCTION.
G3. DO NOT SCALE FROM DRAWINGS.
G4. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVER STRESSED UNDER CONSTRUCTION ACTIVITIES.
G5. WORKMANSHIP, MATERIALS AND CONSTRUCTION PRACTICES ARE TO BE IN STRICT ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND LOCAL STATUTORY AUTHORITIES.
G6. ALL REFERENCED STANDARDS TO BE THE CURRENT VERSION AT TIME OF CONSTRUCTION.
G7. ALL WORK TO CONFORM WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA.
G8. ALL DIMENSIONS ARE IN MILLIMETRES, AND LEVELS IN METERS UNLESS NOTED OTHERWISE.
G9. ALL SIZES ARE SHOWN WITHOUT CLADDING U.N.O. AND SHOULD BE ALLOWED FOR.

EARTHWORKS NOTES (where applicable)

- E1. REMOVE ALL TOPSOIL, VEGETATION AND DEBRIS A MINIMUM OF 100mm (OR TO THE BOUNDARY IF LESS) AROUND THE BUILDING AREA.
E2. ALL FILLING TO BE COMPACTED IN WELL WATERED 300mm LAYERS USING CLEAN WELL GRADED SAND TO PROVIDE STANDARD PENETROMETER READINGS OF 7 BLOWS PER 300mm. COMPACT BOTTOMS OF ALL FOOTING TRENCHES WHERE NATURAL SAND PROVIDES PENETROMETER READINGS LESS THAN 6 BLOWS PER 300mm.
E3. DRAINAGE MUST BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING SHALL BE GRADED TO FALL 50MM MIN AWAY FROM THE FOOTING OVER 1.0 METER DISTANCE.

REINFORCEMENT NOTES (where applicable)

- R1. ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS, OR SUPPORT BARS.
R2. ALL REINFORCED BARS SHALL COMPLY WITH AS/NZS 4671 GRADE 500L.
R3. ALL SQUARE, RECTANGULAR MESH & TRENCH SHALL COMPLY WITH AS/NZS 4671 GRADE 500L.
R4. REINFORCEMENT SYMBOLS:
N- GRADE 500N DEFORMED BAR
R- GRADE 500N PLAIN ROUND BAR
S- GRADE 500L DEFORMED BAR FOR SWIMMING POOL STEEL REINFORCING
SL- GRADE 500L SQUARE MESH
RL- GRADE 500L RECTANGULAR MESH
THE NUMBERS FOLLOWING THE BAR SYMBOL IS THE NOMINAL BAR IN MILLIMETERS.
R5. MINIMUM COVER (MM) TO ALL REINFORCEMENTS UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:
COLUMNS AND PEDESTALS - 25MM
BEAMS - 30MM
FOOTINGS - 50MM
SLABS - 25MM
R6. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN. ALL SUSPENDED FLOOR REINFORCEMENT SHOULD BE INSPECTED AND APPROVED BY THE ENGINEER BEFORE COMMENCEMENT OF THE POUR.
FORMWORK NOTES (where applicable)
FW1. FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3610.
FW2. FORMWORK SHALL BE LEFT IN PLACE FOR THE FOLLOWING TIMES:
SUSPENDED SLABS - 21 DAYS.
SUSPENDED BEAMS - 28 DAYS.
FW3. ALL PROPS, FORMWORK TO SLABS AND BEAMS SHALL BE REMOVED BEFORE CONSTRUCTION OF ANY MASONRY WALLS OR PARTITIONS ON FLOOR.

FOOTING & SLAB NOTES (where applicable)

- F1. FOOTING DESIGN AS PER AS2870 RESIDENTIAL SLAB AND FOOTINGS.
F2. A VAPOR BARRIER MEMBRANE MUST BE USED BENEATH THAT SLAB & CONSIST OF U.V. PROOF POLYETHYLENE 0.2MM THICK, LAPPED 300MM AND TAPED AT JOINTS.
F3. SLAB REINFORCEMENT FABRIC SHALL BE PLACED WITH A COVER OF 25MM UNO AND LAPPED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
F4. SLAB BEAM OR STRIP FOOTING REINFORCEMENT SHALL HAVE 50MM COVER TOP & BOTTOM AND BE LAPPED NOT LESS THAN 500MM. ALL REINFORCEMENTS TO BE SUPPORTED ON BAR CHAIRS AT MAXIMUM SPACINGS OF 1200MM.
F5. AT RE-ENTRANT CORNERS, TWO STRIPS 2M IN LENGTH OF 3.6RTM OR ONE STRIP OF 3.1RTM, SHALL BE PLACED DIAGONALLY ACROSS A POTENTIAL CRACK.
F6. THE OWNERS ATTENTION IS DRAWN TO APPENDIX B OF AS2870 PERFORMANCE REQUIREMENT AND FOUNDATION MAINTENANCE.

CONCRETE NOTES (where applicable)

- C1. ALL WORKMANSHIP TO COMPLY WITH AS3600 CONCRETE STRUCTURES AND AS2870 RESIDENTIAL SLABS AND FOOTINGS.
C2. SIZE OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
C3. ALL CONCRETE PLACED SHALL BE READY MIXED CONCRETE SUPPLIED IN ACCORDANCE WITH AS1378.
C4. MINIMUM STRENGTH OF CONCRETE SHALL NOT BE LESS THAN: 25MPA- REINFORCED SLABS 25MPA- FOOTINGS AND PAVING SLABS 15MPA- BLINDING CONCRETE.
C5. CONCRETE SLABS SHALL BE MOIST CURED FOR A MINIMUM OF 7 DAYS OR CHEMICALLY CURED IMMEDIATELY AFTER CONCRETING.
C6. PROVIDE TWO LAYERS OF SUITABLE MEMBRANE (MILTHIOID) OVER BRICKWORK SUPPORTING CONCRETE.
C7. UNO ALL CONCRETE SHALL BE WELL COMPACTED BY MEANS OF APPROVED VIBRATORS.
C8. NO LOADS INCLUDING BUILDING MATERIALS AND SUPPLIES SHALL BE PLACED ON A SUSPENDED CONCRETE ELEMENT UNTIL THE CONCRETE OF THAT ELEMENT HAS ACHIEVED DESIGN STRENGTH.
C9. NO HOLES CHASE OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS.
C10. ALL GALVANIZED ITEMS WHICH ARE CAST INTO CONCRETE ARE TO BE PASSIVATED IN A 0.2% SODIUM DICHROMATE SOLUTION OR EQUIVALENT.
C11. UNLESS OTHERWISE SHOWN, CONSTRUCTION JOINTS IN CONCRETE SHALL ONLY BE MADE WITH THE APPROVAL OF THE ENGINEER.

MASONRY NOTES (where applicable)

- M1. ALL MASONRY SHALL COMPLY WITH AS 3700. MORTAR TO BE MIN M3 CLASSIFICATION. CEMENTS OTHER THAN TYPE GP PORTLAND CEMENT & 100% WHITE PORTLAND CEMENT SHALL NOT BE USED.
M2. MINIMUM CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF BRICKS IN WALLS SUPPORTING SUSPENDED SLABS TO BE 12 MPa.
M3. HORIZONTAL CHASING NOT PERMITTED IN BRICKWORK WITHOUT ENGINEER APPROVAL.
M4. LINTELS FOR LOWER WALLS OF TWO STOREY SECTIONS TO BE:- (U.N.O.)
OPENING LINTEL MIN END BEARING
UP TO 1200mm 100 x 75 x 8.0 UA 150mm
UP TO 1800mm 100 x 100 x 8.0 EA 200mm
UP TO 2800mm 150 x 90 x 8.0 UA 250mm
UP TO 3300mm 150 x 100 x 10.0 UA 250mm
M5. PROVIDE 2 LAYERS OF PG OVER ALL WALLS SUPPORTING CONVENTIONALLY FORMED SUSPENDED SLABS.
M6. A BRICK COURSE, AS REFERRED TO IN THIS DOCUMENT IS STANDARD 86mm HIGH.

TIMBER NOTES (where applicable)

- T1. ALL STRUCTURAL TIMBER ELEMENTS, CONSTRUCTION & CONNECTIONS SHALL BE IN ACCORDANCE WITH AS1720.
T2. ALL RESIDENTIAL TIMBER FRAMING, BRACINGS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH AS1684.
T3. THE MINIMUM DIMENSION OF TIMBER ELEMENTS INSTALLED SHALL NOT BE LESS THAN THOSE SPECIFIED IN ENGINEERING COMPUTATIONS, DRAWINGS OR SKETCHES.
T4. ROOF, WALL AND STUMP BRACING SHALL COMPLY WITH THE REQUIREMENTS OF THE TIMBER FRAMING MANUAL - TIMBER PROMOTION COUNCIL.
T5. THE DESIGN FABRICATION AND ERECTION OF PREFABRICATED TIMBER ROOF TRUSSES AND WALL FRAMING SHALL COMPLY WITH THE FABRICATORS DESIGN AND THE REQUIREMENTS OF AS140.
T6. ALL EXPOSED TIMBER TO BE WEATHER TREATED OR APPROVED SPECIES USED.
T7. FIX FLOOR SHEETING TO JOISTS TO MANUFACTURERS SPECIFICATIONS. GLUE JOISTS PRIOR TO FASTENING.
T8. D.J. DENOTES DOUBLE JOIST FIXED TOGETHER WITH M10 BOLTS AT 600 c/c MAXIMUM.
T9. FIX WALL FRAMES TO FLOOR FRAME WITH M10 BOLTS AT:
- ONE EACH SIDE OF WALL INTERSECTIONS
- TWO EACH END OF BRACED WALL FRAMES
- ONE EACH SIDE OF STUD AT SIDES OF OPENINGS
- MAXIMUM 1200 c/c ELSEWHERE
ALTERNATIVELY, FIX WALL FRAMES TO FLOOR FRAME IN STRICT ACCORDANCE WITH AS 1684.
T10. BRACING TO BE 30 x 0.8 PGI STRAP OR PLYWOOD SHEETING IN ACCORDANCE WITH AS1684. BRACED WALL CAPACITY TO BE MIN 1.9kN/m. PLYWOOD BRACED WALLS TO BE MIN 3.6kN/m (ALL LOADS LIMIT STATE). STRAP BRACED WALLS TO BE 1.8 m MIN & 2.7 m MAX IN LENGTH. PLYWOOD BRACED WALLS TO BE MIN 0.6 m LONG.
T11. DO NOT STRUT ROOF FRAME ONTO TIMBER WALLS WHICH ARE NOT SUPPORTED BEAMS OR DOUBLE JOISTS DIRECTLY BELOW, UNLESS NOTED OTHERWISE.

STEEL WORK NOTES (where applicable)

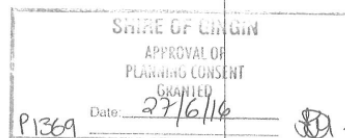
- S1. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS1250 OR AS4100.
S2. WELDING SHALL BE PERFORMED BY AN EXPERIENCED OPERATOR IN ACCORDANCE WITH AS1554.
S3. UNLESS NOTED OTHERWISE WELDS TO BE 6MM CONTINUOUS FILLET.
S4. ALL HIGH T STRENGTH BOLTS AND BOLTING TO BE IN ACCORDANCE WITH AS4100.
S5. ALL EXPOSED STEEL WORK TO BE HOT DIPPED GALVANIZED.
S6. ALL TUBULAR MEMBERS ARE TO BE SEALED AT ENDS WITH NOMINAL 8MM PLATE & 6MM CFW, UNLESS NOTED OTHERWISE.
S7. MINIMUM CAMBER TO BE 3MM PER METER LENGTH OF STEEL BEAMS, OR AS NOTED ON DRAWINGS.
S8. ALL STEEL WORK SHALL BE WIRE BRUSHED TO AS1627 AND PAINTED WITH ONE SHOP COAT OF APPROVED ZINC PRIMER, UNLESS SPECIFIED OTHERWISE. MEMBERS ENCASED IN CONCRETE, TO BE FIRE SPRAYED. FRICTION DRIP BOLTED CONNECTIONS NOT BE PAINTED.
S9. ALL STEEL WORK BELOW GROUND SHALL BE ENCASED IN 75MM CLEAR COVER 20MPa CONCRETE UNLESS NOTED OTHERWISE.
S10. ALL RESIDENTIAL STEEL FRAMING TO COMPLY WITH AS 3623 DOMESTIC METAL FRAMING.

INSULATED CONCRETE FORM NOTES. (where applicable)

- I1. CONCRETE FILL TO COMPLY WITH AS3600 "CONCRETE STRUCTURES".
I2. CONCRETE MINIMUM STRENGTH AT 28 DAYS TO BE 32MPa.
I3. MAXIMUM AGGREGATE SIZE 8mm.
I4. SLUMP 100mm.
I5. REINFORCEMENT TO COMPLY WITH AS3700 "MASONRY STRUCTURES".
I6. FILL CORES GENERALLY IN ACCORDANCE WITH AS3700 - SAA MASONRY CODE. ENSURE THAT ALL Voids ARE FILLED WITHOUT SEPARATION BY NATURAL CROSS FLOW FROM MAX HEIGHT OF 2700mm. FILL RATE IS 900mm HIGH PER HOUR.
I7. USE OF A VIBRATOR MAY CAUSE A BURST AND IS NOT RECOMMENDED.
I8. NO SLAB REBATE IS REQUIRED.
I9. NO EXPANSION JOINTS ARE REQUIRED.
I10. ERECT AND FILL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
I11. PLACE ALL VERTICAL N12 BARS CENTRALLY (MIN 35mm COVER).
I12. N12 BAR PLATE HEIGHT WITH N12 STARTER BAR x 750 LONG DRILLED AND EPOXY GROUT MIN 150mm INTO SLAB AT WALL CORNERS, WALL ENDS, CONNECTING WALLS, UNDER BEAMS, EITHER SIDE OF ALL OPENINGS, A MIN OF EVERY 5 mts.
I13. N12 HORIZONTAL BAR ABOVE & BELOW ALL OPENINGS TIED TO VERTICAL N12 BARS.
I14. N12 HORIZONTAL BAR ABOVE THE BRIDGE IN THE TOP COURSE AROUND THE ENTIRE BUILDING MIN LAP 375mm.
I15. CUT BLOCKS WHERE REQUIRED TO A MIN OF 2 CELLS WIDE.

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A02.2	SITE PLAN
A03	FLOOR PLAN
A04	ELEVATIONS



EXCEPTIONAL
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Darryl Crofting
E - exceptional_ade@yahoo.com.au
M - 0417 945 036
F - 08 9467 9123
www.exceptionaldesign.biz

CLIENT
CATHY BUSH
64 CALADENIA ROAD
WANERIE WA 6503

PROJECT
PROPOSED DOG KENNELS
64 CALADENIA ROAD
WANERIE WA 6503

DATE 31/03/2016
SHEET A01

COVER

NOISE MANAGEMENT PLAN

ENRICHMENT:	AS BELOW:
1) CATHY BUSH HOME FULL TIME	I AM HOME 24/7 WHERE THEY ARE MANAGED, CONTROLLED, WELL LOOKED AFTER, SUPERVISED AND KEPT. I AM MARRIED WITH TWO TEENAGE SONS 13 AND 15 WHO LOVE AND ARE PASSIONATE ABOUT ANIMALS AS MUCH AS MYSELF AND MY HUSBAND ARE.
2) EXERCISE	THE DOGS WILL BE AND ARE EXERCISED DAILY WITH EITHER MYSELF, HUSBAND AND OR OUR CHILDREN. THERE ARE NUMEROUS LARGE EXERCISE AREAS AROUND OUR 25 ACRE FARM. I MYSELF RUN AND WALK DAILY AROUND OUR RURAL PROPERTY WHERE THE DOGS JOIN ME. WE PLAY BALL 2-3 TIMES A DAY, FETCH, PLAY HIDE N SEEK AND TUG O WAR.
3) MARROW BONES AND DEER ANTLER HORNS	THEY EACH CHEW ON MARROW BONES A FEW TIMES A WEEK WHICH PROVIDES THEM WITH PHYSICAL AND MENTAL STIMULATION. THESE ARE PURCHASED FROM THE MEAT BUTCHER ON GINGIN BROOK ROAD FROM JASON AND TRACEY. DEER ANTLER HORNS ARE GREAT FOR A LONG LASTING YUMMY CHEW.
4) PLAY AREAS	THE DOGS PLAY AND SOCIALISE WITH EACH OTHER DAILY. THEY ALONG WITH MYSELF KEEP EACH OTHER COMPANY. WE HAVE BUILT THEM AN AGILITY COURSE WHICH WE TRAIN AND RUN THE DOGS THROUGH DAILY. THE AGILITY COURSE CONSISTS OF BRIDGES, JUMPS, OVER AND UNDER AND IN AND OUT OF POLES. IN THE PLAY AREAS THERE ARE BALLS, TOYS, TYRES AND ROPE ATTACHED TO TREES FOR THEM TO PLAY AND TUG O WAR FROM.
5) TRAINING BARK COLLARS	HIGH QUALITY GARMIN TRAINING BARK COLLARS ARE USED IF NECESSARY AND ARE ON HAND IF REQUIRED.
6) TOYS	THEY HAVE CHEWABLE KONG TOYS, BASKETBALLS, FOOTBALLS AND SOCCER BALLS TO PLAY WITH, CHEW AND FETCH. THEY ALSO HAVE SQUEAKY AND CHEWY TOYS.
7) ALL DAY INTERACTION	I HAVE ACCESS TO ALL DAY INTERACTION WITH MY DOGS. THEY GET TO PLAY WITH ME, RUN AND WALK WITH ME, PATS RUBS AND CUDDLES FROM ME AND ALL MY FAMILY ALL THROUGHOUT THE DAY. THEY GET SO MUCH LOVE AND ATTENTION.
8) DOG SWIMMING POOLS AND WATER TROUGHS	WE HAVE NUMEROUS OF THESE AROUND OUR RURAL PROPERTY. THEY PLAY IN THEM, JUMP IN AND OUT OF THEM AND LAY IN THEM
9) I TRAIN THEM TO BE "QUIET"	THE AUSTRALIAN CATTLE DOG IS VERY SMART, LOYAL AND INTELLIGENT. THEY LEARN EXTREMELY QUICKLY. I AM A CERTIFIED DOG TRAINER AND TRAIN THEM TO BE "QUIET" WHEN NECESSARY WITH POSITIVE REINFORCEMENT USING TREATS, LOVE, RUBS, PATS, CUDDLES AND ATTENTION. ALL MY DOGS ARE OBEDIENCE AND BEHAVIOUR TRAINED BY MYSELF AND FAMILY FROM BIRTH AS PUPPIES.
10) DOGS PUT AWAY IN DOG PENS EVERY LATE AFTERNOON	WE HAVE DOG PENS AND WILL BE IN THE PROCESS SOON OF BUILDING APPROVED DOG KENNELS WHERE THEY ARE COMFORTABLE, HAPPY AND CONFINED DURING THE NIGHT.

NOISE MANAGEMENT PLAN

11) HORSES, CHICKEN AND
SHEEP TRAINING

ALL OUR DOGS ARE A WORKING DOG BREED AND ARE TRAINED
TO BE WORKING DOGS AND CARE FOR OUR STOCK AND ROUND
THEM UP WHEN REQUIRED.

4/3/2016

Waste plan | Evernote Web

Waste plan

Waste Plan

- Dog kennels hosed, scrubbed and disinfected twice daily.
- Dog faeces will be picked up twice daily, more if needed, with poop scoop and disposed of in a rubbish bag and disposed of in the rubbish bin.
- Dogs fed twice a day, morning and afternoon. Any food waste will be disposed off in a rubbish bag and placed in a rubbish bin.
- Rubbish bins to be emptied when full and disposed off at Gingin rubbish tip weekly or as often as needed and required.

Thank you

Nathy Bush

Acdacres

11.4. OPERATIONS

11.4.1 APPLICATION OF COMMON SEAL TO AN AGREEMENT TO REGULATE VEHICLE MOVEMENTS - LOT 251 MOOLIABEENEE ROAD, MOONDAH

LOCATION: LOT 251 MOOLIABEENEE ROAD, MOONDAH
APPLICANT: MOONDAH SPRINGS PTY LTD
FILE: BLD/6620
REPORTING OFFICER: ALLISTER BUTCHER – EXECUTIVE MANAGER
OPERATIONS - CONSTRUCTION
REPORT DATE: 15 AUGUST 2017
REFER: 21 JULY 2015 ITEM 11.3.6

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider approving the application of the Common Seal to an Agreement to Regulate Vehicle Movements on Lot 251 Mooliabeenee Road, Moondah between the Shire of Gingin and Moondah Springs Pty Ltd.

BACKGROUND

Council approved a planning application at its meeting on 21 July 2015 for a water carting facility with the following conditions:

1. *The land use and development shall be undertaken in accordance with the approved and stamped plans unless otherwise conditioned in this Approval.*
2. *This Approval is for the land use of water carting only.*
3. *Vehicle movements shall be restricted to a maximum of ten per day (10 in, 10 out). Once this threshold is reached, access to Mooliabeenee Road will be required to be reviewed and the new Mooliabeenee Road access point from Lot 251 will be required to be installed to the east of Petersen Rise at a location approved by the Executive Manager Operations.*
4. *Prior to the commencement of land use, the intersection of Petersen Rise and Mooliabeenee Road shall be upgraded to the satisfaction of the Executive Manager Operations with an appropriate level of contribution to be negotiated between the applicant and the Chief Executive Officer.*
5. *Prior to water cartage commencing from the site, "Truck Entering" signs shall be required to be installed on Mooliabeenee Road on each side of Petersen Rise to the satisfaction of the Executive Manager Operations, at the applicant's cost.*
6. *Water cartage tankers shall utilise Mooliabeenee Road and Honeycomb Road to Brand Highway, excluding Cockram Road.*

With respect to Condition 3 of the planning application a Deed of Agreement has now been prepared to recognise the restriction on vehicle movements imposed by Council.

Conditions 1, 2, 4, 5 and 6 of the Planning Consent have been met and the signing and affixing of the seal will complete Condition 3.

A site plan is attached as **Appendix 1**.

A copy of the Agreement to Regulate Vehicle Movements is attached as **Appendix 2**.

COMMENT

The Deed of Agreement must now be executed by the Shire which requires the application of the Common Seal.

Section 9.49A of the *Local Government Act 1995* specifies that documents are duly executed by a local government if:

1. The Common Seal of the local government is affixed, as authorised by Council, in the presence of the President and the Chief Executive Officer or a senior employee authorised by the Chief Executive Officer; or
2. The local government has, by resolution, authorised the Chief Executive Officer or another employee or agent of the local government to sign documents on behalf of the local government, either generally or subject to conditions or restrictions as specified in the authorisation.

In this instance, no previous authorisation has been granted to the Chief Executive Officer with respect to the application of the Common Seal and therefore a Council resolution is required.

STATUTORY ENVIRONMENT

Local Government Act 1995

Part 9 – Miscellaneous provisions

Division 3 – Documents

Section 9.49A – Execution of documents

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015-2025

Focus Area	<i>Built Environment</i>
Objective	<i>3 To effectively manage growth and provide for the community</i>
Outcome	<i>3.1 Meet transport infrastructure and service needs</i>
Strategy	<i>N/A</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

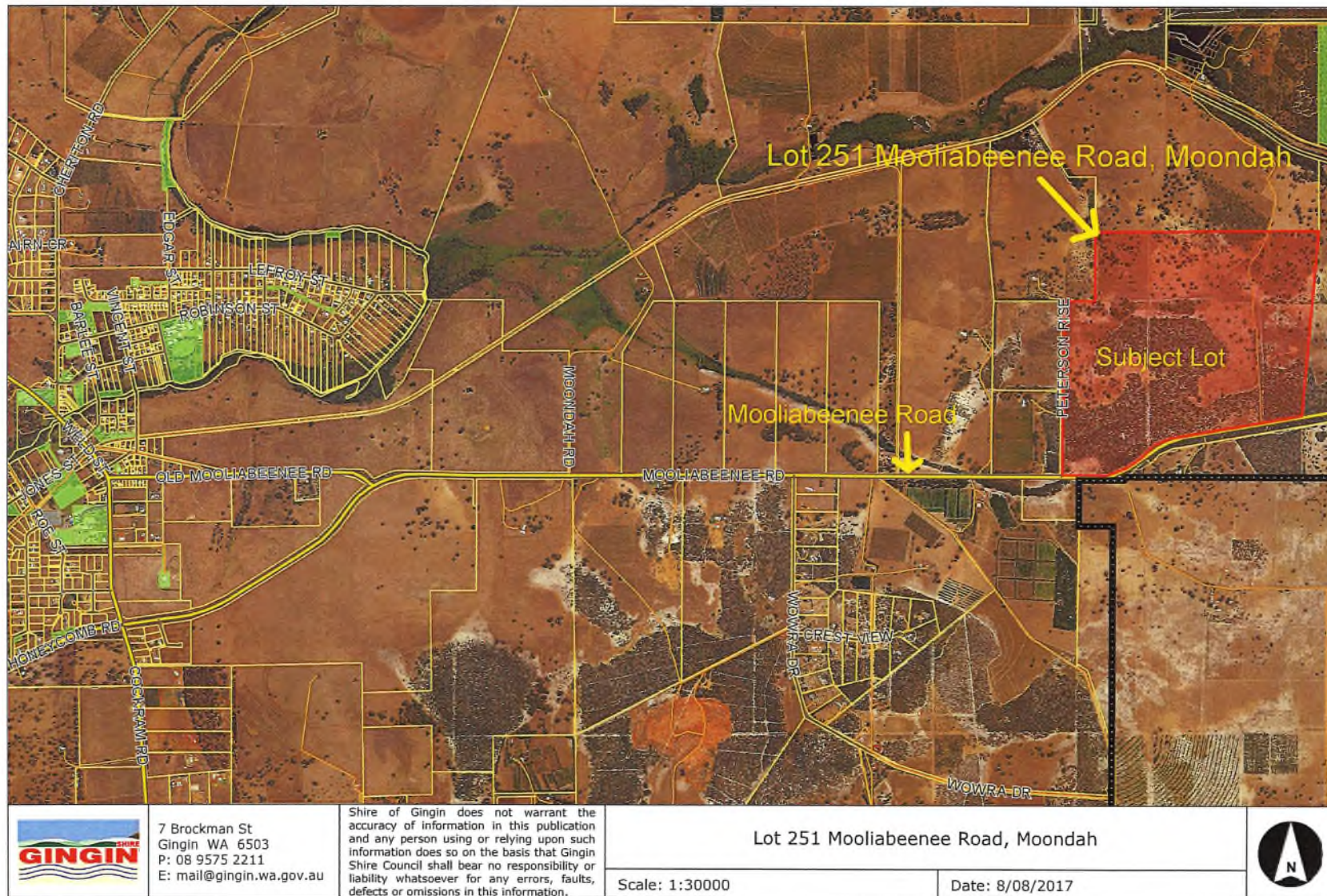
It is recommended that Council authorise the Shire President and Chief Executive Officer to execute the Agreement to Regulate Vehicle Movements on Lot 251 Mooliabeenee Road, Moondah between the Shire of Gingin and Moondah Springs Pty Ltd, shown in Appendix 2, including the application of the Common Seal.

RESOLUTION

Moved Councillor Collard, seconded Councillor Fewster that Council authorise the Shire President and Chief Executive Officer to execute the Agreement to Regulate Vehicle Movements on Lot 251 Mooliabeenee Road, Moondah between the Shire of Gingin and Moondah Springs Pty Ltd, shown in Appendix 2, including the application of the Common Seal.

CARRIED UNANIMOUSLY

APPENDIX 1



APPENDIX 2

Agreement to Regulate Vehicle Movements: Lot 251 Mooliabeenee Road, Moondah

Shire of Gingin

Moondah Springs Pty Ltd



McLEODS

Barristers & Solicitors

Stirling Law Chambers | 220-222 Stirling Highway | CLAREMONT WA 6010

Tel: (08) 9383 3133 | Fax: (08) 9383 4935

Email: mcleods@mcleods.com.au

Ref: FG:JL:GING:37913

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Details

Parties

Shire of Gingin

of 7 Brockman Street, Gingin, Western Australia
(Shire)

Moondah Springs Pty Ltd (ACN 602 549 691)

of 27 Aruma Way, City Beach, Western Australia
(Owner)

Background

- A The Owner is registered as the proprietor in fee simple in land being Lot 251 on Deposited Plan 26956 and being the whole of the land comprised in Certificate of Title Volume 2217 Folio 264 (Land).
 - B The Owner applied to the Shire for planning approval (**Application**) to commence development of a water carting facility on the Land (**Development**).
 - C On 21 July 2015 the Shire approved the Application subject to a number of conditions (**Approval**), including the following:
 - “3. *Vehicle movements shall be restricted to a maximum of ten per day (10 in, 10 out). Once this threshold is reached, access to Mooliabeenee Road will be required to be reviewed and the new Mooliabeenee Road access point from Lot 251 will be required to be installed to the east of Petersen Rise at a location approved by the Executive Manager Operations.*”
- (Condition 3)
- D The Owner enters into this Agreement with the Shire to secure compliance with Condition 3 and to satisfy the Shire's requirements.

Agreed terms

1. Defined Terms and Interpretation

1.1 Definitions

Unless otherwise required by the context or subject matter the following words have these meanings in this Agreement:

Agreement means this Agreement as supplemented, amended or varied from time to time;

Amounts Payable means any money payable by the Owner under this Agreement;

Business Day means a day that is not a Saturday, Sunday, bank holiday or public holiday in Western Australia, Australia;

CEO means the Chief Executive Officer for the time being of the Shire or any person appointed by the Chief Executive Officer to perform any of her or his functions under this Agreement;

Current Access Point means the current access point from the Land onto Peterson Rise;

Daily Vehicle Allowance means 10 vehicle movements per day, comprising of 10 vehicle movements onto and 10 vehicles movements out of the Land;

Encumbrance means a mortgage, charge, lien, pledge, easement, restrictive covenant, writ, warrant or caveat and the claim stated in the caveat;

Invoice means a tax invoice which has the meaning which it bears in section 195-1 of the *A New Tax System (Goods and Services Tax) Act 1999* (Cth);

Land is defined in Recital A;

New Access Point means the new access point from the Land to Mooliabenee Road, in a location approved by the Executive Manager Operations at the Shire;

Notice means each notice, demand, consent or authority given or made to any person under this Agreement;

Owner's Obligations means the agreements and obligations set out or implied in this Agreement or imposed by law to be performed by any person other than the Shire;

Party means the Shire or the Owner according to the context;

Works means the works specified in Item 1 of the Schedule;

Shire's Obligations means the agreements and obligations set out or implied in this Agreement, or imposed by law to be performed by the Shire; and

Schedule means the Schedule to this Agreement.

1.2 Interpretation

In this Agreement, unless the context otherwise requires:

- (a) headings, underlines and numbering do not affect the interpretation or construction of this Agreement;
- (b) words importing the singular include the plural and vice versa;
- (c) words importing a gender include any gender;
- (d) an expression importing a natural person includes any company, partnership, joint venture, association, corporation or other body corporate;
- (e) references to parts, clauses, parties, annexures, exhibits and schedules are references to parts and clauses of, and parties, annexures, exhibits and schedules to, this Agreement;
- (f) a reference to any statute, regulation, proclamation, ordinance or local law includes all statutes, regulations, proclamations, ordinances or local law varying, consolidating or replacing them, and a reference to a statute includes all regulations, proclamations, ordinances and local laws issued under that statute;
- (g) no rule of construction shall apply to the disadvantage of a party on the basis that that party was responsible for the preparation of this Agreement or any part of it; and
- (h) a reference to anything (including any real property) or any amount is a reference to the whole and each part of it;
- (i) reference to the parties includes their personal representatives, successors and lawful assigns;
- (j) where a reference to a party includes more than one person the rights and obligations of those persons shall be joint and several; and
- (k) the Schedule and Annexures (if any) form part of this Agreement.

2. Owner's Covenants

2.1 Restriction on number of vehicles

The Owner covenants and agrees with the Shire that:

- (a) it will limit the number of vehicles movements on the Land to the Daily Vehicle Allowance; and
- (b) if at any time and for any reason, an increase in the number of vehicle movements on the Land in excess of the Daily Vehicle Allowance is contemplated by the Owner, whether or not the proposed increase in vehicle movements is temporary or permanent, the Owner must advise the Shire in writing of the proposed increase before it occurs, and cause a review to be carried out, at the cost of the Owner in accordance with clause 2.2 of this Deed.

2.2 Review of Vehicle Access Point

- (1) The Owner acknowledges and agrees that in the event of a proposed increase in the number of vehicle movements in excess of the Daily Vehicle Allowance, the Shire or a traffic engineer appointed by the Shire, at the Owner's cost will conduct a review of the Current Access Point on the Land to advise on the traffic impact, alternative access points and traffic requirements to accommodate the increase.

2.3 Construction of New Access Point

The Owner covenants and agrees with the Shire that:

- (a) in the event that the number of vehicle movements on the Land exceed the Daily Vehicle Allowance, the Shire may, at any time and at its discretion, elect to carry out the Works required to construct the New Access Point to the Shire's satisfaction, as the Shire deems necessary and appropriate; and
- (b) it will be liable for the costs of relocating the Current Access Point to Mooliabenee Road and constructing the New Access Point.

3. Construction of New Access Point

3.1 Shire to Undertake and Complete Construction of New Access Point

The Shire covenants and agrees with the Owner that the Shire or a Contractor engaged by the Shire will undertake and carry out the Works, at the cost of the Owner in accordance with this Agreement.

3.2 Owner to pay costs for construction of New Access Point

The Owner hereby covenants and agrees with the Shire:

- (a) to pay to the Shire the Costs for the Works to construct the New Access Point to the Shire's satisfaction; and
- (b) that upon receipt of any invoice for Works from the Shire, it shall make payment of the amount/s payable to the Shire within 10 days.

4. Owner's Acknowledgements

The Owner acknowledges:

- (a) that payment of any amount/s payable to the Shire for the Works is required to be made within 10 days of receipt of written notice in the form of any invoice as described in **clause 3.2(b)** and the Shire may refuse to tender an executed withdrawal of caveat for registration under **clause 5.4** until the New Access Point is constructed and installed to the Shire's satisfaction and payment of all outstanding monies has been made to the Shire; and
- (b) that payment of any amount/s owing to the Shire in accordance with **clause 3.2(b)** must be by way of bank cheque and the Shire shall be entitled to refuse any cheque tendered by way of payment that is not a bank cheque.

5. Charge & Caveat Over Land

5.1 Charge and Caveat

The Owner hereby charges its interest in the Land in favour of the Shire with the performance of its obligations undertaken hereunder and with the payment of all or any monies payable or which may become payable by the Owner to the Shire and for the purpose of securing the same authorises the Shire to lodge an absolute Caveat at Landgate against the Certificate of Title to the Land or any part thereof in order to protect the rights and interests of the Shire under this Agreement.

5.2 Charging and Mortgaging of the Land

The Owner will not mortgage, charge, lease or otherwise encumber the Land without the prior written consent of the Shire, which consent the Shire will not withhold if:

- (a) the Owner is not in default of any of its obligations pursuant to this Agreement; and
- (b) in the case of a mortgagee or chargee the mortgagee or chargee provides to the Shire a specific undertaking in terms of the draft undertaking annexed hereto as **Annexure 2**.

5.3 Transfer of the Land

The Owner covenants and agrees with the Shire not to assign, transfer or otherwise dispose of the Land or any part thereof without the prior written consent of the Shire, which consent the Shire will not withhold if:

- (a) the Owner is not in default of any of its obligations under this Agreement; and
- (b) the transferee of the Land has first executed a Deed of Covenant to be prepared by the Shire's solicitor at the Owner's expense, whereby the transferee covenants to observe and perform such of the covenants, conditions and stipulations herein contained (including this covenant) as the Shire shall require, as if the transferee had been a party to this Agreement.

5.4 Withdrawal of Caveat

- (1) Subject to there being no existing or unremedied breach of any condition of this Agreement and subject to the Owner complying with **clauses 5.2 or 5.3**, the Shire will at the request of the Owner and at the Owner's cost provide to the Owner a withdrawal of any caveat lodged by the Shire pursuant to this Agreement sufficient to enable the registration of any transfer, mortgage or charge of the Land provided that the Shire is entitled to relodge its absolute caveat following the registration of such transfer, mortgage or charge.
- (2) On the construction of the New Access Point in accordance with **clause 3.1(a)** to the satisfaction of the Shire and payment of all outstanding monies owing to the Shire under this Agreement, the Shire will at the request of the Owner and at the Owner's cost provide to the Owner a withdrawal of any caveat lodged by the Shire pursuant to this Agreement and the provisions of this Deed shall then be of no further force and effect except in respect of any pre-existing unremedied breach.

6. Costs

The Owner will pay the Shire's reasonable legal costs of and incidental to the preparation, negotiation, execution and stamping of this Agreement, all duty payable hereon and the reasonable cost of preparing and lodging any caveat(s) and any withdrawal(s) or replacements thereof.

7. Outstanding Amounts

The Shire and the Owner covenant and agree that if any amount payable by the Owner to the Shire pursuant to the terms of the Agreement is unpaid for seven (7) days after becoming due, such amount shall be a liquidated debt recoverable by Shire in a court of competent jurisdiction.

8. Notices

Any communication under or in connection with this Agreement -

- (a) must be in writing;

- (b) must be addressed in the manner specified in **Item 2** of the Schedule;
- (c) must be signed by the party making the communication or on its behalf by the solicitor for, or by any attorney, director, secretary, or authorised agent or officer of, any party;
- (d) must be delivered or posted by prepaid post to the address, or sent by fax to the number, of the addressee, in accordance with **clause 8(b)** of this Agreement;
- (e) will be deemed to be given or made -
 - (i) if by personal delivery, when delivered;
 - (ii) if by leaving the Notice at an address specified in **clause 8(b)** of this Agreement, when left at that address unless the time of leaving the Notice is not on a Business Day or after 5pm on a Business Day, in which case it will be deemed to be given or made on the next following Business Day;
 - (iii) if by post, on the second Business Day following the date of posting of the Notice to an address specified in **clause 8(b)** of this Agreement, and
 - (iv) if by facsimile, when despatched by facsimile to a number specified in **clause 8(b)** of this Agreement unless the time of dispatch is not on a Business Day or after 5 pm on a Business Day, in which case it will be deemed to be given or made on the next following Business Day.

9. Severability

If any provision of this Agreement is void or unenforceable, that provision is void and unenforceable only to the extent of that voidness or unenforceability, without invalidating the remaining provisions which will remain in full force and effect.

10. Amendments

This Agreement can be modified, amended or varied only by a document in writing signed by or on behalf of each of the parties.

11. Waiver

The parties mutually covenant and agree that:

- (a) no right under this Agreement is waived or deemed to be waived except by notice in writing signed by the party waiving the right;
- (b) a waiver by one party under paragraph (a) of this clause does not prejudice its rights in respect of any subsequent breach of this Agreement by the other party; and
- (c) a party does not waive its rights under this Agreement because it grants an extension or forbearance to the other party.

12. Further Assurance

Each party must do everything reasonably necessary to give effect to this Agreement and the transactions provided for by it and use all reasonable endeavours to cause relevant third parties to do likewise.

13. Laws of Western Australia apply

This Agreement is to be construed and interpreted in accordance with the laws of the State of Western Australia and the parties agree to submit to the jurisdiction of the courts of that State and of courts competent to hear appeals from those courts.

Schedule

Item 1 Works

Any works undertaken to relocate, construct or install the New Access Point from Mooliabeenee Road, including:

- (a) removal of Current Access Point and construction and installation of verges;
- (b) removal/relocation of any vegetation, fence, structure or topsoil located on the area designated as the location for the New Access Point;
- (c) levelling, laying, compacting, sealing, sheeting and straightening of the road surface and verges to a standard consistent with Main Roads specifications for the use and traffic flow from the access point;
- (d) drainage works including the installation, relocation, repair and replacement of any drainage infrastructure;
- (e) any works undertaken to construct the New Access Point or deemed reasonably necessary by the Shire to construct the New Access Point.

Item 3 Notices

Owner: Moondah Springs Pty Ltd

Address: 27 Aruma Way
City Beach, WA 6015

Attention: Michelle Rhodes

Shire:

Address: Shire of Gingin
7 Brockman Street
Gingin, WA 6503

Fax No: (08) 9575 2121

Attention: Chief Executive Officer

Signing page

Executed on the _____ day of _____ 2015

THE COMMON SEAL of the SHIRE OF
GINGIN was hereunto affixed by authority of a
resolution of the Council in the presence of -

Signature of President

Name of President (print)

Signature of Chief Executive Officer

Name of Chief Executive Officer (print)


EXECUTED by MOONDAH SPRINGS PTY
LTD (ACN 602 549 691) pursuant to section
127 of the Corporations Act -

M. Rhodes

Signature of Director

MICHELLE RHODES

Full name of Director



Signature of Director/Secretary-
(Delete whichever designation is incorrect)

STEWART VICTOR RHODES

Full name of Director/Secretary-

Annexure 1 – Approval



24 July 2015

7 Brockman Street, Gingin, Western Australia 6503
Telephone (08) 9575 2211 Facsimile (08) 9575 2121
Email: mail@gingin.wa.gov.au
Web: www.gingin.wa.gov.au

Moondah Springs Pty Ltd
Michelle Rhodes
27 Arma Way
CITY BEACH WA 6015

Dear Madam

**APPLICATION FOR PLANNING APPROVAL – USE NOT LISTED – WATER
CARTING FACILITY ON LOT 251 MOOLIABEENEE ROAD, MOONDAH**

I refer to your Application for Planning Approval received by the Shire on 8 May 2015, for the abovementioned development.

Council considered your proposal at its Meeting on 21 July 2015, and I am pleased to advise that your Application has been approved, subject to the conditions that are outlined on the attached Schedule 9: Notice of Determination on Application for Planning Approval.

If you are aggrieved by any condition imposed in this Approval, you may apply for reconsideration with the Council within 28 days of this approval or apply for a review to the State Administrative Tribunal, pursuant to the provisions of Part 14 of the *Planning and Development Act, 2005*.

I trust this is to your satisfaction and should you have any queries, please contact the Planning Department.

Yours sincerely

A handwritten signature in blue ink, appearing to read "KT", is written over a blue horizontal line.

**KEVIN TANG
MANAGER STATUTORY PLANNING**

KT:cc
Our ref: BLD/ 6620 P1253
Enc: Schedule 9: Notice of Determination on Application for Planning Approval & Approved Plans



**SCHEDULE 9
NOTICE OF DETERMINATION ON APPLICATION FOR
PLANNING APPROVAL**

7 Brockman Street,
Gingin WA 6503
Ph (08) 9575 2211
Fax (08) 9575 2121

Name and Address of Owners:

Stewart and Michelle Rhodes – 27 Arma Way, CITY BEACH WA 6015

Name and Address of Applicant:

Moondah Springs Pty Ltd – 27 Arma Way, CITY BEACH WA 6015

Description of Land:

Lot 251 Moolabeenee Road, MOONDAH

Planning Approval for the Application dated the Eighth Day of May 2015, and the plans attached thereto, for a Use Not Listed (Water Carting Facility) on Lot 251 Moolabeenee Road, MOONDAH, is granted subject to the following conditions:

- 1. The land use and development shall be undertaken in accordance with the approved and stamped plans unless otherwise conditioned in this Approval.*
- 2. This approval is for the land use of water carting only.*
- 3. Vehicle movements shall be restricted to a maximum of ten per day (10 in, 10 out). Once this threshold is reached, access to Moolabeenee Road will be required to be reviewed and the new Moolabeenee Road access point from Lot 251 will be required to be installed to the east of Petersen Rise at a location approved by the Executive Manager Operations.*
- 4. Prior to the commencement of land use, the intersection of Petersen Rise and Moolabeenee Road shall be upgraded to the satisfaction of the Executive Manager Operations with an appropriate level of contribution to be negotiated between the applicant and the Chief Executive Officer.*
- 5. Prior to water cartage commencing from the site, "Truck Entering" signs shall be required to be installed on Moolabeenee Road on each side of Petersen*

This is not a Building Licence. A separate Application is required for a Building Licence.

Rise to the satisfaction of the Executive Manager Operations, at the applicant's cost.

6. *Water cartage tankers shall utilise Moolabeenee Road and Honeycomb Road to Brand Highway, excluding Cockram Road.*

Advice Notes

- A. Please be advised that water abstraction for the water carting facility must be in line with the conditions outlined by the groundwater licence.
- B. Clearing of Native Vegetation in Western Australia is prohibited, unless the clearing is authorised by a clearing permit obtained from the Department of Environment Regulation (DER), or is exempt in accordance with the *Environmental Protection Act 1986* or *Environmental Protection (Clearing of Native Vegetation) Regulations 2004*. Advice in regards to clearing permit requirements for the proposal should be sought from the DER.

Note 1: If the development, the subject of this Approval, is not substantially commenced within a period of 2 years, or such other period as specified in the Approval after the date of the determination, the Approval shall lapse and be of no further effect.

Note 2: Where an Approval has so lapsed, no development shall be carried out without the further consent of the Local Government having first been sought and obtained.

Note 3: If the Applicant is aggrieved by a Refusal to Approve his/her application or, where Approved, is aggrieved by any Condition imposed in that Approval, he/she may apply for a Review to the State Administrative Tribunal, pursuant to the provisions of Part 14 of the *Planning and Development Act, 2005* against such refusal or Imposition of such aggrieved Condition.

Note 4: Such application for Review must be lodged within 60 days of the determination via the form available from the State Administrative Tribunal, Level 4/12 St Georges Terrace, Perth or GPO Box U1991, Perth WA 6845 or www.sat.justice.wa.gov.au or from Council's Offices and should be accompanied by the relevant fee detailed in Schedule 18 of the State Administrative Tribunal Regulations, 2004.



KEVIN TANG
MANAGER STATUTORY PLANNING
24 July 2015

This is not a Building Licence. A separate Application is required for a Building Licence.



12. MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

13. COUNCILLORS' OFFICIAL REPORTS

13.1 RECOGNITION OF CCF EARTH AWARDS SUCCESS - NEO INFRASTRUCTURE

FILE: GOV/20-1
COUNCILLOR: JOHN ELGIN
REPORT DATE: 15 AUGUST 2017

Councillor Elgin tabled the following report for inclusion in the Minutes.

The CCF Earth Awards are Australia's longest-running and most prestigious awards for excellence in civil infrastructure.

The Earth Awards recognise excellence in all areas of project delivery including construction management, innovation and environmental and social management.

Each branch of the CCF conducts State/Territory Earth Awards, with branch winners progressing to the National Earth Awards.

State and National Earth Awards are presented in six categories, according to project value:

- *Category 1 project value up to \$1 million*
- *Category 2 \$1 million to \$5 million*
- *Category 3 \$5 million to \$10 million*
- *Category 4 \$10 million to \$30 million*
- *Category 5 \$30 million to \$75 million*
- *Category 6 more than \$75 million*

Neo Infrastructure entered the Seabird Foreshore Stabilisation Works project for the WA Earth Awards in Category 2. This year Category 2 had five entries, which was the most of all the categories.

Neo Infrastructure had some strong competition from a range of other projects including the Koombana Drive reconstruction in Bunbury, Guildford Railway Station, Busselton Foreshore upgrade and Sunset Heritage Precinct Upgrade, and on Friday night they won it.

For Neo Infrastructure (and all the Seabird project stakeholders), this award recognises not only the excellence of the project components and constructed works but also the value of stakeholder engagement in providing practical and positive outcomes.

The Seabird project is now an entry in the national awards, which will be presented at the CCF National Conference at the National Press Club in Canberra in November 2017.

A huge pat on the back to all of you.

Councillor Elgin requested that a letter of congratulations be sent to Neo Infrastructure on behalf of the Shire of Gingin.

13.2 LOWER COASTAL RURAL NEIGHBOURHOOD WATCH MEETING - 9 AUGUST 2017

FILE: GOV/20-1
COUNCILLOR: IAN COLLARD
REPORT DATE: 15 AUGUST 2017

Councillor Collard advised that he attended the Lower Coastal Rural Neighbourhood Watch meeting in Woodridge on Wednesday, 9 August 2017.

Representatives from Main Roads WA gave a presentation on the current status of the Moore River Bridge works and advised that improvements have been made to the current wait times at the lights. It is anticipated that the bridge works will be completed, and the bridge fully opened, by 10 September 2017.

An officer from the Lancelin Police Station provided some interesting statistics on infringements issued to drives on Indian Ocean Drive. Currently, some 80% of infringements are issued to, and 60% of accidents caused by, international visitors.

Both presentations were very interesting, and were well received by those in attendance.

13.3 WA LOCAL GOVERNMENT CONVENTION - 2-4 AUGUST 2017

FILE: GOV/20-1
COUNCILLOR: JAN COURT
REPORT DATE: 15 AUGUST 2017

I attended the WA Local Government Convention from 2 to 4 August 2017 together with Councillors Ammon and Aspinall.

A total of 600 delegates and 250 local government officers attended the Convention this year, with 160 exhibitors and speakers across both plenary and topic-specific concurrent sessions.

The opening Keynote Speaker was Dr Ernesto Sirolli, who spoke about engaging local communities and empowering individuals.

Former Adelaide Mayor Stephen Yarwood spoke about innovation in urban development and encouraged local government planners to think outside the square.

The Panel session with Verity James as moderator, together with Liam Bartlett, Paul Murray and Jessica Strutt was a very interesting discussion dissecting the latest political events, of which there were many.

Matthew Pavlich's breakfast presentation focussed on success and failures that made his successful career.

14. NEW BUSINESS OF AN URGENT NATURE

RESOLUTION

Moved Councillor Elgin, seconded Councillor Aspinall that Council accept Item 14.1 Proposed Amended Subdivision Design – Lot 81 Cheriton Road, Ginginup for consideration as New Business of an Urgent Nature, on the grounds that a response in relation to the amended subdivision plan is required by the WAPC prior to the date of the next Ordinary meeting of Council.

CARRIED UNANIMOUSLY

14.1 PROPOSED AMENDED SUBDIVISION DESIGN - LOT 81 CHERITON ROAD, GINGINUP

FILE:	LND/106	
APPLICANT:	WEST AUSTRALIAN PLANNING COMMISSION	
LOCATION:	LOT 81 CHERITON ROAD, GINGINUP	
OWNER:	CLAYMONT WESTCAPITAL PTY LTD	
ZONING:	RURAL RESIDENTIAL	
WAPC NO:	WAPC 153068	
AUTHOR:	KYLIE BACON – MANAGER STATUTORY PLANNING	
REPORTING OFFICER:	LISA EDWARDS – EXECUTIVE MANAGER PLANNING AND DEVELOPMENT	
REPORT DATE:	15 AUGUST 2017	
REFER:	18 JUNE 2013	ITEM 11.3.3

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider granting delegated authority to the Chief Executive Officer to assess and comment on an amended subdivision design for Lot 81 Cheriton Road, Ginginup.

BACKGROUND

The Shire is in receipt of a subdivision referral dated 10 August 2017 from the West Australian Planning Commission (WAPC) in respect of a proposed amended Plan of Subdivision for Lot 81 Cheriton Road, Ginginup.

At its meeting on 18 June 2013, Council considered a subdivision design for Lot 81 Cheriton Road and resolved, amongst other things, to require the applicant to prepare a Local Development Plan (previously known as a Detailed Area Plan). Council also resolved to authorise the Chief Executive Officer to approve the Local Development Plan subject to it being prepared to his satisfaction, and to submit the approved Plan to the WAPC. In accordance with Council's resolution, the Plan was subsequently approved and submitted to the WAPC, together with comment on the subdivision proposal which requested that any approval include the following conditions:

1. *Prior to commencement of subdivisional works, a detailed plan identifying building envelope(s) on all lots on the approved plan of subdivision is to be prepared in consultation with the local government to ensure the appropriate siting of development, to the satisfaction of the Western Australian Planning Commission. (Local Government)*
2. *Engineering drawings and specifications are to be submitted, approved, and subdivisional works undertaken in accordance with the approved plan of subdivision, engineering drawings and specifications, to ensure that those lots not fronting an existing road are provided with frontage to a constructed road(s) connected by a constructed road(s) to the local road system and such road(s) are constructed and drained at the landowner/applicant's cost.*
3. *Engineering drawings and specifications are to be submitted, approved, and works undertaken in accordance with the approved engineering drawings, specifications and approved plan of subdivision, for grading and/or stabilisation of the site to ensure that:*
 - a) *lots can accommodate their intended use; (Local Government)*
4. *Engineering drawings and specifications are to be submitted and approved, and works undertaken in accordance with the approved engineering drawings and specifications and approved plan of subdivision, for the filling and/or draining of the land, including ensuring that stormwater is contained on-site, or appropriately treated and connected to the local drainage system. Engineering drawings and specifications are to be in accordance with an approved Urban Water Management Plan (UWMP) for the site, or where no UWMP exists, to the satisfaction of the Western Australian Planning Commission. (Local Government)*
5. *Prior to the commencement of subdivisional works, the landowner/applicant is to provide a pre-works geotechnical report certifying that the land is physically capable of development or advising how the land is to be remediated and compacted to ensure it is capable of development;*
6. *The landowner/applicant is to undertake subdivisional works and provide a post geotechnical report certifying that all subdivisional works have been carried out in accordance with the recommendations from the pre-works geotechnical report. (Local Government)*

7. *No earthworks shall commence until the local government has approved detailed engineering plans and specifications of the works required to complete the subdivision.*
8. *Prior to the commencement of subdivisional works, an urban water management plan is to be prepared and approved, in consultation with the Department of Water, (Local Government)*
9. *Street corners within the subdivision are to be truncated to the standard truncation of 8.5 metres.*
10. *Arrangements being made with the local government for the upgrading, construction and drainage of Cheriton Road.*
11. *The landowner/applicant is to prepare, have approved by the Department of Fire and Emergency Services], and implement a detailed plan demonstrating the location and capacity of fire emergency infrastructure to the satisfaction of the Western Australian Planning Commission.*
12. *All roads, including pedestrian access way(s) within the subdivision being shown on the diagram or plan of survey (deposited plan) as such and vested in the Crown under Section 152 of the Planning and Development Act 2005, such land to be ceded free of cost and without any payment of compensation by the Crown.*
13. *Drainage basins/swales and Water tanks for fire-fighting purposes as may be required by the local government for drainage infrastructure being shown on the diagram or plan of survey (deposited plan) as such, granted free of cost, and vested in that local government under Sections 152 and 167 of the Planning and Development Act 2005.*
14. *Street lighting being provided at intersections along Cheriton Road and the intersections of all internal subdivisional roads.*
15. *Subdivision being accordance with the approved Local Development Plan dated 22 September 2016 to the satisfaction of the Shire of Gingin.*
16. *A notification, pursuant to section 70A of the Transfer of Land Act 1893 is to be placed on the certificate(s) of title of the proposed lot(s). Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:*

Lots are subject to provisions of a Local Development Plan.

17. *A notification, pursuant to section 70A of the Transfer of Land Act 1893 is to be placed on the certificate(s) of title of the proposed lot(s) on the interface between the Rural Living zoned land and General Rural zoned land advising of the existence of a hazard or other factor. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:*

“This lot is located adjacent to the General Rural zoned land and the landowner may experience lower level of amenity that is imposed by potential agricultural activities”.

18. *A bushfire fire management plan being prepared, approved and relevant provisions implemented during subdivisional works, in accordance with the WAPC's Guidelines for Planning in Bushfire Prone Areas, (December 2015) to the specifications of the local government and/or the West Australian Planning Commission.*
19. *A notification, pursuant to section 70A of the Transfer of Land Act 1893, is to be placed on the certificate(s) of title of the proposed lot(s) with a Bushfire Attack Level (BAL) rating of 12.5 or above, advising of the existence of a hazard or other factor. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:*

'This land is within a bushfire prone area as designated by an Order made by the Fire and Emergency Services Commissioner and is subject to a Bushfire Management Plan' (Western Australian Planning Commission).

20. *The landowner/applicant installing suitable rural fencing of good standard to the satisfaction of the Shire of Gingin. (Local Government).*
21. *A notification, pursuant to section 70A of the Transfer of Land Act 1893 is to be placed on the certificate(s) of title of the proposed 26 lot(s) located within the bore abstraction zone. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:*

'Lot is subject to connection to a waste water treatment plant which is serviced by a Licenced Service Provider'.

22. *A notification, pursuant to section 70A of the Transfer of Land Act 1893 is to be placed on the certificate(s) of title of the proposed 288 lot(s) located outside the bore abstraction zone. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:*

Lot is subject for wastewater to be connected to an approved Aerobic Treatment Unit (ATU's).

Upon further consideration, the WAPC deferred the subdivision in order for the Applicant to address the following issues:

- Further investigation regarding the extent of Banksia Woodland located within the site.
- Further investigation regarding compliance with the bushfire protection criteria as per the Guidelines for Planning in Bushfire Prone Areas.
- Further investigation regarding the potential re-design of the proposal, related to the scale and layout of the proposed lots.

The amended subdivision design results in 313 lots and a modified internal road layout.

A location plan is provided as **Appendix 1**. The Local Development Plan previously approved by the Chief Executive Officer is attached as **Appendix 2** and the amended subdivision plan provided by the WAPC is attached as **Appendix 3**.

COMMENT

Community Consultation

No advertising is required to be undertaken.

Proposed Subdivision

The Applicant has subsequently amended the subdivision plan to address the subject lots planning in bushfire issues. While the overall integrity of the subdivision has not been affected, the subdivision design is different to the endorsed LDP. The most significant amendment to the design of the subdivision is the creation of three balance lots of Banksia Woodlands (these are to remain in freehold ownership and will not be the responsibility of the Shire to maintain).

The current conditions of subdivision will most likely remain unchanged. However, it is possible that some conditions (particularly in relation to the Bushfire Management Plan or the internal road access) may need to be amended, or new conditions added.

Conclusion

The WAPC requires a response from the Shire of Gingin in relation to the amended subdivision plan and Detailed Area Plan prior to 15 September 2017. Council's Delegation 7.1 Town Planning Powers currently only empowers the Chief Executive Officer to deal with subdivisions of 50 lots or less, with larger subdivisions having to be referred to Council.

In this instance, Administration has not yet had an opportunity to fully review the amended subdivision plan and determine whether any new or amended conditions of subdivision are required. In order to comply with the WAPC's deadline, it is therefore recommended that Council grant delegated authority to the Chief Executive Officer, under Regulation 82 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, to:

1. Review the amended subdivision plan;
2. Modify the conditions of subdivision as required; and
3. Submit same to the WAPC for consideration.

In the event that the amended subdivision plan is approved by the WAPC, it will then be necessary for the previously endorsed Local Development Plan to also be amended by the proponent to reflect the approved plan of subdivision, and this requirement will be included in the conditions of subdivision. It is therefore also recommended that Council grant delegated authority to the Chief Executive Officer to approve the amended Local Development Plan, subject to the Plan being amended to the Chief Executive Officer's satisfaction.

This delegation will avoid the need to submit the matter back to Council to endorse what is, in reality, a formality of the planning process once the subdivision plan has been approved by the WAPC.

STATUTORY ENVIRONMENT

Local Planning Scheme No. 9

Part 3 – Zones and the Use of Land

3.2 Objectives of the Zones

Part 4 – General Development Requirements

4.7 General Development Standards

4.8.6 – General Rural Zones

WAPC Development Control Policy 3.4 Subdivision of Rural Land

Planning and Development (Local Planning Schemes) Regulations 2015

Schedule 2- Deemed provisions for local planning schemes

Clause 82 – Delegations by local government

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2015 – 2025

Focus Area	<i>Natural Environment</i>
Objective	<i>2. To support a healthy natural environment</i>

VOTING REQUIREMENTS – ABSOLUTE MAJORITY

RECOMMENDATION

It is recommended that Council:

1. Delegate authority to the Chief Executive Officer to review the amended subdivision plan dated 3 August 2017 for Lot 81 Cheriton Road, Ginginup and provide conditions of subdivision;
2. Delegate authority to the Chief Executive Officer to approve an amended Local Development Plan prepared in accordance with the approved subdivision plan, subject to the document being prepared to the satisfaction of the Chief Executive Officer; and
2. Advise the Western Australian Planning Commission accordingly.

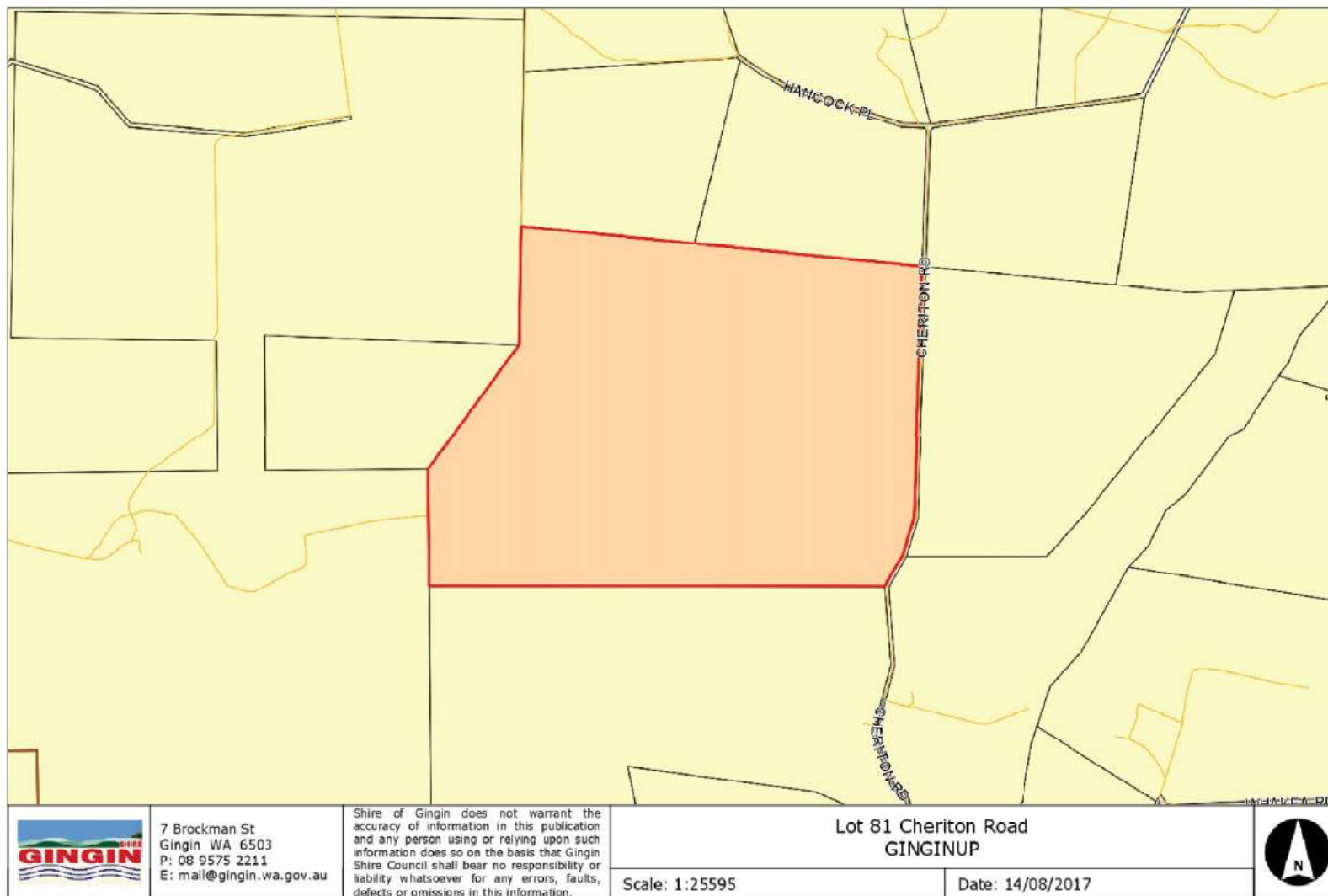
RESOLUTION

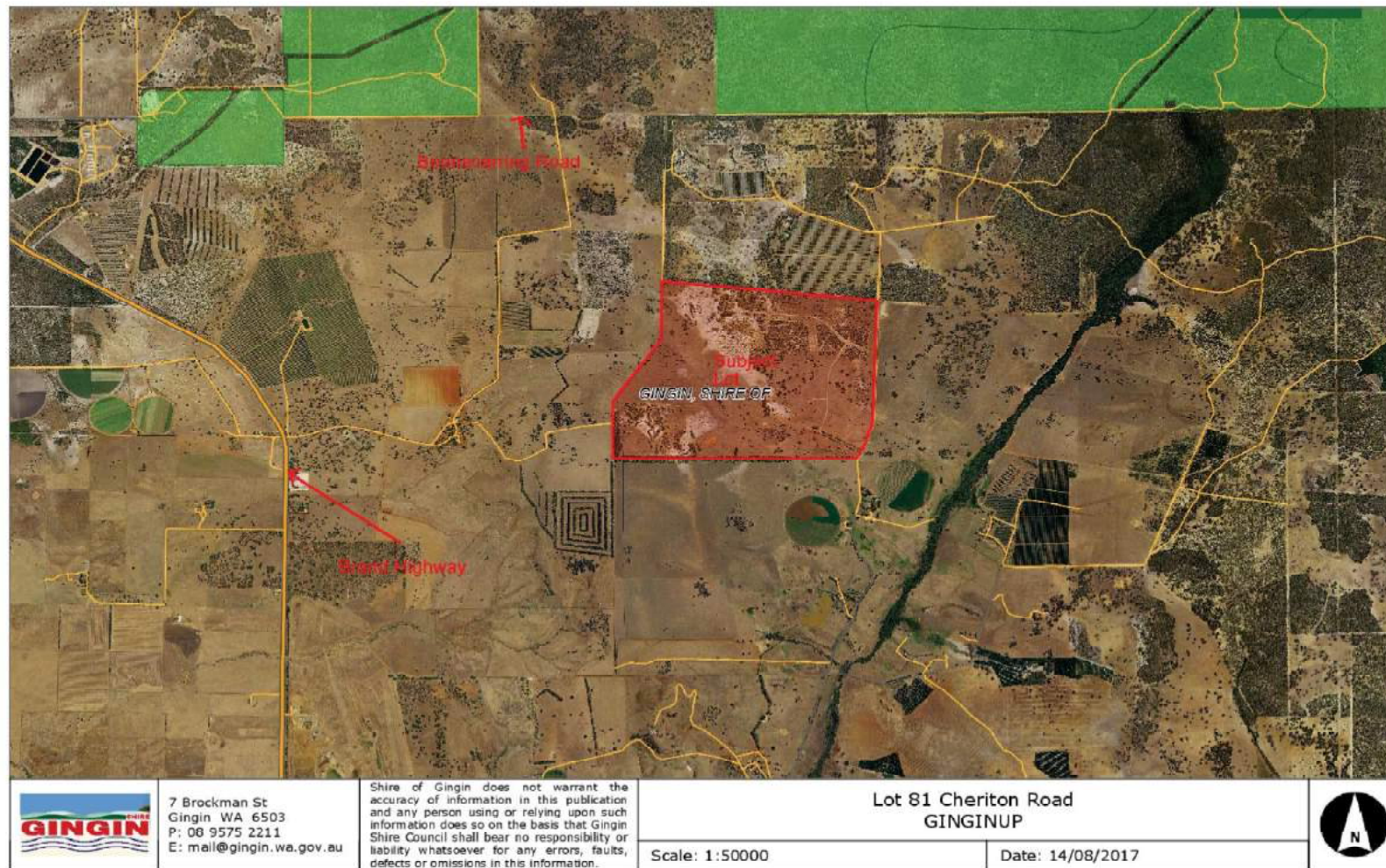
Moved Councillor Aspinall, seconded Councillor Elgin that Council:

- 1. Delegate authority to the Chief Executive Officer to review the amended subdivision plan dated 3 August 2017 for Lot 81 Cheriton Road, Ginginup and provide conditions of subdivision;**
- 2. Delegate authority to the Chief Executive Officer to approve an amended Local Development Plan prepared in accordance with the approved subdivision plan, subject to the document being prepared to the satisfaction of the Chief Executive Officer; and**
- 2. Advise the Western Australian Planning Commission accordingly.**

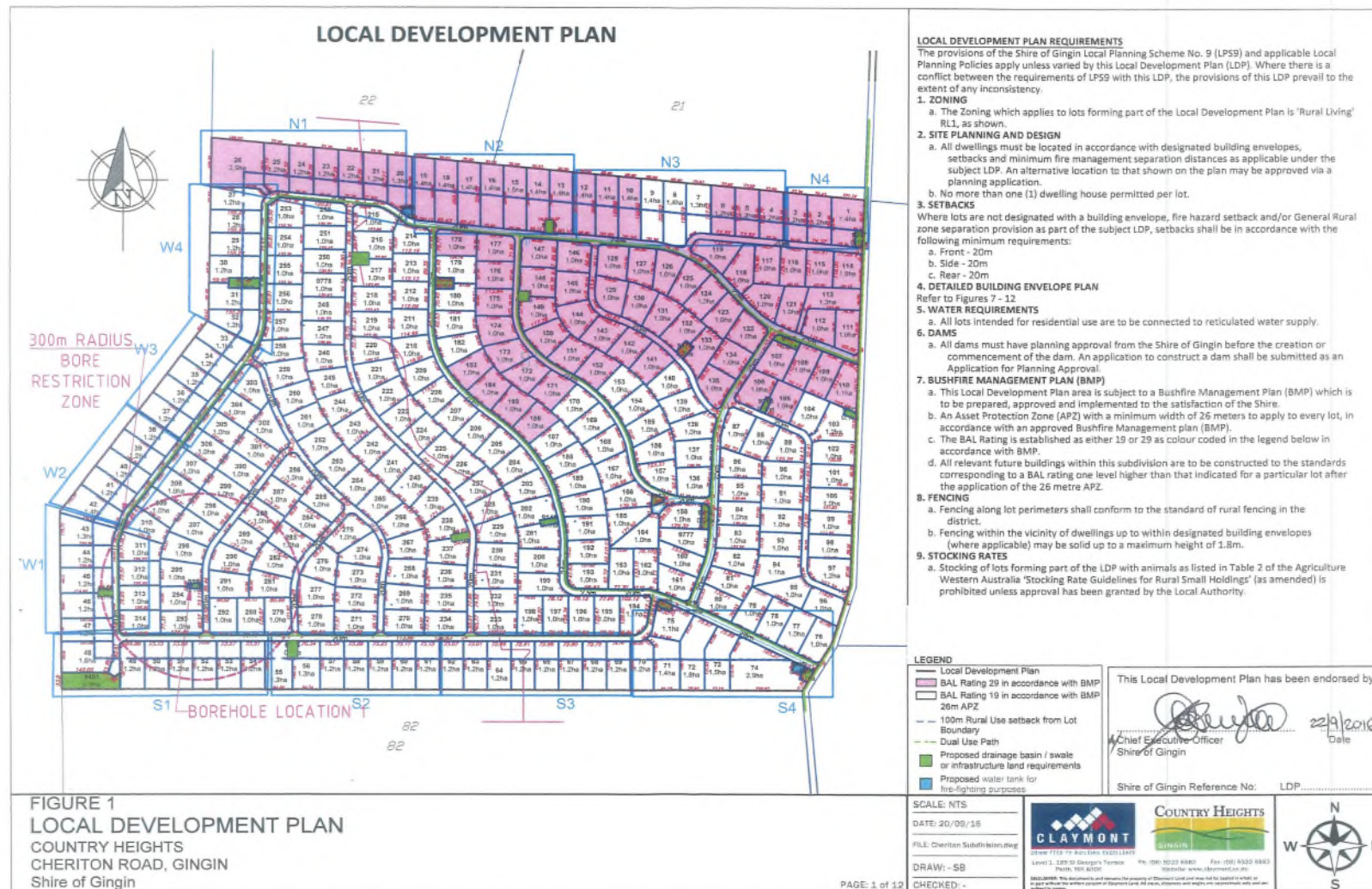
**CARRIED BY ABSOLUTE MAJORITY
8-0**

APPENDIX 1





APPENDIX 2



APPENDIX 3



15. MATTERS FOR WHICH MEETING IS TO BE CLOSED TO THE PUBLIC

Nil

16. CLOSURE

There being no further business, the Shire President declared the meeting closed at 4.10pm.

The next Ordinary meeting of Council will be held in Council Chambers at the Shire of Gingin Administration Centre, 7 Brockman Street, Gingin on Tuesday, 19 September 2017 commencing at 3.00pm.

Councillor D W Roe
Shire President
19 September 2017