



MINUTES

ORDINARY MEETING

OF COUNCIL

17 APRIL 2018



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ORDINARY MEETING OF
COUNCIL
HELD ON 17 APRIL 2018**

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SHIRE OF GINGIN

MINUTES OF THE ORDINARY MEETING OF THE SHIRE OF GINGIN HELD IN THE COUNCIL CHAMBER ON TUESDAY, 17 APRIL 2018 AT 3.00 PM

DISCLAIMER

Members of the Public are advised that decisions arising from this Council Meeting can be subject to alteration.

Applicants and other interested parties should refrain from taking any action until such time as written advice is received confirming Council's decision with respect to any particular issue.

ORDER OF BUSINESS

1. DECLARATION OF OPENING

The Shire President declared the meeting open at 3.11pm and welcomed those in attendance.

2. RECORD OF ATTENDANCE, APOLOGIES AND LEAVE OF ABSENCE

2.1 ATTENDANCE

Councillors – I B Collard (Shire President), J W Elgin (Deputy Shire President), J Court, C W Fewster, F Johnson, J C Lobb, J E Morton and F J Peczka.

Staff – A Butcher (Acting Chief Executive Officer), Z Edwards (Acting Executive Manager Corporate and Community Services), G Gow (Acting Executive Manager Operations-Construction), R Rasool (Executive Manager Assets), K Bacon (Acting Executive Manager Planning and Development), J Bayliss (Acting Manager Statutory Planning) and L Burt (Governance Officer).

Gallery – There were 11 members of the public present in the Gallery.

2.2 APOLOGIES

Councillor J K Rule

2.3 LEAVE OF ABSENCE

Nil

3. DISCLOSURES OF INTEREST

Nil

4. PUBLIC QUESTION TIME

4.1 RESPONSES TO PUBLIC QUESTIONS PREVIOUSLY TAKEN ON NOTICE

4.1.1 Ordinary Meeting 20 March 2018 – Item 4.2.5 Mr B Henderson – Desert Road, Lancelin Guilderton Parking Meters and Lancelin Bin Covers

Q2: The proposal for these meters was to help recoup some of the cost of maintaining the area. As the holiday season is nearly over, you have missed the boat for the revenue stream. What has been the cost of this project to date (including cost of meters, staff time including planning, printing and sending permits to all Gingin ratepayers)?

A2: The cost of the parking meter project to date is as follows:

Purchase of parking meters:	\$19,197.49
Installation and onsite training:	3,640.00
Printing of parking permits:	933.68
Total:	\$23,771.17

Permits were issued to ratepayers with the 2017/18 rate notices, so no additional expenditure was incurred with respect to postage.

4.1.2 Ordinary Meeting 20 March 2018 – Item 4.2.6 Mr B Henderson – Desert Road, Lancelin Bin Covers for Recycling Bins in Lancelin CBD

Q1: This project has been on the drawing board for over 12 months. I understand that a number of bin covers have been purchased, however as there was no due diligence done the covers are not large enough to cater for the existing bins. These covers are at present stored under a tarp at the Lancelin depot. Was there been any discussion with Avon Waste in relation to this matter and, if not, why not?

A1: The Shire purchased 18 120 litre bins and 18 enclosures to be placed in proximity to the Lancelin Plaza. These bins and enclosures were delivered to the Lancelin Depot, where they remain under cover. The intent was for shop owners to keep their red and yellow top bins within their premises to avoid use by the public, with the public then having access to the 120 litre bins instead. The cost of these bins was invoiced in June 2017.

The 18 bins have proved to be not fit for purpose because of their lower volume and the fact that the enclosures need to be locked. Avon Waste would therefore need to unlock each enclosure and remove the bin before it could be emptied.

Discussions with Avon Waste have suggested a solution by replacing the existing 240 litre recycling bins in the Lancelin Plaza area with 240 litre general waste bins. This means that the bins will be emptied weekly, there will be less contaminated recycling, and the smell of waste should reduce.

The Shire will look to utilise the 18 120 litre bins and enclosures elsewhere, or seek a refund of the purchase price.

Q2: *What has been the cost to date?*

A2: The total invoiced amount for the 18 120 litre bins and enclosures was \$10,532.00.

Q3: *When can we expect this project to be completed?*

A3: Timing will be dependent on the outcome of discussions with relevant landowners and Avon Waste. If the proposed solution outlined above is accepted by all parties, then the Shire will commence discussions with Avon Waste for the replacement of the recycling bins with general waste bins.

Q4: *Recycling bins in the CBD area are a problem as people use them for everyday rubbish, however they are only collected fortnightly and this is creating an odour problem. Will Council consider making arrangements for more frequent collection of these bins?*

A4: See response to Q1.

4.2 PUBLIC QUESTIONS

Nil

5. PETITIONS, DEPUTATIONS AND PRESENTATIONS

5.1 PETITIONS

Nil

5.2 DEPUTATIONS

5.2.1 **Item 11.3.5 Application For Development Approval Proposed Caravan Park Redevelopment (Installation Phase Stage 1) on Lot 31 and 762 Hopkins Street, Lancelin**

Speaker/s: Donna Cocking (Experience Holiday Parks Pty Ltd)

5.2.2 **Item 11.3.5 Application For Development Approval Proposed Caravan Park Redevelopment (Installation Phase Stage 1) on Lot 31 and 762 Hopkins Street, Lancelin**

Speaker/s: Gary McMahon (Ecosystem Solutions Pty Ltd)

5.2.3 **Item 11.3.5 Application For Development Approval Proposed Caravan Park Redevelopment (Installation Phase Stage 1) on Lot 31 and 762 Hopkins Street, Lancelin**

Speaker/s: Kim Price

5.2.4 **Item 11.3.3 Application for Development Approval – Proposed Use Not Listed (Temporary Waste Water Treatment Plant) on Lot 9001 Indian Ocean Drive, Lancelin (Lancelin South)**

Speaker/s: Rachel Chapman

5.3 PRESENTATIONS

Nil

6. APPLICATIONS FOR LEAVE OF ABSENCE

Nil

7. CONFIRMATION OF MINUTES

ADDENDUM – ORDINARY MEETING OF COUNCIL – 17 APRIL 2018

Additional Information:

Subsequent to circulation of the Agenda for this meeting, the following matters have been noted:

1. The Minutes of the Special Meeting of Council held on 6 March 2018 were not confirmed at the next Ordinary Meeting of Council (20 March 2018) as required by s. 5.22(2) of the *Local Government Act 1995*. This oversight cannot now be rectified; nevertheless, the Minutes for 6 March 2018 must still be confirmed by Council; and
2. The Minutes of the Special Meeting of Council held on 4 April 2018 were omitted from the Confirmation of Minutes recommendation in the current Agenda.

An amended recommendation for Item 7 is provided below and will be included in the Minutes for this meeting.

RECOMMENDATION

It is recommended that:

1. The Minutes of the Special Meeting of Council held on 6 March 2018 be confirmed;
2. The Minutes of the Ordinary Meeting of Council held on 20 March 2018 be confirmed; and
3. The Minutes of the Special Meeting of Council held on 4 April 2018 be confirmed.

RESOLUTION

Moved Councillor Elgin, seconded Councillor Johnson that:

1. **The Minutes of the Special Meeting of Council held on 6 March 2018 be confirmed;**
2. **The Minutes of the Ordinary Meeting of Council held on 20 March 2018 be confirmed; and**
3. **The Minutes of the Special Meeting of Council held on 4 April 2018 be confirmed.**

CARRIED UNANIMOUSLY

8. ANNOUNCEMENTS BY THE PRESIDING MEMBER

Nil

9. UNRESOLVED BUSINESS FROM PREVIOUS MEETINGS

Nil

10. QUESTIONS BY MEMBERS OF WHICH DUE NOTICE HAS BEEN GIVEN

Nil

11. **REPORTS**

11.1. **OFFICE OF THE CEO**

11.1.1 **APPOINTMENT OF EXTERNAL COMMITTEE MEMBER - AUDIT COMMITTEE**

FILE: FIN/54; GOV/33
AUTHOR: LEE-ANNE BURT – GOVERNANCE OFFICER
REPORTING OFFICER: KAYE LOWES – ACTING CHIEF EXECUTIVE OFFICER
REPORT DATE: 17 APRIL 2018
REFER: 19 SEPTEMBER 2017 ITEM 11.1.3

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To give further consideration to the inclusion of an external person on Council's Audit Committee.

BACKGROUND

At its meeting on 19 September 2017, as part of its review of all Committee Terms of Reference prior to the 2017 local government elections and following discussion at a Concept Forum on 5 September 2017, Council resolved to amend the membership of the Audit Committee to include an external person. This decision has not been actioned to date.

At its meeting on 20 March 2018 the Audit Committee resolved as follows:

Moved Councillor Court, seconded Councillor Peczka that the Audit Committee:...

2. *Recommend that Council reconsider the need to amend the membership of the Audit Committee to include an external Committee member.*

COMMENT

Subsequent to Council's September 2017 decision, a review of similar appointments made by other local governments has revealed that at the present time the appointment of external Audit Committee members tends to be a practice chiefly adopted by larger Councils or, in some instances, Councils that may be experiencing significant problems in relation to their audit and governance practices.

The appointment of an external committee member will require careful consideration of a number of relevant factors, including (but potentially not limited to):

- a. Development of appropriate selection criteria;

- b. Whether Council wishes to consider:
- i. Only nominees who are electors and/or ratepayers and/or residents of the Shire of Gingin; or
 - ii. Only nominees who are not electors/ratepayers/residents of the Shire; or
 - iii. Only nominees who have no operating responsibilities, or direct or indirect associations with the Shire of Gingin (including membership of sporting clubs within the Shire, regional committees or participation on other Council committees); or
 - iv. an open nomination process;
- c. Whether a reimbursement of expenses will be made available and the level of that reimbursement payment; and
- d. Whether Council should consider amending the Terms of Reference for its Audit Committee to restrict eligibility for the position of Committee Chairperson to elected members only.

A further consideration is the impending assumption by the Auditor General of responsibility for overseeing the local government audit process. Whilst there has been no official indication at this point of what the likely impact on Audit Committees will be, there is speculation that the Auditor General may introduce requirements for all Audit Committees to include an external committee member. If that proves to be the case, then potentially the Auditor General will provide a specific set of selection criteria to be used when calling for and appointing external Audit Committee members.

For these reasons, the Audit Committee considers that progression of the appointment of an external Audit Committee member is possibly not warranted at this point in time. Amendment of the Audit Committee Terms of Reference by deleting reference to an external committee member is requested and an amended Terms of Reference is provided for Council's scrutiny as **Appendix 1**.

STATUTORY ENVIRONMENT

Local Government Act 1995

Part 5 – Administration

Division 2 – Council meetings, committees and their meetings and electors' meetings

Section 5.10 – Committee members, appointment of

Division 8 – Local government payments and gifts to its members

Section 5.100 – Payments for certain committee members

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

According to the Department of Local Government, Sport and Cultural Industries' Guideline No. 09 *The Appointment, Function and Responsibilities of Audit Committees*, legislation prevents a meeting fee being paid to an external person. However, it is permissible for a payment to be made as a reimbursement of expenses, commensurate with the expertise and knowledge such people bring to the committee.

On that basis, in the event that Council wishes to continue with the appointment of an external committee member, then it will need to determine:

- a. Whether payment will be offered; and, if so
- b. What the level of that payment will be.

Provision will also need to be made in Council's adopted 2018/19 budget to accommodate such payments.

STRATEGIC IMPLICATIONS

Nil

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council:

1. Agree to amend the membership of the Audit Committee to exclude external membership; and
2. Adopt the duly amended Terms of Reference as shown at Appendix 1.

SUBSTANTIVE MOTION WITH AMENDMENT

Add Part 3.

Moved Councillor Court seconded Councillor Fewster that Council:

1. **Agree to amend the membership of the Audit Committee to exclude external membership;**
2. **Adopt the duly amended Terms of Reference as shown at Appendix 1; and**
3. **Rename the Audit Committee as the Audit and Governance Committee.**

CARRIED UNANIMOUSLY

REASON FOR AMENDMENT

Council was of the opinion that renaming of the Audit Committee as the Audit and Governance Committee would more properly reflect the role played by the Committee in assisting the Shire to fulfil its governance and oversight responsibilities in relation to financial reporting, internal control structure, risk management systems, legislative compliance, ethical accountability and internal and external audit functions.

APPENDIX 1



TERMS OF REFERENCE

AUDIT COMMITTEE

17 April 2018

Name:	Audit Committee
Role/Purpose:	<p>To accept responsibility for the annual external audit and liaise with the Shire's auditor so that Council can be satisfied with the performance of the Shire in managing its financial affairs.</p> <p>Reports from the Committee will assist Council in discharging its legislative responsibilities of controlling the Shire's affairs, determining the Shire's policies and overseeing the allocation of the Shire's finances and resources. The Committee will ensure openness in the Shire's financial reporting and will liaise with the CEO to ensure the effective and efficient management of the Shire's financial accounting systems and compliance with legislation.</p> <p>To facilitate:</p> <ul style="list-style-type: none"> • the enhancement of the credibility and objectivity of external financial reporting; • compliance with laws and regulations as well as use of best practice guidelines relative to auditing; and • the provision of an effective means of communication between the external auditor, the CEO and the Council.
Aims & Functions:	<ol style="list-style-type: none"> 1. Provide guidance and assistance to Council as to the carrying out of the functions of the Shire in relation to audits; 2. Develop and recommend to Council an appropriate process for the selection and appointment of a person as the local government's auditor; 3. Develop and recommend to Council – <ul style="list-style-type: none"> • a list of those matters to be audited; and • the scope of the audit to be undertaken; 4. Recommend to Council the person or persons to be appointed as auditor; 5. Develop and recommend to Council a written agreement for the appointment of the auditor. The agreement is to include: <ul style="list-style-type: none"> • the objectives of the audit; • the scope of the audit; • a plan of the audit; • details of the remuneration and expenses to be paid to the auditor; and • the method to be used by the local government to communicate with, and supply information to, the auditor;

	<ol style="list-style-type: none"> 6. Meet with the auditor once in each year and provide a report to Council on the matters discussed and outcome of those discussions; 7. Liaise with the CEO to ensure that the Shire does everything in its power to – <ul style="list-style-type: none"> • assist the auditor to conduct the audit and carry out his or her other duties under the <i>Local Government Act 1995</i>; and • ensure that audits are conducted successfully and expeditiously; 8. Examine the reports of the auditor after receiving a report from the CEO on the matters and – <ul style="list-style-type: none"> • determine if any matters raised require action to be taken by the Shire; and • ensure that appropriate action is taken in respect of those matters; 9. Review the report prepared by the CEO on any actions taken in respect of any matters raised in the report of the auditor and presenting the report to Council for adoption prior to the end of the next financial year or six months after the last report prepared by the auditor is received, whichever is the latest in time; 10. Review the scope of the audit plan and program and its effectiveness; 11. Review the local government's draft annual financial report, focusing on - <ul style="list-style-type: none"> • accounting policies and practices; • changes to accounting policies and practices; • the process used in making significant accounting estimates; • significant adjustments to the financial report (if any) arising from the audit process; • compliance with accounting standards and other reporting requirements; and • significant variances from prior years; 12. Consider and recommend adoption of the annual financial report to Council. Review any significant changes that may arise subsequent to any such recommendation but before the annual financial report is signed; 13. Address issues brought to the attention of the Committee, including responding to requests from Council for advice that are within the parameters of the Committee's terms of reference; 14. Seek information or obtain expert advice through the CEO on matters of concern within the scope of the Committee's terms of reference following authorisation from the Council; 15. Review the Statutory Compliance Return and make a recommendation on its adoption to Council; and 16. Review the outcome of audits undertaken by Administration with respect to various internal controls and risk-related issues, as determined by the Committee in liaison with the CEO.
<p>Membership:</p>	<ol style="list-style-type: none"> 1. The Committee shall consist of the following representation: <ul style="list-style-type: none"> • three Councillor representatives. 2. The CEO and employees are not members of the Committee (s7.1.A(3) and (4) <i>Local Government Act 1995</i>).

	<ol style="list-style-type: none"> 3. The CEO and Executive Manager Corporate and Community Services will attend all meetings to provide technical advice and guidance to the Committee. 4. A nominated deputy member may attend in place of an endorsed representative member. 5. Membership shall be for a period of up to two years terminating on the day of the next ordinary Council elections, with retiring members eligible to re-nominate. 6. Committee membership shall be appointed or removed by the Council. 7. Members must comply with the Shire's Code of Conduct. 8. The Committee has authority to second individuals from outside of the Committee, on a voluntary basis, for their expert advice.
<p>Operating procedures:</p>	<ol style="list-style-type: none"> 1. Presiding Member: <ol style="list-style-type: none"> a) The members of the Committee are to elect a presiding member and deputy presiding member from amongst themselves at the first meeting of the Committee and in accordance with the <i>Local Government Act 1995</i>, Schedule 2.3, Division 1. b) The CEO or his delegated nominee will attend the first meeting to conduct the election of the Presiding Member or at a subsequent meeting if a new Presiding Member is to be elected. c) The Presiding Member will preside at all meetings. d) In the absence of the Presiding Member, the Deputy Presiding Member will assume the chair, and in his/her absence, a person is to be elected by the Committee members present to assume the Chair. e) The Presiding Member is responsible for the proper conduct of the Committee. 2. Meetings: <ol style="list-style-type: none"> a) The Committee shall meet as required, but must hold a minimum of two meetings in any one calendar year. b) Additional meetings can be scheduled by decision of the Council or the Committee. c) A Notice of Meeting, including an agenda, will be circulated to the Committee members (including deputy members) at least 72 hours prior to each meeting where possible. d) The Presiding Member shall ensure that detailed minutes of all meetings are kept and shall provide the Committee members (including deputy members) with a copy of such minutes. e) All Committee meetings will be conducted in accordance with the Shire of Gingin Meeting Procedures Local Law 2014. 3. Quorum:

	<p>The quorum for a meeting shall be at least 50% of the number of endorsed members.</p> <p>4. Reporting:</p> <p>a) The Minutes of every Committee meeting will be circulated for the information of all Councillors.</p> <p>b) Any Committee resolution requiring action on the part of the Council or requiring a Council commitment will be listed as a separate report on the Agenda for the next ordinary Council meeting.</p>
Appointing legislation:	The Committee is established under section 7.1A of the <i>Local Government Act 1995</i> .
Delegated Authority:	The Committee has no delegated power and has no authority to implement its recommendations without approval of Council.

Version	Decision Reference	Synopsis
1.	06/09/2005 – Item 10.2.1	Committee established and Terms of Reference adopted.
2.	22/10/2013 – Item 10.2	Terms of Reference reviewed.
3.	18/08/2015 – Item 11.1.6	Terms of Reference reviewed.
4.	19/09/2017 – Item 11.1.3	Terms of Reference reviewed. Aims & Functions cl. 16 added. Operating procedures cl. 2c deleted. Membership cl. 1 amended to include one external person.
5.	17/04/2018 – Item	Membership cl. 1 amended to delete reference to one external person.

11.1.2 2018 BIENNIAL REVIEW OF RISK MANAGEMENT, INTERNAL CONTROL AND LEGISLATIVE COMPLIANCE

FILE: GOV/20
AUTHOR: LEE-ANNE BURT – GOVERNANCE OFFICER
REPORTING OFFICER: KAYE LOWES – ACTING CHIEF EXECUTIVE OFFICER
REPORT DATE: 17 APRIL 2018
REFER: NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider committing funds in the 2018/19 Budget to engage an external consultant to complete the 2018 Biennial Review of Risk Management, Internal Control and Legislative Compliance.

BACKGROUND

Regulation 17 of the *Local Government (Audit) Regulations 1996* (the Regulations) requires the Chief Executive Officer to review the appropriateness and effectiveness of the local government's systems and procedures in relation to risk management, internal control and legislative compliance on a biennial basis.

The three components may be reviewed collectively or individually, but must all be the subject of a review at least once every two calendar years.

The Chief Executive Officer must then report the results of the review to the Audit Committee.

At its meeting on 20 March 2018, the Audit Committee resolved as follows:

Moved Councillor Court, seconded Councillor Peczka that the Audit Committee:...

- 3. Recommend that Council agree to include an amount of \$8,000 (ex. GST) in its 2018/19 Budget to provide for the engagement of an external contractor to prepare the 2018 Chief Executive Officer's biennial review of the appropriateness and effectiveness of the local government's systems and procedures in relation to risk management, internal control and legislative compliance.*

COMMENT

In the period since Regulation 17 came into effect in 2013, two reviews have been completed internally (in 2014 and 2016). Each review addressed all three required components collectively.

On both occasions, at the conclusion of the review the Chief Executive Officer was satisfied that the Shire of Gingin was generally meeting its obligations with respect to risk management, internal control and legislative compliance. The results of both reviews were subsequently received by Council on the recommendation of the Audit Committee.

Whilst both reviews were comprehensive and thorough, in any instance where a review is undertaken by the same officers who are working with existing systems and processes on a daily basis there is always the potential for shortcomings to remain unrecognised. It is therefore considered that having the review undertaken by an independent party on a regular basis will assist in identifying areas that are currently not being addressed or require further attention.

At its meeting on 20 March 2018, the Audit Committee gave consideration to its role in overseeing the Shire's internal controls and compliance. It is acknowledged that a major component of this oversight role is the requirement for the Audit Committee to consider both the annual Compliance Audit Return required under Regulation 14 of the Regulations, and the biennial review of risk management, internal control and legislative compliance required under Regulation 17.

The significance of the Compliance Audit Return in providing an understanding of the Shire's position with respect to compliance with selected requirements of the *Local Government Act 1995* has already been recognised by a commitment to having every third Return completed by an external consultant.

The biennial review of risk management, internal control and legislative compliance required by Regulation 17 is possibly an even more important tool in advising the Audit Committee and Council because it is not limited just to the requirements of the *Local Government Act 1995*, but encompasses all aspects of the Shire's systems and procedures.

One of the Shire's Organisational and Business Values is:

We are striving to become better at what we do and are continually looking at ways to improve ourselves.

Review of the Shire's risk management, internal control and legislative compliance by an external and independent party is consistent with this value.

STATUTORY ENVIRONMENT

Local Government (Audit) Regulations 1996

Regulation 17 – CEO to review certain systems and procedures

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

A quote of \$8,000 (ex. GST) has been obtained to undertake the 2018 Review of Risk Management, Internal Control and Legislative Compliance. In the event that Council is supportive of the Audit Committee's recommendation, then a corresponding amount will be included in the 2018/19 Budget.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

Focus Area	<i>Governance</i>
Objective	<i>5. To demonstrate effective leadership, governance and advocacy on behalf of community</i>
Outcome	<i>5.1 Values Our Organisational/Business Values are demonstrated in all that we do</i>
Key Service Areas	<i>N/A</i>
Priorities	<i>N/A</i>

VOTING REQUIREMENTS – ABSOLUTE MAJORITY

RECOMMENDATION

It is recommended that Council agree to include an amount of \$8,000 (ex. GST) in its 2018/19 Budget to provide for the engagement of an external contractor to prepare the 2018 Chief Executive Officer's biennial review of the appropriateness and effectiveness of the local government's systems and procedures in relation to risk management, internal control and legislative compliance.

RESOLUTION

Moved Councillor Peczka, seconded Councillor Elgin that Council agree to include an amount of \$8,000 (ex. GST) in its 2018/19 Budget to provide for the engagement of an external contractor to prepare the 2018 Chief Executive Officer's biennial review of the appropriateness and effectiveness of the local government's systems and procedures in relation to risk management, internal control and legislative compliance.

CARRIED BY ABSOLUTE MAJORITY

8-0

11.2. CORPORATE AND COMMUNITY SERVICES

11.2.1 MONTHLY FINANCIAL STATEMENT FOR THE PERIODS ENDING 28 FEBRUARY 2018 AND 31 MARCH 2018

FILE: FIN/25
REPORTING OFFICER: ZIGGY EDWARDS – ACTING EXECUTIVE MANAGER
CORPORATE AND COMMUNITY SERVICES
REPORT DATE: 17 APRIL 2018
REFER: NIL

OFFICER INTEREST DECLARATION

Nil

COMMENT

The Statement of Financial Position and investment information for the period to 31 March 2018 will not be available for presentation to this meeting due to key staff resources being seconded to acting positions. This information will be presented to Council's next meeting on 15 May 2018.

The Monthly Financial Statements for the period ending 28 February 2018 and 31 March 2018 are attached and include the following:

1. Statement of Financial Position for the period to 28 February 2018 (**Appendix 1**). This information was not ready for presentation to the Council meeting on 20 March 2018 and Councillors were advised that it would be supplied at the April meeting.
2. List of Paid Accounts for the period to 31 March 2018 (**Appendix 2**).

STATUTORY ENVIRONMENT

Local Government Act 1995
Part 6 – Financial management
Division 3 – Reporting on activities and finance
Section 6.4 – Financial report

Local Government (Financial Management) Regulations 1996
Part 4 – Financial reports – s.6.4
Regulation 34 – Financial activity statement required each month (Act s.6.4)

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

Focus Area	<i>Governance</i>
Objective	<i>5. To demonstrate effective leadership, governance and advocacy on behalf of community</i>
Outcome	<i>5.1 Values Our Organisational/business values are demonstrated in all that we do.</i>
Key Service Area	<i>Financial Management</i>
Priorities	<i>Nil</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council receive:

1. The Monthly Financial Statement for the period ending 28 February 2018 as presented in Appendix 1; and
2. The List of Paid Accounts for the period ending 31 March 2018 as presented in Appendix 2.

RESOLUTION

Moved Councillor Court, seconded Councillor Collard that Council receive:

1. **The Monthly Financial Statement for the period ending 28 February 2018 as presented in Appendix 1; and**
2. **The List of Paid Accounts for the period ending 31 March 2018 as presented in Appendix 2.**

CARRIED UNANIMOUSLY

APPENDIX 1



SHIRE OF GINGIN
MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

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Summary of Financial Position up to 28 February 2018

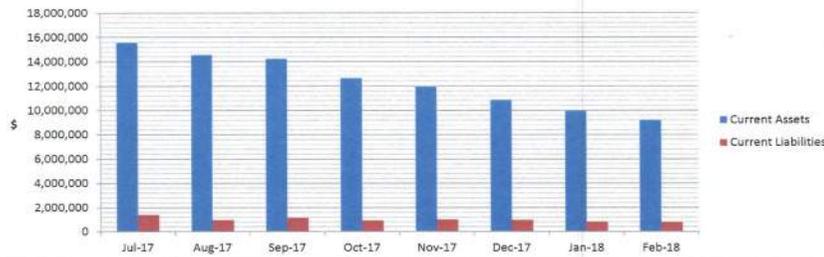
Operating Statement

	Feb-18			Annual Budget	Annual Budget %
	Actual	YTD Budget	Variance		
Revenue	12,801,917	11,872,784	8%	13,926,873	92%
Expenses	(9,316,350)	(10,612,316)	-12%	(15,918,474)	59%
Profit/Loss	(352,945)	0	0%	0	0%
Non-Operating Grants	417,332	1,393,039	-70%	2,089,559	20%
Net Result	3,549,955	2,653,508		97,958	

Assets & Liabilities

	Jan-18	Feb-18
Current		
Assets	9,963,744	9,221,727
Liabilities	842,841	801,926
Non-Current		
Assets	155,887,749	155,013,023
Liabilities	2,664,677	2,664,677
Net Assets	162,343,976	160,768,147

CURRENT ASSETS & LIABILITIES



Capital Payments

	Year to 28 February 2018			Annual Budget
	YTD Actual	YTD Budget	Variance	
Land & Buildings	280,748	778,667	-64%	1,168,000
Infrastructure Roads	1,171,803	2,503,655	-53%	3,755,483
Infrastructure Parks	855,786	571,277	50%	856,915
Infrastructure Other	107,964	863,009	-87%	1,294,513
Infrastructure Footpaths	-	29,624	-100%	44,436
Plant & Equipment	517,016	1,145,494	-55%	1,718,241
Furniture and Equipment	51,687	61,811	-16%	92,716
Loans Current	157,677	125,189	26%	187,783
Transfer to Reserve	238,863	107,505	122%	161,257
Provisions	-	-	0%	-
Net Result	3,381,543	6,186,229	-45%	9,279,344

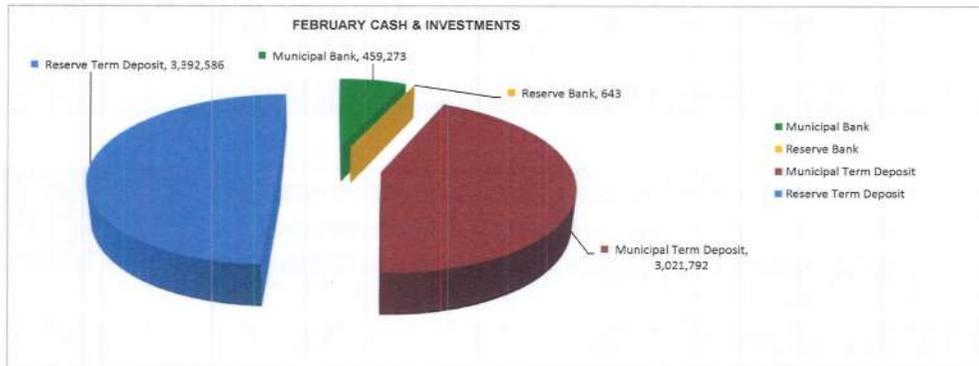
Refer to Capital Works Program.

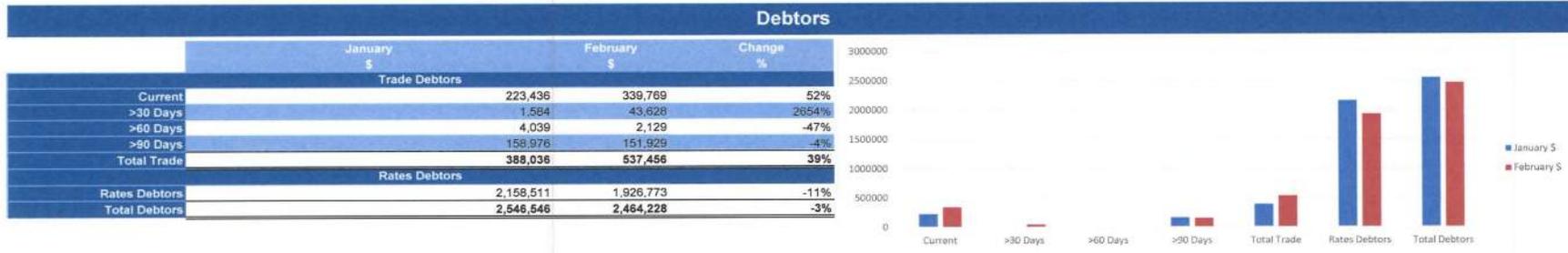
Note provisions are budgeted throughout operating accounts.

Cash & Investments

	Volume Held	
	Jan-18	Feb-18
Municipal Bank	1,266,605	459,273
Reserve Bank	643	643
Municipal Term Deposit	3,020,430	3,021,792
Reserve Term Deposit	3,373,243	3,392,586
Total	7,660,922	6,874,295

As a result of the RBA meeting held 6 February 2018, the cash rate remained the same at 1.5 per cent.

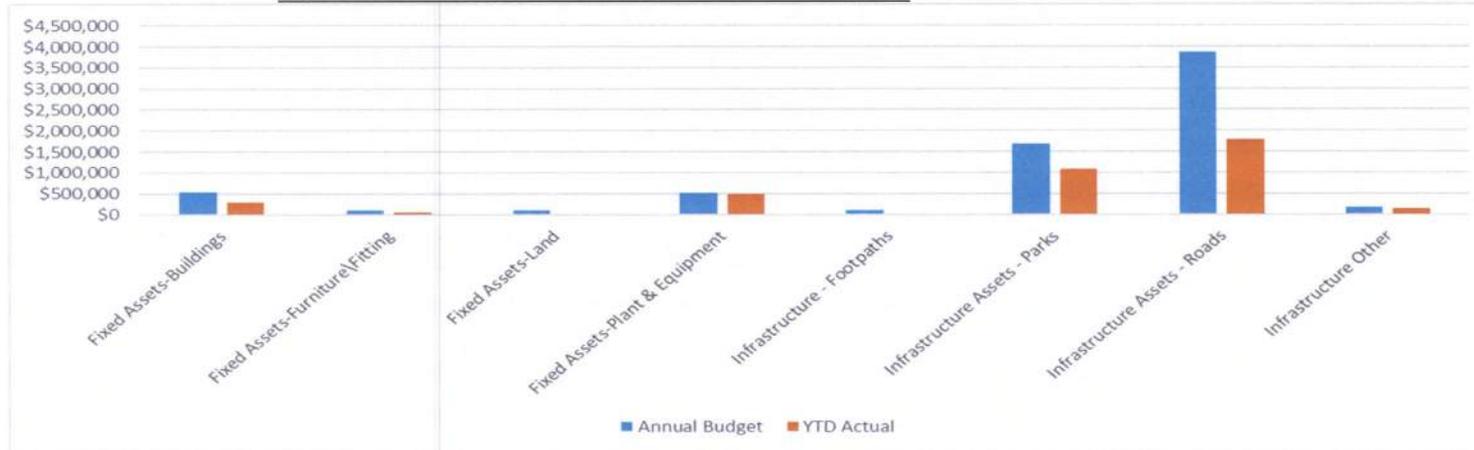




Budget Variances						
Account	Description	Total Budget	YTD Budget	YTD Actual	% of YTD Budget	Explanation
07600000	Fly Control Salaries & Wages	\$60,161	\$40,104	\$17,277	43%	Budget increased as
07607025	Fly Control - Management Costs	\$20,000	\$13,328	\$2,632	20%	Allocation of Health salaries - EOY
10107092	Litter Control	\$17,000	\$11,328	(\$3,092)	-27%	Journal required
10169900	Reserve Fund Transfer From Tip Rationalisation	(\$355,118)	(\$236,744)	\$0	0%	EOY Transfer
10517002	Coastal Hazard Risk Management Plan Grant	(\$39,000)	(\$25,992)	\$0	0%	Timing
11359047	Replace Dam Barrier - Granville Park Scenic Pool	\$35,000	\$23,336	\$0	0%	Refer to Capital Works Program
11359170	GG Recreation Ground	\$25,825	\$17,080	\$0	0%	Refer to Capital Works Program
12259283	LA Walker Avenue	\$357,824	\$238,580	\$0	0%	Refer to Capital Works Program
12259354	Rural - KW Road	\$23,009	\$15,336	\$0	0%	Refer to Capital Works Program
12259502	LA - Lancelin Road	\$34,700	\$23,136	\$0	0%	Refer to Capital Works Program
14202250	Fringe Benefit Tax	\$46,000	\$30,664	\$14,503	47%	Reallocation of FBT across accounts
14259110	Computer System Furniture And Equipment	\$32,516	\$21,656	\$11,149	51%	Refer to Capital Works Program
14269010	Transfer From Reserves Long Service Leave	(\$20,000)	(\$13,336)	\$0	0%	EOY Transfer
14307020	Staff Training	\$55,000	\$36,664	\$16,168	44%	Less than anticipated training expenses
14404330	Plant - Insurance	\$35,018	\$23,344	\$35,017	150%	Reallocation of motor insurance
14759140	CWA Building - Structural Repairs	\$22,857	\$15,104	\$5,000	33%	Refer to Capital Works Program
		\$350,392	\$233,568	\$98,654		

Fixed Assets Expenditure February 2018

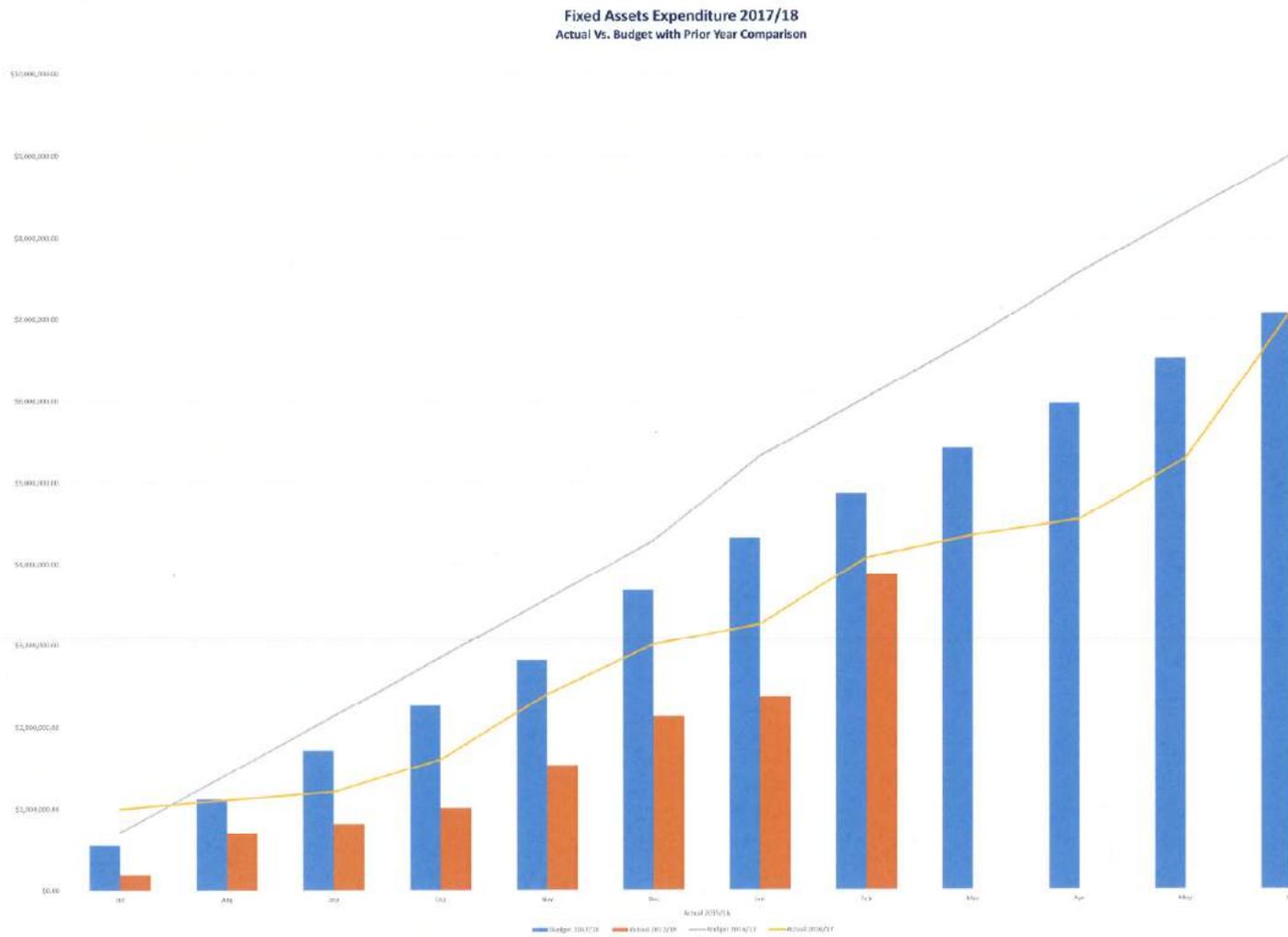
Asset Type	YTD Budget	YTD Actual
Fixed Assets-Buildings	\$531,568	\$301,558
Fixed Assets-Furniture\Fitting	\$100,375	\$52,643
Fixed Assets-Land	\$100,000	\$64
Fixed Assets-Plant & Equipment	\$526,293	\$490,889
Infrastructure - Footpaths	\$100,000	\$0
Infrastructure Assets - Parks	\$1,676,892	\$1,079,421
Infrastructure Assets - Roads	\$3,857,866	\$1,793,501
Infrastructure Other	\$164,500	\$144,312
	\$7,057,494	\$3,862,390



Fixed Assets Expenditure February 2018							
Account #	Account Description	Status of Works	Annual Budget	Actual YTD	Variance	% Total Budget	
05159129	Nilgen Fire Shed Construction		\$110,000	\$113,855	-\$3,855	103.50%	
06259020	Aged Homes Lancelin		\$90,362	\$24,682	\$65,680	27.31%	
06259050	Gingin Aged Units (Air-conditioning, kitchen refurbishments, floor coverings)		\$40,800	\$7,150	\$33,650	17.52%	
07159106	Gingin Medical Centre (New)		\$7,000	\$6,550	\$450	93.57%	
10259217	Ablution Facility Guilderton Foreshore		\$24,941	\$24,941	\$0	100.00%	
11359010	LA Sporting Complex		\$0	\$2,655	-\$2,655	Unbudgeted	
11359049	Gingin Golf Club - Re-roof Club House		\$9,488	\$9,488	\$0	100.00%	
11359051	Gingin Bowling Club - Patio roof extension & disabled ramp		\$33,000	\$0	\$33,000	0.00%	
11359090	GG Recreation Centre Building Land & Buildings		\$37,829	\$0	\$37,829	0.00%	
11359157	Gingin Horseman's Club Campdraft Facility		\$12,500	\$0	\$12,500	0.00%	
11359177	LA - Gun Club Transportable Toilet and Water to Site		\$25,001	\$22,727	\$2,274	90.91%	
11359179	LA - Bowling Club Storage Shed & Shade Shelters		\$9,500	\$0	\$9,500	0.00%	
11359183	LP - Bowling Club - Synthetic Green		\$5,000	\$0	\$5,000	0.00%	
11659315	Old Granville Building		\$12,000	\$3,740	\$8,260	31.17%	
13259065	Caravan Park Chalets		\$64,990	\$60,733	\$4,257	93.45%	
13259300	Information Bays		\$26,500	\$13,199	\$13,301	49.81%	
14759140	CWA Building - Structural Repairs		\$22,657	\$11,839	\$10,818	52.25%	
04159110	Council Chambers Furniture		\$5,125	\$2,213	\$2,912	43.18%	
07459010	Furniture And Equipment		\$2,300	\$1,365	\$935	59.37%	
10159004	Landfill Site POS Equipment		\$6,100	\$4,111	\$1,989	67.40%	
10659040	Planning Equipment		\$2,500	\$1,447	\$1,053	Unbudgeted	
11559020	Lancelin Library Furniture and Equipment		\$1,500	\$0	\$1,500	0.00%	
13259060	GU Caravan Park Furniture/fittings		\$9,000	\$9,600	-\$600	106.67%	
13359010	Furniture And Equipment		\$1,700	\$0	\$1,700	0.00%	
14259110	Computer System Furniture And Equipment		\$32,516	\$11,149	\$21,367	34.29%	
14259115	Office Furniture/Equip. Furniture And Equipment		\$33,437	\$16,322	\$17,115	48.82%	
14359110	Depot - Furniture And Equipment		\$6,197	\$6,196	\$1	99.99%	
14759115	Office Furniture/Equip. Furniture And Equipment		\$0	\$239	-\$239	Unbudgeted	
10159000	Landfill Site Implementation		\$60,000	\$0	\$60,000	0.00%	
11159010	Guilderton Hall Carpark		\$0	\$64	-\$64	Unbudgeted	
14759124	Lancelin Commercial Centre Land Purchase		\$40,000	\$0	\$40,000	0.00%	
05159200	Fire Warning Signs		\$60,000	\$60,000	\$0	100.00%	
05359020	Ranger/Fly Utility Purchase GG074		\$21,200	\$21,200	\$0	100.00%	
07459001	Vehicle Purchase - 6GG (5GG budget) EHO		\$43,000	\$43,008	-\$8	100.02%	
12359202	Kanga Loader GG040		\$44,129	\$44,129	\$1	100.00%	

12359750	Minor Plant/Equipment	\$15,000	\$9,553	\$5,447	63.69%
12359916	TCM Front End Loader GG016	\$313,000	\$313,000	\$0	100.00%
14759226	Generator - Shire Office (Gingin)	\$29,964	\$0	\$29,964	0.00%
12259990	Footpath projects unallocated	\$100,000	\$0	\$100,000	0.00%
11259065	Lancelin Foreshore Development - Cunliffe St	\$150,000	\$0	\$150,000	0.00%
11259077	Guilderton Beach Access Boardwalk	\$89,000	\$36,208	\$52,792	40.68%
11259079	Boat Launch Facility - Planning Study	\$109,421	\$60,736	\$48,685	55.51%
11259081	LA Hinchcliffe Hill Staircase South Side	\$100,000	\$120,153	-\$20,153	120.15%
11259082	LA Hinchcliffe Hill Ramp North Side	\$60,000	\$67,253	-\$7,253	112.09%
11259083	LA Hinchcliffe Hill Pathway and Carpark	\$82,125	\$0	\$82,125	0.00%
11359042	GG Swim Pool Plant & Pump Room	\$23,000	\$9,598	\$13,402	41.73%
11359047	Replace Dam Barrier - Granville Park Scenic Pool	\$35,000	\$0	\$35,000	0.00%
11359115	LA Skate Park Bowl (at BMX Track)	\$126,000	\$133,803	-\$7,803	106.19%
11359124	LA 1/2 Basketball Court	\$15,000	\$770	\$14,230	5.13%
11359132	Playground Equipment	\$36,772	\$33,874	\$2,898	92.12%
11359133	LP Playground Equipment	\$135,949	\$136,336	-\$387	100.28%
11359155	Bendigo Bank Complex	\$9,000	\$320	\$8,680	3.56%
11359170	GG Recreation Ground	\$25,625	\$5,450	\$20,175	21.27%
11359171	Regional Hardcourt Facility - Bank Stabilisation & Landscaping	\$165,000	\$0	\$165,000	0.00%
11359268	Lancelin Golf Club Bore and Pump	\$60,000	\$60,000	\$0	100.00%
13259068	Lancelin Caravan Park - Infrastructure Parks	\$355,000	\$354,919	\$81	99.98%
13259314	Caravan Park Retaining Wall	\$60,000	\$60,000	\$0	100.00%
13259315	Caravan Park Tap and Pipe Replacement Bays	\$40,000	\$0	\$40,000	0.00%
12259160	Cowalla Road Bridge Upgrade	\$190,000	\$0	\$190,000	0.00%
12259161	Marchmont Drainage	\$160,000	\$0	\$160,000	0.00%
12259170	Rural - Mimegarra Road	\$290,764	\$0	\$290,764	0.00%
12259211	Guilderton - Mortimer St	\$44,800	\$24,044	\$20,756	53.67%
12259222	Lancelin - Lancelin Plaza	\$10,000	\$2,522	\$7,478	25.22%
12259233	Craig Sandy Reseal SLK 0.00 - 0.32	\$5,512	\$4,413	\$1,099	80.06%
12259235	Bateman Way Reseal SLK 0.00 - 2.00	\$6,064	\$3,710	\$2,354	61.18%
12259236	Jones Place Reseal SLK 0.00 - 0.07	\$1,929	\$1,328	\$601	68.83%
12259240	Rural - Beerullah Road West	\$134,546	\$20,545	\$114,001	15.27%
12259259	Ashby Road Reseal SLK 0.00 - 3.00	\$187,329	\$93,891	\$93,438	50.12%
12259262	Rural - Red Gully Road	\$399,034	\$131,700	\$267,334	33.00%
12259277	Link Road - Reseal SLK 0.00-0.15	\$3,256	\$2,155	\$1,101	Unbudgeted
12259278	St Andrews Court - Reseal SLK 0.00-0.57	\$12,175	\$10,818	\$1,357	88.85%
12259279	Military Road - Centreline SLK 0.00-14.79	\$40,000	\$18,310	\$21,690	45.78%
12259283	LA Walker Avenue	\$357,824	\$0	\$357,824	0.00%
12259306	GG - Brockman Street/Cheriton Road Intersection	\$78,015	\$84,850	-\$6,835	108.76%

12259326	R to R - Rural - Ferguson Road Construct/Seal Intersection	\$83,394	\$83,366	\$28	Unbudgeted
12259332	Rural - Cowalla Rd	\$87,811	\$87,811	\$0	100.00%
12259339	R to R - Rural - Cullialla Rd	\$45,000	\$272	\$44,728	0.60%
12259353	Old North Road Drive/Walk Trail	\$22,935	\$286	\$22,649	1.25%
12259354	Rural - KW Road	\$23,009	\$0	\$23,009	0.00%
12259501	Black Spot - Dewar Road	\$259,441	\$185,123	\$74,318	71.35%
12259959	RRG - Gingin Brook Road - Final Seal	\$86,527	\$32,498	\$54,029	37.56%
12259961	RRG - Gingin Brook Road	\$929,943	\$768,165	\$161,778	82.60%
12259982	Drainage Construction	\$21,538	\$5,833	\$15,706	27.08%
12259993	R to R - Murray Bridge works	\$129,778	\$144,698	-\$14,920	111.50%
12259996	Rural - Fynes Road Resheet SLK 0.00-5.32	\$247,242	\$87,166	\$160,076	35.26%
10159030	Gingin Landfill Fencing	\$7,000	\$7,590	-\$590	108.43%
10759128	Gingin Cemetery Fence and Driveway	\$31,000	\$28,551	\$2,449	92.10%
12259362	Streetscape Project - Lancelin	\$70,000	\$62,930	\$7,071	Unbudgeted
12259994	Parking Meters - Guilderton	\$3,500	\$1,912	\$1,588	54.63%
13259312	Caravan Waste Dump Points	\$3,000	\$0	\$3,000	0.00%
13259313	Caravan Park Drainage	\$50,000	\$43,330	\$6,670	86.66%
		\$7,057,494	\$3,862,388	\$3,195,104	



SHIRE OF GINGIN
INTERIM MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

NOTE	Feb 2017/2018 Y-T-D Actual \$	2017/2018 Y-T-D Budget \$	2017/2018 Budget \$	Variates Budget to Actual Y-T-D %	
Net current assets at start of year - surplus/(deficit)	1,931,712	2,009,010	2,009,010	0.00%	
Revenue from operating activities (excluding rates and non-operating grants, subsidies & contributions)					
Governance	995	0	0	0.00%	
General Purpose Funding	753,520	780,213	1,170,319	(2.28%)	
General Purpose Funding - Rates	7,745,359	7,764,606	7,764,606	(0.25%)	
Law, Order, Public Safety	243,292	226,055	339,083	5.08%	
Education and Welfare	73,766	193,333	290,000	(41.23%)	
Health	283,983	78,000	117,000	176.05%	
Housing	14,920	15,600	23,400	(2.91%)	
Community Amenities	1,409,407	1,108,692	1,663,038	18.08%	
Recreation and Culture	153,732	109,752	164,628	26.71%	
Transport	459,588	165,364	248,046	118.62%	
Economic Services	1,296,521	1,286,802	1,930,203	0.50%	
Other Property and Services	366,836	144,367	216,550	102.73%	
	<u>12,801,917</u>	<u>11,872,784</u>	<u>13,926,873</u>	<u>6.67%</u>	
Expenditure from operating activities					
Governance	(708,295)	(747,966)	(1,121,949)	(3.54%)	
General Purpose Funding	(247,706)	(247,752)	(371,628)	(0.01%)	
Law, Order, Public Safety	(861,826)	(894,489)	(1,341,733)	(2.43%)	
Education and Welfare	(114,293)	(431,963)	(647,945)	(49.03%)	
Health	(541,992)	(139,455)	(209,182)	192.43%	
Housing	(33,456)	(20,307)	(30,460)	43.17%	
Community Amenities	(1,430,346)	(1,767,331)	(2,650,997)	(12.71%)	
Recreation & Culture	(2,185,040)	(1,989,863)	(2,984,794)	6.54%	
Transport	(1,602,026)	(2,813,714)	(4,220,571)	(28.71%)	
Economic Services	(928,873)	(1,090,424)	(1,635,636)	(9.88%)	
Other Property and Services	(1,015,441)	(469,053)	(703,579)	77.66%	
	<u>(9,669,295)</u>	<u>(10,612,316)</u>	<u>(15,918,474)</u>	<u>(5.92%)</u>	
Operating activities excluded from budget					
(Profit)/Loss on Asset Disposals	2	352,945	0	0.00%	
Depreciation on Assets	10	1,897,409	2,921,091	(23.36%)	
Non-Cash Expenditure and Revenue		(304)	0	0.00%	
Leave Entitlements		0	0	0.00%	
Amount attributable to operating activities	<u>5,382,673</u>	<u>6,190,569</u>	<u>4,399,045</u>	<u>(18.37%)</u>	
Investing Activities					
Non operating grants, subsidies & contributions	417,332	1,393,039	2,089,559	(46.69%)	
Purchase Land Held for Resale	1	0	0	0.00%	
Purchase Land and Buildings	1	(280,748)	(965,890)	(47.29%)	
Purchase Infrastructure Assets - Roads	1	(1,171,803)	(2,657,784)	(37.27%)	
Purchase Infrastructure Assets - Parks	1	(855,786)	(1,100,178)	(14.81%)	
Purchase Infrastructure Assets - Other	1	(107,964)	(108,000)	(0.02%)	
Purchase Infrastructure Assets - Footpaths	1	0	(66,667)	(66.67%)	
Purchase Tools		0	0	0.00%	
Purchase Plant and Equipment	1	(517,016)	(69,333)	(104,000)	430.46%
Purchase Furniture and Equipment		(51,687)	(62,161)	(93,241)	(11.23%)
Proceeds from Disposal of Assets	2	308,998	0	0.00%	
	<u>(2,258,673)</u>	<u>(3,636,973)</u>	<u>(5,455,459)</u>	<u>(25.26%)</u>	
Financing Activities					
Repayment of Debentures	3	(157,677)	(150,631)	(225,947)	3.12%
Proceeds from New Debentures	3	200,000	600,000	900,000	(44.44%)
New Self Supporting Loans		0	0	0	0.00%
New Advances		0	0	0	0.00%
Proceeds from Advances		5,566	7,521	11,281	(17.42%)
Self-Supporting Loan Principal Income		5,111	19,887	29,831	(49.53%)
Transfers to Reserves (Restricted Assets)	4	(238,863)	369,451	554,176	(109.77%)
Transfers from Reserves (Restricted Assets)	4	0	(641,202)	(961,803)	(66.67%)
Transfers from Restricted Cash		0	499,251	748,876	(66.67%)
	<u>(185,873)</u>	<u>704,276</u>	<u>1,056,414</u>	<u>(84.26%)</u>	
Net Current Assets Year to Date	<u>4,869,838</u>	<u>3,257,872</u>	<u>0</u>		

This statement is to be read in conjunction with the accompanying notes.
Note: Difference in B/Fwd balance relates to End of year adjustments.

SHIRE OF GINGIN
MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

1. ACQUISITION OF ASSETS & OTHER NON CAPITAL EXPENDITURE	Feb 2017/2018 Y-T-D Actual \$	2017/2018 Budget \$
The following assets and other non capital expenditure have been acquired/paid for during period under review:		
By Program		
Governance	2,213	5,000
General Purpose Funding	43,863	121,487
Law, Order, Public Safety	159,055	542,500
Health	75,348	69,387
Education and Welfare	31,832	20,000
Housing	0	21,000
Community Amenities	102,829	1,032,974
Recreation and Culture	535,293	1,450,231
Transport	1,586,005	5,405,419
Economic Services	592,182	340,693
Other Property and Services	252,924	270,653
	<u>3,381,543</u>	<u>9,279,344</u>
By Class		
Land and Buildings	280,748	1,168,000
Infrastructure Assets - Roads	1,171,803	3,755,483
Infrastructure Assets - Parks and Ovals	855,786	856,915
Infrastructure Assets - Other	107,964	1,294,513
Infrastructure - Footpaths	0	44,436
Plant and Equipment	517,016	1,718,241
Furniture and Fittings	51,687	92,716
Tools	0	0
Loans Current	157,677	187,783
Provisions	0	0
Transfers to Reserve	238,863	161,257
	<u>3,381,543</u>	<u>9,279,344</u>

A detailed breakdown of acquisitions on an individual asset basis can be found in the supplementary information attached to this statement as follows:

SHIRE OF GINGIN
MONTHLY STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

2. DISPOSALS OF ASSETS

The following assets have been disposed of during the period under review:

	Net Book Value	Sale Proceeds	Profit/(Loss)
	Feb 2017/2018 Y-T-D Actual \$	Feb 2017/2018 Y-T-D Actual \$	Feb 2017/2018 Y-T-D Actual \$
By Program			
Law Order & Public Safety	0	0	0
Health	11,196	18,182	(6,986)
Community Amenities	44,707	48,182	(3,475)
Transport	(19,850)	47,635	(67,485)
Economic Services	0	0	0
Other Property & Services	(80,000)	195,000	(275,000)
	(43,947)	308,998	(352,945)

	Net Book Value	Sale Proceeds	Profit/(Loss)
	Feb 2017/2018 Y-T-D Actual \$	Feb 2017/2018 Y-T-D Actual \$	Feb 2017/2018 Y-T-D Actual \$
By Class			
Plant & Equipment	36,053	113,998	(77,945)
Land & Buildings	(80,000)	195,000	(275,000)
	(43,947)	308,998	(352,945)

	Profit/(Loss) 2017/2018 Y-T-D Actual \$
Summary	
Profit on Asset Disposals	16,889
Loss on Asset Disposals	(369,834)
	(352,945)

SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

3. INFORMATION ON BORROWINGS

(a) Debenture Repayments

Particulars	Principal 1-Jul-17	New Loans Actual	New Loans Budget	Principal Repayments		Principal Outstanding		Interest Repayments	
				Actual \$	Budget \$	Actual \$	Budget \$	Actual \$	Budget \$
Health									
L100 GG Medical Centre	209,564		0	24,424	24,425	185,140	185,139	13,252	13,252
Housing									
L129 Aged Accomodation	0	0	0	0	0	0	700,000	0	0
Community Amenities									
L111 Tip Rationalisation Site	484,873		5,180	15,540	15,540	469,333	469,333	31,220	31,220
L127 - SB Erosion Extension	204,422		6,436	19,309	19,309	185,113	185,113	5,011	5,011
Recreation & Culture									
L114 Gu C/Club	463,497		9,651	14,222	28,952	449,275	434,545	16,547	32,586
L115 Gu C/Club	13,453		4,484	6,608	13,453	6,845	0	482	728
L119 LP Country Club & Granville Civic Centre	8,445		2,815	4,149	8,445	4,297	0	304	459
L120 Regional Netball Facility	322,973		6,093	8,989	18,278	313,984	304,695	10,787	21,274
L124A Regional Hardcourt Facility	312,626		6,200	9,204	18,599	303,421	294,027	6,456	12,721
L126 Swimming Pool	136,990		4,472	13,416	13,416	123,574	123,574	4,144	4,144
Economic Services									
L103 Gingin Sale Yards	12,340			2,949	5,987	9,391	6,353	365	654
L128 Lancelin Caravan Park	0	200,000	6,300	18,892	18,900	181,108	181,100	2,520	2,500
Other Property & Services									
L93 LA Angling/Aquatic	10,391		3,464	5,111	10,391	5,280	0	339	511
L118 Office Extensions	16,826		5,609	8,265	16,826	8,562	0	605	913
L123 Purchase Lot 44 Weld Street GG	212,827		4,475	6,598	13,426	206,228	199,401	7,406	14,583
	2,409,227	200,000	75,316	157,677	225,947	2,451,551	3,083,280	99,437	140,556

SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

3. INFORMATION ON BORROWINGS (continued)

(a) Debenture Repayments

Repayment of Principal for Council Funded Loans will be
Repayment of Principal for Self Supporting Loans will be

	145,958 Interest on Council Funded Loans
	11,719 Interest on Self Supporting Loans
	\$157,677

**Interest
Actual**

\$

98,616

821

\$99,437

(b) New Debentures

Loan 128 Lancelin Caravan Park \$200,000

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

4. RESERVES	Feb Y-T-D Actual \$	2017/2018 Budget \$
Cash Backed Reserves		
(a) Long Service Leave, Sick Leave, Staff Contingency		
Opening Balance	513,063	513,063
Amount Set Aside / Transfer to Reserve	6,758	10,725
Amount Used / Transfer from Reserve	-	-
	<u>519,821</u>	<u>523,788</u>
(b) Office Equipment Replacement		
Opening Balance	17,486	17,486
Amount Set Aside / Transfer to Reserve	230	366
Amount Used / Transfer from Reserve	-	(15,000)
	<u>17,717</u>	<u>2,852</u>
(c) Plant & Equipment Replacement		
Opening Balance	153,129	153,129
Amount Set Aside / Transfer to Reserve	2,017	818,201
Amount Used / Transfer from Reserve	-	-
	<u>155,146</u>	<u>971,330</u>
(d) Land & Buildings General		
Opening Balance	753,210	653,210
Amount Set Aside / Transfer to Reserve	204,921	83,811
Amount Used / Transfer from Reserve	-	(75,000)
	<u>958,131</u>	<u>662,021</u>
(e) Guilderton Caravan Park Recreation		
Opening Balance	222,713	222,713
Amount Set Aside / Transfer to Reserve	2,934	1,283
Amount Used / Transfer from Reserve	-	(90,000)
	<u>225,646</u>	<u>133,996</u>
(f) Shire Recreational Development		
Opening Balance	204,380	304,380
Amount Set Aside / Transfer to Reserve	2,692	4,272
Amount Used / Transfer from Reserve	-	(220,000)
	<u>207,072</u>	<u>88,652</u>
(g) Redfield Park Public Open Space		
Opening Balance	29,762	29,762
Amount Set Aside / Transfer to Reserve	392	622
Amount Used / Transfer from Reserve	-	-
	<u>30,154</u>	<u>30,384</u>

SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

	Feb Y-T-D Actual \$	2017/2018 Budget \$
RESERVES (continued)		
(h) Ocean Farm Recreation		
Opening Balance	36,564	36,564
Amount Set Aside / Transfer to Reserve	482	764
Amount Used / Transfer from Reserve	-	(7,237)
	<u>37,046</u>	<u>30,091</u>
(i) Tip Rationalisation		
Opening Balance	697,171	697,171
Amount Set Aside / Transfer to Reserve	9,183	14,573
Amount Used / Transfer from Reserve	-	(87,399)
	<u>706,354</u>	<u>624,345</u>
(j) Lancelin Community Sporting Club		
Opening Balance	49,002	49,002
Amount Set Aside / Transfer to Reserve	645	13,524
Amount Used / Transfer from Reserve	-	(10,000)
	<u>49,647</u>	<u>52,526</u>
(k) Community Infrastructure Reserve		
Opening Balance	87,429	87,429
Amount Set Aside / Transfer to Reserve	1,152	1,828
Amount Used / Transfer from Reserve	-	-
	<u>88,580</u>	<u>89,257</u>
(l) Staff Housing Reserve		
Opening Balance	31,740	31,740
Amount Set Aside / Transfer to Reserve	418	663
Amount Used / Transfer from Reserve	-	-
	<u>32,158</u>	<u>32,403</u>
(m) Future Infrastructure Reserve		
Opening Balance	531,524	531,524
Amount Set Aside / Transfer to Reserve	7,001	11,111
Amount Used / Transfer from Reserve	-	(244,240)
	<u>538,525</u>	<u>298,395</u>
(n) Guilderton Country Club Reserve		
Opening Balance	2,852	2,852
Amount Set Aside / Transfer to Reserve	38	60
Amount Used / Transfer from Reserve	-	-
	<u>2,889</u>	<u>2,912</u>
Total Cash Backed Reserves	<u>3,568,886</u>	<u>3,542,952</u>

All of the above reserve accounts are supported by money held in financial institutions.

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

	Feb Y-T-D Actual \$	2017/2018 Budget \$
4. RESERVES (Continued)		
Summary of Transfers		
To Cash Backed Reserves		
Transfers to Reserves		
Transfers to Reserves		
Long Service Leave, Sick Leave, Staff Contingency	6,758	10,725
Office Equipment Replacement	230	366
Plant & Equipment Replacement	2,017	818,201
Land & Buildings General	204,921	83,811
Guilderton Caravan Park Recreation	2,934	1,283
Shire Recreational Development	2,692	4,272
Redfield Park Public Open Space	392	622
Ocean Farm Recreation	482	764
Tip Rationalisation	9,183	14,573
Lancelin Community Sporting Club	645	13,524
Community Infrastructure	1,152	1,828
Staff Housing Reserve	418	663
Guilderton Country Club Reserve	38	60
Future Infrastructure Reserve	7,001	11,111
	<u>238,863</u>	<u>961,803</u>
Transfers from Reserves		
Long Service Leave, Sick Leave, Staff Contingency	-	-
Office Equipment Replacement	-	(15,000)
Plant & Equipment Replacement	-	-
Land & Buildings General	-	(75,000)
Guilderton Caravan Park Recreation	-	(90,000)
Shire Recreational Development	-	(220,000)
Redfield Park Public Open Space	-	-
Ocean Farm Recreation	-	(7,237)
Tip Rationalisation	-	(87,399)
Lancelin Community Sporting Club	-	(10,000)
Community Infrastructure	-	-
Staff Housing Reserve	-	-
Guilderton Country Club Reserve	-	-
Future Infrastructure Reserve	-	(244,240)
	<u>-</u>	<u>(748,876)</u>
Total Transfer to/(from) Reserves	<u>238,863</u>	<u>212,927</u>

In accordance with council resolutions in relation to each reserve account, the purpose for which the reserves are set aside are as follows: for which the reserves are set aside are as follows:

Long Service Leave, Sick Leave, Staff Contingency

Used to fund annual, long service leave, rostered days off (executive staff only), sick leave redundancy/retirement and staff contingency

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 TO 28 FEBRUARY 2018

Office Equipment Replacement Reserve

Used for the acquisition and/or replacement of major items of office equipment (including computer system)

Plant and Equipment Reserve

Used for the purchase of major plant and equipment

Land and Building General Reserve

Used for the replacement and/or acquisition of land and buildings

Guilderton Caravan Park Recreation

Used for the development of Guilderton Caravan Park facilities

Shire Recreational Development Reserve Shire Recreational Development Reserve

Used for the development of Shire Recreational facilities

Redfield Park Public Open Space Reserve

Used for the development of Public Open Space within the Redfield Park subdivision

Ocean Farm Recreation

Used for the development of recreation and community facilities within the Ocean Farm subdivision

Tip Rationalisation

Used for rationalisation of rubbish tip facilities within the Shire

Plant & Equipment/Infrastructure Replacement

Used for replacement of Fire Equipment and Infrastructure for fire fighting purposes within the Shire

Lancelin Community Sporting Club Reserve

Used in developing building and other associated infrastructure at the Lancelin Community Sporting Club and are to be spent upon request from the Club, and approval from Council

Community Infrastructure Reserve

Used to assist in the financing of community facilities

Staff Housing Contingency

Staff housing infrastructure additions and/or replacement

Future Infrastructure Reserve

Used for the provision of renewal, upgrade and asset purchases

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

	Actual Feb 2017/2018 Y-T-D Actual \$	Actual Brought Forward 1-Jul \$
5. NET CURRENT ASSETS		
Composition of Estimated Net Current Asset Position		
CURRENT ASSETS:		
Cash - Unrestricted	2,373,775	994,821
Cash - Restricted Reserves	4 3,568,886	3,330,023
Cash - Restricted General	884,991	909,991
Rates - Current	1,758,558	859,216
Sundry Debtors	578,358	1,160,020
Inventories	26,713	26,713
	<u>9,191,281</u>	<u>7,280,784</u>
LESS: CURRENT LIABILITIES		
Payables	(139,900)	(1,375,787)
Employee Provisions	(612,656)	(612,656)
Accrued Interest on Loans	0	(30,606)
	<u>(752,556)</u>	<u>(2,019,049)</u>
	8,438,725	5,261,735
Less: Cash - restricted reserves	4 (3,568,886)	(3,330,023)
NET CURRENT ASSET POSITION	<u>4,869,838</u>	<u>1,931,712</u>

SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

6. RATING INFORMATION

RATE TYPE	Rate in \$	Number of Properties	Rateable Value \$	2017/2018 Rate Revenue \$	2017/2018 Interim Rates \$	2017/2018 Back Rates \$	2017/2018 Total Revenue \$	2017/2018 Budget \$
General Rate								
GRV - Townsites	0.083499	1,743	28,508,235	2,380,547			2,380,547	2,380,547
GRV - Other	0.083499	923	14,815,362	1,267,167			1,267,167	1,267,167
UV - Rural	0.004504	422	286,427,000	1,287,887			1,287,887	1,287,887
UV - Other	0.004504	1	2,800,000	12,611			12,611	12,611
UV - Intensive	0.008448	184,468	64,543,000	553,403			553,403	553,403
Interim Rates					18,789		18,789	25,000
Back Rates						747	747	10,000
Sub-Totals		1,833,872	397,093,597	5,501,615	18,789	747	5,521,152	5,536,615
Minimum Rates	Minimum \$							
GRV - Townsites	997	289,795	6,752,442	869,384			869,384	869,384
GRV - Other	997	242,936	4,133,426	728,807			728,807	728,807
UV - Rural	1260	158,340	74,924,300	475,020			475,020	475,020
UV - Other	1260	10,080	675,764	30,240			30,240	30,240
UV - Intensive	2,240	71,680	15,554,347	215,040			215,040	215,040
Sub-Totals		772,830	102,040,279	2,318,491	0	0	2,318,491	2,318,491
Concessions					(94,284)		(94,284)	(95,000)
Rate Write Off							0	0
Ex-Gratia Rates							0	4,500
Totals		2,606,702	499,133,876	7,820,106	(75,495)	747	7,745,359	7,764,606

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

7. TRUST FUNDS

Funds held at balance date over which the Municipality has no control and which are not included in this statement are as follows:

Detail	Balance 01-Jul-17 \$	Amounts Received \$	Amounts Paid (\$)	Feb Y-T-D Actual \$
Bonds, Tenders etc	9,117			9,117
Car Parking Cash in Lieu	13,014			13,014
Community Groups	4,293			4,293
Councillors Nominations	-	560	560	-
D Wedge Trust	6,314	13		6,327
Excavation Bonds	26,096			26,096
Footpath Bonds	5,982			5,982
Landscaping Bonds	49,767			49,767
Old Junction Hotel Restoration	1,743			1,743
Other Bonds/Trusts	21,457	2,863	4,029	20,292
Public Open Space	34,465			34,465
Rehabilitation Bonds	85,831			85,831
Second Hand Buildings	47,639		5,000	42,639
Staff Trust	16,880	25,052	33,893	8,039
Subdivision Bonds	207,138			207,138
Tree Planting Bonds	5,456			5,456
Trust Interest	0	2,552	26	2,527
	535,193	31,040	43,507	522,725

SHIRE OF GINGIN
NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

8. OPERATING STATEMENT

	Feb 2017/2018 Y-T-D Actual \$	2017/2018 Budget \$	2016/2017 Actual \$
OPERATING REVENUES			
Governance	39	0	534
General Purpose Funding	8,498,878	8,934,925	10,555,255
Law, Order, Public Safety	243,292	449,083	779,095
Health	283,983	290,000	246,157
Education and Welfare	73,762	117,000	127,217
Housing	14,920	23,400	24,280
Community Amenities	1,409,514	1,663,038	2,335,826
Recreation and Culture	309,733	600,694	575,412
Transport	720,813	1,791,539	1,811,071
Economic Services	1,296,521	1,930,203	1,983,912
Other Property and Services	366,836	216,550	336,435
Restricted Cash	(24,041)	45,000	(626,578)
TOTAL OPERATING REVENUE	13,194,250	16,061,432	18,148,616
OPERATING EXPENSES			
Governance	(707,477)	(1,121,949)	(1,003,716)
General Purpose Funding	(247,706)	(371,628)	(425,934)
Law, Order, Public Safety	(861,826)	(1,341,733)	(1,484,151)
Health	(516,992)	(647,945)	(853,712)
Education and Welfare	(114,293)	(209,182)	(180,186)
Housing	(33,456)	(30,460)	(29,725)
Community Amenities	(1,430,346)	(2,650,997)	(2,250,652)
Recreation & Culture	(2,185,040)	(2,984,794)	(3,169,400)
Transport	(1,602,026)	(4,220,571)	(2,082,557)
Economic Services	(928,873)	(1,635,636)	(1,652,775)
Other Property and Services	(1,015,441)	(703,570)	(1,287,904)
Restricted Cash	(818)	509,176	0
TOTAL OPERATING EXPENSE	(9,644,295)	(15,409,289)	(14,420,713)
CHANGE IN NET ASSETS			
RESULTING FROM OPERATIONS	3,549,955	652,143	3,727,903

SHIRE OF GINGIN

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2017 to 28 FEBRUARY 2018

9. STATEMENT OF FINANCIAL POSITION

	Feb 2017/18 Y-T-D Actual \$	2016/2017 Actual \$
CURRENT ASSETS		
Cash Assets	3,258,766	1,904,812
Reserves - Cash Backed	3,568,886	3,330,023
Receivables - Cash	2,336,915	1,991,420
Receivables - Non Cash	30,446	40,593
Inventories	26,713	26,713
TOTAL CURRENT ASSETS	9,221,727	7,293,562
NON-CURRENT ASSETS		
Receivables	148,898	149,418
Inventories	-5	0
Property, Plant and Equipment	50,261,398	55,108,739
Infrastructure	104,602,732	99,969,173
TOTAL NON-CURRENT ASSETS	155,013,023	155,227,330
TOTAL ASSETS	164,234,750	162,520,891
CURRENT LIABILITIES		
Payables	139,900	1,338,110
Accrued Interest on Debentures	0	30,606
Interest-bearing Liabilities	49,371	0
Provisions	612,656	688,185
TOTAL CURRENT LIABILITIES	801,926	2,056,901
NON-CURRENT LIABILITIES		
Interest-bearing Liabilities	2,402,180	2,409,227
Provisions	262,497	152,503
TOTAL NON-CURRENT LIABILITIES	2,664,677	2,561,730
TOTAL LIABILITIES	3,466,603	4,618,631
NET ASSETS	160,768,147	157,902,260
EQUITY		
Reserves - Asset Revaluation	107,571,075	106,207,280
Reserves - Cash Backed	3,568,886	3,330,023
Retained Surplus	49,628,185	48,364,957
TOTAL EQUITY	160,768,147	157,902,260

APPENDIX 2

LIST OF ACCOUNTS PAID BY COUNCIL SUBMITTED TO THE
COUNCIL MEETING HELD APRIL 2018

TYPE	DATE PAID	NAME	DETAILS	AMOUNT
Chq/EFT				
EFT23952	01/03/2018	HERSEY JR & A	SAFETY ITEMS	632.71
EFT23953	01/03/2018	WA RANGERS ASSOCIATION INC	RANGER DECAL STICKERS FOR RANGER VI	67.00
EFT23954	01/03/2018	AVON WASTE	WASTE REMOVAL	35470.20
EFT23955	01/03/2018	GFAB	4 X FRAMES FOR FIRE SIGNS	8140.00
EFT23956	01/03/2018	AMPAC DEBT RECOVERY WA PTY LTD	DEBT RECOVERY - RATES	2103.04
EFT23957	01/03/2018	SEASTARZ SWIM SCHOOL	SEASTARZ SWIMMING LESSONS	270.70
EFT23958	01/03/2018	DEPT OF LOCAL GOVERNMENT	UNSPENT FUNDS - O EDWARDS, SCHOLARSHIP	845.00
EFT23959	02/03/2018	VCM	COFFE/RENTAL COFFEE MACHINE	110.00
EFT23960	02/03/2018	AQUA ATTACK DRILLING	20M DRILL AND CASE 100MM BORE WITH STAINLESS STEEL SCREEN @ KEY BISCAYNE PARK, LEDGE POINT	2530.00
EFT23961	02/03/2018	CANNON HYGIENE	STANDARD 12 MONTHLY SERVICE	5017.82
EFT23962	02/03/2018	HERSEY JR & A	PROTECTIVE CLOTHING	1639.89
EFT23963	02/03/2018	CAROLA CRANSWICK	CATERING - WALGA AVON MIDLAND ZONE I	500.00
EFT23964	02/03/2018	MOORE RIVER ELECTRICAL SERVICES	AGED UNITS LANCELIN - CALLOUT AS RCD TRIPPING - CAUSED BY KETTLE	100.00
EFT23965	02/03/2018	COMMERCIAL AIR SOLUTIONS (CAS)	NOVEMBER 2017 SCHEDULED MAINTENANCE AS PER ATTACHED SERVICE REPORT - GINGIN SHIRE OFFICES	929.23
EFT23966	02/03/2018	T-QUIP	ENGINE OIL FILTER	38.85
EFT23967	02/03/2018	LEDGE'S SKIP BIN HIRE	SKIP BIN HIRE - LANCELIN JETTY	1760.00
EFT23968	02/03/2018	NORTHERN VALLEY NEWS	ADVERTISING	800.00
EFT23969	02/03/2018	COVS PARTS PTY LTD	1 X BATTERY HP MF 12V 720CCA	667.19
EFT23970	02/03/2018	MOORE RIVER SKIP BINS	PICKUP OF RECYCABLES FROM LA	1320.00
EFT23971	02/03/2018	FPD FOOD SERVICES PTY LTD	POOL KIOSK SUPPLIES	456.85
EFT23972	02/03/2018	NORTHERN VALLEY FRUIT POPS	POPSICLES	100.00
EFT23973	02/03/2018	GINGIN FUEL AND TYRES	BOLTS - GG073	6.40
EFT23974	02/03/2018	OGP SALES	LANCELIN TRIATHLON 2018 - 2CX VERTEX VX-426 NB HIRE RADIO	308.00
EFT23975	02/03/2018	PRECISION AIR CONDITIONING (WA)	SEABIRD TIP - SUPPLY AND INSTALL NEW AIRCONDITIONER	2640.00
EFT23976	02/03/2018	COMMERCIAL LOCKSMITHS	LCSC - INSTALL 2 X NEW LEVERSETS UNDE	717.20
EFT23977	02/03/2018	FRONTLINE FIRE AND RESCUE EQUIP	SAFETY ITEMS	2408.92
EFT23978	02/03/2018	GENELITE	SUPPLY AND INSTALLATION OF 100KVA BACKUP GENERATOR WITH AN AUTOMATIC TRANSFER SWITCH AT THE GINGIN SHIRE OFFICE	32960.00
EFT23979	02/03/2018	FPD FOOD SERVICES PTY LTD	POOL KIOSK SUPPLY	200.50
EFT23980	02/03/2018	STATE LAW PUBLISHER	LND467 - LOCAL PLANNING SCHEME NO.9	367.18
EFT23981	07/03/2018	DFES	ESL FOR FEBRUARY 2018	10296.95
EFT23982	07/03/2018	WORKFORCE ROAD SERVICES	LINEMARKING ON SEABIRD ROAD	6797.45
EFT23983	07/03/2018	ASHLEYS ELECTRICAL SERVICES	REPLACE DIN RAIL AND FIND FAULT IN FRIDGE	624.25
EFT23984	07/03/2018	MARKETFORCE PRODUCTIONS	ADVERTISING	2448.00
EFT23985	07/03/2018	QUALITY TRAFFIC MANAGEMENT	TRAFFIC CONTROL	5326.75
EFT23986	07/03/2018	RSA SIGNS PTY LTD	SIGNS	581.90
EFT23987	07/03/2018	COATES HIRE	HIRE 2 MESSAGE BOARDS - TRIATHLON	4352.29
EFT23988	07/03/2018	JOANNE TONNA GRAPHIC DESIGN	ADVERTISING	270.00
EFT23989	07/03/2018	MIDLAND TROPHIES	CHAMBER PLAQUES	142.00
EFT23990	07/03/2018	GINGIN FLORIST	FLOWERS	90.00
EFT23991	07/03/2018	HERSEY JR & A	PPE	365.15
EFT23992	07/03/2018	KUSTERS. THOMAS	REPLACE OUTLET VALVE SEAL ON CISTERN - LASC	50.00
EFT23993	07/03/2018	MARKETFORCE PRODUCTIONS	ADVERTISING	414.38
EFT23994	07/03/2018	ENZED PERTH	REPLACE WATER PUMP MOTOR ON GG02, MODIFY PIPES AND FITTINGS	3619.46
EFT23995	07/03/2018	TUTT BRYANT	1 X LEVER (PEDESTRIAN ROLLER)	341.64
EFT23996	07/03/2018	ALANCO AUSTRALIA	UHF FIT OUTS	1220.58
EFT23997	07/03/2018	WHEELS & KEELS AUTO ELECTRICAL	INSTALL 24V-12V BATTERY EQUALISER	964.39
EFT23998	07/03/2018	COVS PARTS PTY LTD	DOUBLE OXY HAND TRUCK TSOXY	773.18
EFT23999	07/03/2018	DAIMLER TRUCKS PERTH	GG048 - CALIPERS/BRAKE PADS/PAD KITS/OIL SEALS AND PRIMEGEAR SEAL	2165.86
EFT24000	07/03/2018	GINGIN PREMIUM MEATS	CATERING	108.91
EFT24001	07/03/2018	ARROW BRONZE	BRONZE PLAQUE	606.86
EFT24002	07/03/2018	GINGIN FUEL AND TYRES	NITROGEN PRESSURE LEAK TEST KIT	1043.75
EFT24003	07/03/2018	STATE LAW PUBLISHER	ADVERTISING	214.80
EFT24004	07/03/2018	AUSRECORD PTY LTD	2D FOOLSCAP FILES WHITE - PKT 100	124.30
EFT24005	07/03/2018	ENZED PERTH	TAIL PIECE FOR GG02	41.22
EFT24006	07/03/2018	LOCAL GOV PROFESSIONALS	FINANCE CONFERENCE KAYE LOWES	1100.00
EFT24007	07/03/2018	TUTT BRYANT	HANDLE FOR ROLLER	93.08
EFT24008	07/03/2018	AUSTRALIAN TRAINING MANAGEMENT	CHAINS/SAW TICKET FOR SIMON MOIR	275.00
EFT24009	07/03/2018	TONER PLUS	TONER FOR LICENCING PRINTER	180.15
EFT24010	07/03/2018	ALANCO AUSTRALIA	GG009 BONNET LIGHT AND GLOBE	120.54
EFT24011	07/03/2018	COVS PARTS PTY LTD	SERVICE KIT	191.86
EFT24012	07/03/2018	HAYS RECRUITING	ENGINEER SUPPLIED BY HAYS RECRUITMENT FOR OPERATIONS DIVISION	6026.53

EFT24013	07/03/2018	COURIER AUSTRALIA	FREIGHT	54.29
EFT24014	07/03/2018	GINGIN FUEL AND TYRES	S95D31LHD BATTERY X 1	265.26
EFT24016	07/03/2018	WA LIBRARY SUPPLIES	SHELVING FOR LANCELIN LIBRARY JK	1565.60
EFT24017	08/03/2018	RSPCA WA (INC.)	PAYROLL DEDUCTIONS	10.00
EFT24018	08/03/2018	LGRCEU (WA DIVISION)	PAYROLL DEDUCTIONS	82.00
EFT24019	08/03/2018	HIF	PAYROLL DEDUCTIONS	157.55
EFT24020	08/03/2018	SOCIAL CLUB TRUST SHIRE OF GINGIN	PAYROLL DEDUCTIONS	1324.00
EFT24021	08/03/2018	PAYWISE	VEHICLE LEASE	1873.12
EFT24022	08/03/2018	AUSTRALIA POST	POSTAGE	992.95
EFT24023	09/03/2018	COLIN WAYNE FEWSTER	QUARTERLY PAYMENT	2505.00
EFT24024	09/03/2018	JUSTIN KIMBERLEY RULE	QUARTERLY PAYMENT	2505.00
EFT24025	09/03/2018	IAN BYRON COLLARD	QUARTERLY PAYMENT	7255.00
EFT24026	09/03/2018	FRANK JOHNSON	QUARTERLY PAYMENT	2505.00
EFT24027	09/03/2018	JANICE COURT	QUARTERLY PAYMENT	2505.00
EFT24028	09/03/2018	JOHN WILLIAM ELGIN	QUARTERLY PAYMENT	3505.00
EFT24029	09/03/2018	JAMES EDWARD MORTON	QUARTERLY PAYMENT	2505.00
EFT24030	09/03/2018	FRANK JOSEPH PECZKA	QUARTERLY PAYMENT	2505.00
EFT24031	09/03/2018	JACQUELINE CHRISTINE LOBB	QUARTERLY PAYMENT	2505.00
EFT24032	09/03/2018	MR RUBBER STAMPS	APPROVED DATE STAMP	85.33
EFT24033	12/03/2018	COS COMPLETE OFFICE SUPPLIES PTY	STATIONERY	161.51
EFT24034	12/03/2018	CELLARBRATIONS GINGIN	REFRESHMENTS	47.00
EFT24035	12/03/2018	DARRYL BRENDON FERGUSON	LAY PAD FOR EMULSION STORAGE	
			CONTAINER.	275.00
			POSTAGE	43.00
EFT24036	12/03/2018	AUSTRALIA POST	CHAIN SAW SAFETY HANDLING COURSE	275.00
EFT24037	12/03/2018	AUSTRALIAN TRAINING MANAGEMENT	CATERING FOR (CEO) SEND-OFF	630.00
EFT24038	12/03/2018	WEST COAST HONEY	CHEMICALS	197.89
EFT24039	12/03/2018	SIGMA CHEMICALS	FEBRUARY ACCOUNT 2018	169.97
EFT24040	12/03/2018	LANCELIN 7 DAY SUPERMART IGA	CATERING FOR (CEO) SEND-OFF	127.50
EFT24041	12/03/2018	GINGIN PREMIUM MEATS	STATIONERY	85.95
EFT24042	12/03/2018	OFFICEWORKS	REMOVE AND REPLACE FLURO LIGHTS	930.51
EFT24043	12/03/2018	GINGIN ELECTRICAL PTY LTD	PROPERTY VALUATIONS	642.27
EFT24044	12/03/2018	LANDGATE	CONTRACT MANAGEMENT LA LANDFILL	15180.00
EFT24045	12/03/2018	TONY PISCONERI	PUSHING TIPS UP 5 MONTHS	52336.00
EFT24046	12/03/2018	HAROLD ARNOLD MORRIS	WASTE COLLECTION	17066.80
EFT24047	12/03/2018	AVON WASTE	ABLUTION CLEANING	3904.00
EFT24048	12/03/2018	COASTLINE CLEANING SERVICES	REMOVE SEPTIC WASTE GG LANDFILL	80.00
EFT24049	12/03/2018	CHITTERING SEPTIC SERVICE	SKIP BIN HIRE - LANCELIN JETTY	3080.00
EFT24050	12/03/2018	LEDGE'S SKIP BIN HIRE	WORKSHOP DUTIES	1048.89
EFT24051	12/03/2018	WHEELS & KEELS AUTO ELECTRICAL	MONTHLY HALL CLEAN-BUS FUEL /CLEAN	750.00
EFT24052	12/03/2018	SIELDS POWER CLEAN	PUBLIC CONVENIENCE CLEANING	6801.37
EFT24053	12/03/2018	KEVIN VINE	SUPPLY AND ERECT SHED	6747.84
EFT24054	12/03/2018	WA SHED COMMERCIAL PTY LTD	300 TONNE OF FILL SAND FOR SEABIRD	
EFT24055	12/03/2018	MOORE SANDS RESOURCES	TIP	6930.00
EFT24056	13/03/2018	INSTITUTE OF PUBLIC WORKS	BUILDINGS PLUS SUBSCRIPTION FEE	641.66
EFT24057	13/03/2018	GRO-TURF PTY LTD	TURF MAINTENANCE	33904.99
EFT24058	13/03/2018	BINDOON TRACTORS	WHIPPER SNIPPER CORD X 3	181.35
EFT24059	13/03/2018	LYNLEY FAYE FEWSTER	JEREMY'S GIFT - PAINTING OF GRANVILLE 1	450.00
EFT24060	13/03/2018	HAROLD ARNOLD MORRIS	PUSHING UP OF LANDFILLS	9504.00
EFT24061	13/03/2018	STEWART AND HEATON CLOTHING	J545 JACKET 1X SIZE 112, 1 X SIZE 102	280.59
EFT24062	13/03/2018	CITY OF WANNEROO	ISSUE CERTIFICATE OF DESIGN	
			COMPLIANCE - SHADE SAILS AT LP	
			BOWLING CLUB	350.00
EFT24063	13/03/2018	COO-EE COURIERS	COURIER FEES	990.79
EFT24064	13/03/2018	HERSEY JR & A	2 X LITTER PICKERS (EZR6553)	126.50
EFT24065	13/03/2018	LEDGE POINT HARDWARE	BOLTS AND WASHERS	5.40
EFT24066	13/03/2018	WALGA	EFFECTIVE SUPERVISION - PART 1 - LEIGH SOLOMON	1012.00
EFT24067	13/03/2018	COUNTRYWIDE PUBLICATIONS	ADVERTISING GU C/PARK	400.00
EFT24068	13/03/2018	WATERLOGIC AUSTRALIA PTY LTD	WATER COOLER RENTAL	133.10
EFT24069	13/03/2018	RSA SIGNS PTY LTD	STREET NAME PLATE - WHITFIELD ST	40.70
EFT24070	13/03/2018	DAIMLER TRUCKS PERTH	GG028 - SERVICE AND REPAIRS	10608.96
EFT24071	13/03/2018	PFD FOOD SERVICES PTY LTD	POOL KIOSK SUPPLY	328.30
EFT24072	13/03/2018	LANCELIN TRADE/ RURAL SUPPLIES	MAINTENANCE ITEMS - FEB 18	3583.30
EFT24073	13/03/2018	MOORE RIVER ROADHOUSE	FUEL - FEBRUARY 2018	794.95
EFT24074	13/03/2018	VCM	COFFEE/RENTAL COFFEE MACHINE	55.00
EFT24075	13/03/2018	MIDLAND TROPHIES	MEDALLIONS - LA TRIATHLON	782.00
EFT24076	13/03/2018	MCLEODS	RE: LEGAL AGREEMENT: LANCELIN PLAZA LAND & LOT 1023 HOPKINS STREET	201.75
EFT24077	13/03/2018	JANICE COURT	TRAVEL EXPENSES - AUGUST 2017 TO FEBI	2547.00
EFT24078	13/03/2018	LEDGE POINT COMMUNITY ASSOC	FACE PAINTING - UNREAL KIDS PARTIES	214.00
EFT24079	13/03/2018	TUTT BRYANT	ROLLER - 10 -24 TONNE - MULTI TYRED - HIF	810.15
EFT24080	13/03/2018	WRIGHT EXPRESS	FUEL CARDS - FEB 18	3063.80
EFT24081	13/03/2018	TRUCK CENTRE WA PTY LTD	GG002 - SERVICING PARTS	713.29
EFT24082	13/03/2018	DAIMLER TRUCKS PERTH	GG088 - REPAIRS TO GS CONTROL UNIT	1021.55
EFT24083	13/03/2018	GINGIN PREMIUM MEATS	LISA'S FAREWELL	122.50
EFT24084	13/03/2018	PAV EVENTS	EQUIPMENT HIRE WITH OPERATOR - MELODY AND MOVIE IN THE PARK - 03/03/18	2433.75
EFT24086	13/03/2018	GOBBADOC PTY LTD	NORTHERN GROWTH ALLIANCE TOURISM PLAN FEES	8656.35
EFT24087	13/03/2018	AUSTRALIA POST	POSTAGE - FEB/MARCH 2018	1700.74
EFT24088	13/03/2018	COURIER AUSTRALIA	WORKSHOP COURIER FEES	67.67
EFT24089	13/03/2018	GINGIN FUEL AND TYRES	TYRES - GG6017	1814.00

EFT24090	13/03/2018	WORKFORCE ROAD SERVICES	LINE AND EDGE LINE PAINTING	10989.57
EFT24091	13/03/2018	HERSEY JR & A	PPE	168.10
EFT24092	13/03/2018	LEDGE POINT HARDWARE	COUPLINGS, ELBOWS FOR RETIC	169.40
EFT24093	13/03/2018	WALGA	SELECTION PROCESS NEW CEO	18563.27
EFT24094	13/03/2018	HELEN MARIE SAMPSON	FREIGHT FOR E-WASTE FROM GINGIN	
			REFUSE SITE TO PERTH	407.00
EFT24095	13/03/2018	GINGIN TREE SERVICES PTY LTD	PRUNING OF COTTON PALMS	1540.00
EFT24096	13/03/2018	OFFICEWORKS	STANDING TABLE	535.23
EFT24097	13/03/2018	MOORE STEPIENS	AUDIT FEE FOR DEFERRED RATES 16/17	550.00
EFT24098	13/03/2018	ADVANCE OFFICE SOLUTIONS	INK FOR FRANKING MACHINE	660.55
EFT24099	13/03/2018	MOORE DEMO & CIVIL	REMOVE ASBESTOS DRAIN PIPES	1094.50
EFT24100	13/03/2018	JE MIEL T/AS GINGIN IGA EXPRESS	FEBRUARY ACCOUNT 2018	701.90
EFT24101	15/03/2018	THE JAFFA ROOM NORTHSTAR ASSET F	COPYRIGHT TO SCREEN BOSS BABY	550.00
EFT24102	15/03/2018	LA ANGLING AND AQUATIC CLUB INC.	JOHN BRAY FISHING COMPETITION	700.00
EFT24103	15/03/2018	CEMETERIES/CREMATORIA ASSOC	REGISTRATION OF L BURT - 2018	
			CEMETERIES & CREMATORIA	
			ASSOCIATION WA CONFERENCE	155.00
EFT24104	15/03/2018	MOORE RIVER ELECTRICAL SERVICES	REPLACE 2 X SMOKE ALARMS	429.00
EFT24105	15/03/2018	FV & M SMIT TRUST ACCOUNT	STAFF COSTS GG MEDICAL CENTRE	5189.11
EFT24106	15/03/2018	TONER PLUS	POOL TONER	79.70
EFT24107	15/03/2018	COVS PARTS PTY LTD	BRAKE DISC PAD SETS	489.12
EFT24108	15/03/2018	JB HI-FI	VIDEO TRANSMITTER FOR COUNCIL	
			CHAMBERS EPSON PROJECTOR -	
			ELPH001, HD-BASET TRANSMITTER	
			EPSON	395.00
EFT24109	15/03/2018	M P ROGERS & ASSOCIATES PTY LTD	DETAILED DESIGN OCEAN BOAT	
			LAUNCHING FACILITY LEDGE POINT - SEE	
			PO 106001 30/1/2016	20141.25
EFT24110	15/03/2018	LANDGATE	RATES- VALUATION COSTS 17/18	38.35
EFT24111	15/03/2018	FUEL DISTRIBUTORS OF WA PTY LTD	8,000 LITRES OF DIESEL	8258.26
EFT24112	16/03/2018	101 RESIDENTIAL PTY LTD	REFUND OF PLANNING FEES	827.00
EFT24113	16/03/2018	GINGIN TRADING	GINGIN TRADING - MAINTENANCE ITEMS	2164.38
EFT24114	21/03/2018	GEOFFRY LIDDELOW	MANAGEMENT OF GU CI PARK FEBRUARY 2	44567.13
EFT24115	21/03/2018	CELLARBRATIONS GINGIN	REFRESHMENTS	174.95
EFT24116	21/03/2018	MCLEODS	MQ RESOURCES PTY LTD & MODCO MC	
			PTY LTD - UNLAWFUL DUMPING OF	
			LANDFILL - LOT 98 BREERA	977.91
EFT24117	21/03/2018	QUALITY TRAFFIC MANAGEMENT	SUPPLY OF TRAFFIC MANAGEMENT PLAN	
			FOR LANCELIN TRIATHLON 18 FEBRUARY	
			2018.	3085.50
EFT24118	21/03/2018	GR THOMSON TRUCK HIRE	WATER LOADS	9979.75
EFT24119	21/03/2018	DVG WANNEROO MITSUBISHI	SERVICING REPAIR KITS	1399.85
EFT24120	21/03/2018	DUDDLEY CHEMICALS PTY LTD	GU CARAVAN PARK - CLEANING	4238.98
EFT24121	21/03/2018	DOUBLEVIEW EARTHMOVING	KERBING INFOIL FOR ISLAND TO FACILITAT	3982.00
EFT24122	21/03/2018	RSA SIGNS PTY LTD	DIRECTIONAL AND REGULATORY SIGNS FO	810.70
EFT24123	21/03/2018	KOOKABURRA BINS	TRANSPORTATION OF GLASS FOR RECYCLI	440.00
EFT24124	21/03/2018	WHEELS & KEELS AUTO ELECTRICAL	VEHICLE REPAIRS/PARTS	1063.39
EFT24125	21/03/2018	PROFORM CIVIL	MARK OUT TOP CARP PARK READY FOR	
			LINE MARKING AND KERBING OFF GORDON	
			STREET, GULDERTON.	2620.20
EFT24126	21/03/2018	CURNOW GROUP HIRE PTY LTD	RETENTION FUNDS FOR GUILERTON BOAT	
			RAMP JETTY CONSTRUCTION AND	
			CARPARK RENEWAL	9469.66
EFT24127	21/03/2018	GINGIN FUEL AND TYRES	TYRES - GG6017	1235.20
EFT24128	21/03/2018	KLEENHEAT GAS PTY LTD	GAS SUPPLY - MARCH 18	2057.49
EFT24129	22/03/2018	PICNIC TABLES HIRE	ARTS IN THE PARK - PICNIC TABLE AND	
			UMBRELLA HIRE X10 PLUS DELIVERY FEE	1760.00
EFT24130	22/03/2018	PAYWISE	VEHICLE LEASE	763.33
EFT24131	22/03/2018	BITUTEK PTY LTD	RESEAL OF BEERMULLAH ROAD WEST	
			SLK 17.60 TO 21.00	198973.50
EFT24132	22/03/2018	AUSTRALIAN TAXATION OFFICE	FEBRUARY BAS 2018	39271.00
EFT24133	23/03/2018	HITACHI	1 X COVER	1075.57
EFT24134	23/03/2018	VCM	COFFEE MACHINE RENTAL	55.00
EFT24135	23/03/2018	COMMUNITY NEWSPAPER GROUP	ADVERTISING	2188.86
EFT24136	23/03/2018	ENZEO PERTH	REMOVED AND REPAIRED LEAKING	
			STEERING CYLINDER ON ROLLER - PARTS	
			AND LABOUR	864.50
EFT24137	23/03/2018	DVG WANNEROO MITSUBISHI	FILTERS	275.00
EFT24138	23/03/2018	RSA SIGNS PTY LTD	BLACK/YELLOW TAG	18.70
EFT24139	23/03/2018	PEDDERS SUSPENSION - JOONDALUP	GG073 - WHEEL ALIGNMENT	99.00
EFT24140	23/03/2018	NORTHERN VALLEY NEWS	VARIOUS ADVERTISEMENTS	1220.00
EFT24141	23/03/2018	ALANCO AUSTRALIA	PGG039 - 3 X 10 WAY JUNCTION BOX	133.68
EFT24142	23/03/2018	COVS PARTS PTY LTD	GG086 - FILTERS	73.48
EFT24143	23/03/2018	DEPARTMENT OF TRANSPORT	VEHICLE OWNERSHIP DETAILS FOR PARKIN	224.45
EFT24144	23/03/2018	DAIMLER TRUCKS PERTH	HOSE - RADIATOR UPPER AND CLAMPS	124.32
EFT24145	23/03/2018	IRON MOUNTAIN AUSTRALIA	MONTHLY STORAGE - FEB 18	382.70
EFT24146	23/03/2018	EXPERIENCE LA HOLIDAY PARK	REFUND FOR LANCELIN CARAVAN PARK	
			LONG TERM OVERPAYMENTS	2756.15
EFT24147	23/03/2018	GRID GARAGES SHEDS AND PATIOS	REFUND OF OVERPAYMENT OF CTI FEE	59.48
EFT24148	23/03/2018	BUNNINGS BUILDINGS SUPPLIES	1 X TOOL BOX - GG056	765.45
EFT24149	23/03/2018	COURIER AUSTRALIA	COURIER FEES - FEB 18	100.66
EFT24150	23/03/2018	GINGIN FUEL AND TYRES	TYRE FIT AND BALANCE - GG049	179.82
EFT24151	23/03/2018	VISION AUSTRALIA PTY LTD	MONTHLY HOSTING FEE - FEB 18	220.00

EFT24152	23/03/2018	RSPCA WA (INC.)	PAYROLL DEDUCTIONS	10.03
EFT24153	23/03/2018	LGRCEU (WA DIVISION)	PAYROLL DEDUCTIONS	82.00
EFT24154	23/03/2018	HIF	PAYROLL DEDUCTIONS	157.55
EFT24155	23/03/2018	SOCIAL CLUB TRUST	PAYROLL DEDUCTIONS	1324.00
EFT24156	23/03/2018	WHEELS & KEELS AUTO ELECTRICAL	ELECTRICAL WORKS ON VEHICLES	2291.78
EFT24157	23/03/2018	PRO SURVEYS	SEABIRD SEAWALL MONITORING	1919.50
EFT24158	23/03/2018	DARRYL BRENDON FERGUSON	CLEAN UP OF SALE YARDS	770.00
EFT24159	23/03/2018	MIDWEST BUILDERS WA P/L	INSTALLATION OF ACCESS RAMP AND CONCRETE PATH FOR GINGIN BOWLING CLUB	2370.00
EFT24160	23/03/2018	GINGIN TREE SERVICES PTY LTD	REMOVE TREES ON HARPER DRIVE, LP	2420.00
EFT24161	23/03/2018	WEST COAST BLINDS	13 X ROLLER BLINDS FOR SEABIRD HALL	2786.00
EFT24162	23/03/2018	ALANCO AUSTRALIA	JUNCTION BOXES	54.10
EFT24163	23/03/2018	COVS PARTS PTY LTD	BULK 25M CABLE - 4 PIECE	190.39
EFT24164	23/03/2018	DAIMLER TRUCKS PERTH	CYLINDER HEAD	61.44
EFT24165	23/03/2018	PACIFIC BRANDS WORKWEAR	UNIFORMS - STAFF	1828.92
EFT24166	23/03/2018	WA SHED COMMERCIAL PTY LTD	SUPPLY AND ERECT SHED	13813.96
EFT24167	23/03/2018	PAV EVENTS	LA COUNCIL MEETING AUDIO SETUP	3555.95
EFT24168	23/03/2018	NORTHERN VALLEY FRUIT POPS	POOL KIOSK SUPPLY	75.00
EFT24169	23/03/2018	GINGIN FUEL AND TYRES	TYRES	190.00
EFT24170	23/03/2018	IT VISION AUSTRALIA PTY LTD	BOARD LICENCES ADDING ADDITION	8415.00
EFT24171	23/03/2018	HITACHI	HINGE - GG003	24.70
EFT24172	23/03/2018	COS	STATIONERY	279.85
EFT24173	23/03/2018	COUNTRY COPIERS NORTHAM	PHOTOCOPIER METER READING/SERVICE	1854.18
EFT24174	23/03/2018	QUALITY TRAFFIC MANAGEMENT	TRAFFIC CONTROL	3718.00
EFT24175	23/03/2018	WURTH AUSTRALIA PTY LTD	BATTERY PACKS AND BRAKE CLEANER	492.49
EFT24176	23/03/2018	OFFICEMAX AUSTRALIA LTD	PALLET OF PAPER, STATIONARY	1821.65
EFT24177	23/03/2018	LANCELIN GULL ROADHOUSE	GG020 AND 5GG FUEL	542.71
EFT24178	23/03/2018	RSA SIGNS PTY LTD	CASSERLEY WAY SIGN	40.70
EFT24179	23/03/2018	GFAB	MODIFICATIONS/KANGA PLANT TRAILER	1828.00
EFT24180	23/03/2018	WHEELS & KEELS AUTO ELECTRICAL	GG016 AND GG002	1063.39
EFT24181	23/03/2018	DAIMLER TRUCKS PERTH	HEAD GASKET - GG086	19.47
EFT24182	23/03/2018	AHG TRADE PARTS CENTRE	COVER AND CAP FOR GG009	795.40
EFT24183	23/03/2018	LOCAL COMMUNITY INSURANCE	PUBLIC LIABILITY INSURANCE - UNINSURED BUSKERS, PERFORMERS, STALLHOLDERS AND ENTERTAINERS UP UNTIL 13/03/2019	660.00
EFT24184	26/03/2018	MCLEODS	LEGAL ADVICE - LOT 11 OLD MOOLABEENEE ROAD, GINGIN	2519.79
EFT24185	26/03/2018	DUNNIFY CHEMICALS PTY LTD	TOILETRIES/CLEANING PRODUCTS	6285.18
EFT24186	26/03/2018	LGIS RISK MANAGEMENT	LANCELIN OFF-ROAD AREA - LIABILITY RISK ASSESSMENT	8778.00
EFT24187	26/03/2018	MIDLAND TROPHIES	GG TRIATHLON PRIZE MEDALLIONS X35	892.50
EFT24188	26/03/2018	MCLEODS	REVIEW OF EASEMENT - LOT 201 DEE SWAMP ROAD	208.35
EFT24189	26/03/2018	MOORE RIVER ELECTRICAL	REPAIR BBQ'S GU FORESHORE	132.00
EFT24190	26/03/2018	COMMERCIAL AIR SOLUTIONS (CAS)	AIR CONDITIONER MAINTENANCE	528.00
EFT24191	26/03/2018	HELEN MARIE SAMPSON	FREIGHT RECYCLABLES TO PERTH	407.00
EFT24192	26/03/2018	AVON WASTE	HIRE CHARGE AND PURCHASE OF BINS	17181.10
EFT24193	26/03/2018	FV & M SMIT TRUST ACCOUNT	DOCTOR'S SUPPORT	3143.01
EFT24194	26/03/2018	SLATER-GARTRELL SPORTS	GINGIN TRIATHLON SINGLET'S X 155	5676.00
EFT24195	26/03/2018	KAKADU SYSTEMS	GUILDERTON CARAVAN PARK WEBSITE AND DOMAIN HOSTING FOR THE PERIOD 1 JANUARY 2018 - 30 JUNE 2018	185.00
EFT24196	26/03/2018	GFAB	SUPPLY GRATE FOR STOM WATER DRAIN AT DE BURGH ST, LEDGE POINT	528.00
EFT24197	26/03/2018	ECOWATER SERVICES	C40 QUARTERLY SERVICE	651.60
EFT24198	26/03/2018	MARTIN'S TRAILER PARTS	2 X FORD ELECTRIC HUBDRUM 2 X BEARING AND SEAL 2 X 10/2-1/4 ELECTRIC BRAKE : TRAILERCK	450.08
EFT24199	26/03/2018	HAYS RECRUITING	ENGINEER SUPPLIED BY HAYS RECRUITMENT FOR OPERATIONS DIVISION	5482.08
EFT24200	26/03/2018	PFD FOOD SERVICES PTY LTD	POOL KIOSK SUPPLY	200.10
EFT24201	26/03/2018	JASON INDUSTRIES & SIGNMAKERS	POSTS	2160.13
EFT24202	26/03/2018	CLUBS WA INC	MEDIATION AND FEASIBILITY STUDY - GUILDERTON COUNTRY CLUB AND GUILDERTON BOWLS	2000.00
EFT24203	29/03/2018	HITACHI	GG001 - Label	89.92
EFT24204	29/03/2018	CRC	ARTS IN THE PART EVENT	5830.00
EFT24206	29/03/2018	GOLDFIELDS DEANS AUTOGLASS	SUPPLY AND FIT WINDSCREEN TO GG028	1430.00
EFT24207	29/03/2018	TRACY HACAN	REIMBURSEMENT FOR SOGG MOBILE PHONE SCREEN REPAIR	55.00
EFT24208	29/03/2018	SONIC HEALTHPLUS PTY LTD	TRAVIS GALBRAITH - MEDICAL	446.60
EFT24209	29/03/2018	EASTERN HILLS SAWS & MOWERS	SPARK PLUGS AND REPAIR KIT	40.51
EFT24210	29/03/2018	TUTT BRYANT HIRE	ROLLER - 19-24TON	810.15
EFT24211	29/03/2018	JOANNE TONNA GRAPHIC DESIGN	ARTWORK FOR ANZAC FLYER	300.00
EFT24212	29/03/2018	DANIEL'S PRINTING CRAFTSMEN	STRATEGIC COMMUNITY PLAN - REPRINT	534.60
EFT24213	29/03/2018	GO5BADOC PTY LTD	NORTHERN GROWTH ALLIANCE TOURISM FEES	10743.85
EFT24214	29/03/2018	GINGIN FUEL AND TYRES	3 X TYRES - FIT/BALANCE	285.00
EFT24215	29/03/2018	LANDGATE	ONLINE TRANSACTION SUMMARY FEB 2018	177.10
EFT24216	29/03/2018	WA LIBRARY SUPPLIES	SHELVING FOR GINGIN LIBRARY	334.30
EFT24217	29/03/2018	TUTT BRYANT HIRE	ROLLER HIRE 16/01/18 TO 31/01/18	2138.40

EFT24218	29/03/2018 WASTE & RECYCLE CONFERENCE KEYI W/HEATBELT CONFERENCE 2018 - REGISTRATION AND DINNER	1260.00
EFT TOTAL		943,216.23
CHEQUES		
115476	01/03/2018 KEYSTART	RATES REFUND 772.25
115477	01/03/2018 CONSTRUCTION TRAINING FUND	BCIF LEVY PAYMENT - JANUARY 18 2165.12
115478	02/03/2018 PARKS AND WILDLIFE SERVICE	EMERGENCY SERVICES DIRECTORY 5705.07
115479	06/03/2018 PETTY CASH SHIRE OF GINGIN	REIMBURSEMENT FOR PETTY CASH 608.30
115480	07/03/2018 DIANNE MILLER	REIMBURSEMENT 372.40
115481	07/03/2018 SHIRE OF GINGIN	BOOKING OF COMMUNITY BUS 347.20
115482	07/03/2018 ROBERT HECTOR ALLAN	RATES REFUND 474.50
115483	07/03/2018 JOHN GRAHAM MORRISSEY	RATES REFUND 667.45
115484	08/03/2018 SHIRE OF GINGIN	PAY ENDING 6/3/18 1970.00
115486	12/03/2018 TELSTRA	FIRE - MOBILES AND INTERNET 259.80
115487	12/03/2018 KIDSAFE WA	PLAYGROUND INSPECTION TRAINING COURSE 1650.00
115488	13/03/2018 SHIRE OF GINGIN	SALARIES/WAGES - PE 12.03.18 LOTTO 5.00
115489	13/03/2018 SHIRE OF CHITTERING	BUILDING SURVEYOR COSTS SHARED RESOURCE 18/10/17 TO 07/02/18 19113.53
115490	13/03/2018 DEPARTMENT OF ENVIRONMENT	WASTE MANAGEMENT LICENCE 854.40
115491	13/03/2018 GEOGRAPHE UNDERGROUND SERVICE	REIMBURSEMENT OF KEY BOND 50.00
115492	13/03/2018 BEACHSANDS LEDGE POINT	FUEL AND GOODS - FEBRUARY 2018 468.02
115493	15/03/2018 BRIAN MCLUCKIE	
115494	15/03/2018 CATHERINE GODFREY	REFUND-CANCELLED BOOKING AT GUILDERTON CARAVAN PARK - 23 FEB 18 21.00
115495	23/03/2018 SHIRE OF GINGIN	REFUND-CANCELLED BOOKING AT GUILDERTON CARAVAN PARK - 23 FEB 18 120.00
115496	22/03/2018 SHIRE OF GINGIN	EDFY BUILDING SUSPENSE 944.68
115497	23/03/2018 LJ JU	SALARIES AND WAGES = PE 20.03.18 1965.00
115498	23/03/2018 LJ AND H HUGHES	REFUND OF BUILDING APPLICATION FEES 2864.00
115499	29/03/2018 HANS JORGEN LANNIG	REIMBURSEMENT OF WATER USE 163.63
115500	29/03/2018 IAN JOHN LE BOYDRE	RATES REFUND 306.30
115501	29/03/2018 BRYN HARVEY	RATES REFUND 372.92
115502	29/03/2018 WATER CORPORATION	REFUND FOR CANCELLED BOOKING AT GUILDERTON CARAVAN PARK WATER CORP/ RAILWAY STATION 115.00 181.72
CHEQUES TOTAL		42,537.28
DIRECT DEBIT		
DD24211.1	01/03/2018 WATER CORPORATION	WATER - FIRE STANDPIPE OF 40.47
DD24213.1	01/03/2018 WATER CORPORATION	WATER - OCEAN FARM FIRE SHED 313.22
DD24215.1	01/03/2018 FINES ENFORCEMENT REGISTRY	LODGEMENT FEES 2537.00
DD24220.1	02/03/2018 SYNERGY	ELECTRICITY - JLUKA AQUATIC CENTRE 2339.25
DD24222.1	02/03/2018 SYNERGY	ELECTRICITY - GUILDERTON C/PARK 3991.40
DD24224.1	02/03/2018 SYNERGY	ELECTRICITY - SHIRE OFFICE 1183.50
DD24226.1	02/03/2018 SYNERGY	ELECTRICITY - GRANVILLE CIVIC CENTRE 2680.50
DD24228.1	02/03/2018 FINES ENFORCEMENT REGISTRY	LODGEMENT FEE 1180.00
DD24230.1	02/03/2018 HELEN MARIE SAMPSON	SUPERANNUATION AND RECYCLING GC TIP 2538.46
DD24248.1	07/03/2018 SYNERGY	ELECTRICITY - RED GULLY FIRE BRIGADE 134.90
DD24250.1	07/03/2018 SYNERGY	ELECTRICITY - TV TRANSMISSION STATION 1906.40
DD24252.1	07/03/2018 TELSTRA	TELEPHONE - GUILDERTON C/PARK 807.62
DD24257.1	06/03/2018 CLICKSUPER	PAYROLL DEDUCTIONS 3029.80
DD24257.2	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 114.90
DD24257.3	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 202.35
DD24257.4	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 200.75
DD24257.5	06/03/2018 CLICKSUPER	PAYROLL DEDUCTIONS 685.58
DD24257.6	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 299.45
DD24257.7	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 217.03
DD24257.8	06/03/2018 CLICKSUPER	PAYROLL DEDUCTIONS 219.60
DD24257.9	06/03/2018 CLICKSUPER	PAYROLL DEDUCTIONS 708.28
DD24270.1	09/03/2018 T-QUIP	STREET SWEEPER LEASE 3771.83
DD24278.1	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 247.28
DD24278.2	12/03/2018 CLICKSUPER	PAYROLL DEDUCTIONS 47.35
DD24284.1	12/03/2018 TELSTRA	TELEPHONE - GROUP PLAN 2394.16
DD24288.1	12/03/2018 ADVANCE OFFICE SOLUTIONS	FRANKING MACHINE LEASE 643.50
DD24304.1	13/03/2018 TELSTRA	MOBILE TELEPHONE ACCOUNT MAR 2018 1091.59
DD24306.1	14/03/2018 CREDIT CARD - EMO	CREDIT CARD EXPENDITURE FEBRUARY 517.25
DD24308.1	14/03/2018 CREDIT CARD - MECHANIC/DEPOT	CREDIT CARD EXPENDITURE FEBRUARY 84.40
DD24310.1	14/03/2018 CREDIT CARD - CEO	CREDIT CARD EXPENDITURE FEBRUARY 509.60
DD24312.1	14/03/2018 CREDIT CARD - EMCCS	CREDIT CARD EXPENDITURE FEBRUARY 1356.61
DD24314.1	14/03/2018 CREDIT CARD - TOWNSITE MAINT	CREDIT CARD EXPENDITURE FEBRUARY 4.00
DD24316.1	14/03/2018 CREDIT CARD - TOWNSITE MAINT	CREDIT CARD EXPENDITURE FEBRUARY 4.00
DD24318.1	14/03/2018 CREDIT CARD - EMPD	CREDIT CARD EXPENDITURE FEBRUARY 132.64
DD24257.10	06/03/2018 CLICKSUPER	PAYROLL DEDUCTIONS 866.97
DD24257.11	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 2 1.22
DD24257.12	06/03/2018 CLICKSUPER	PAYROLL DEDUCTIONS 19240.24
DD24257.13	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 210.59
DD24257.14	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 462.34
DD24257.15	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 350.59
DD24257.16	06/03/2018 CLICKSUPER	SUPERANNUATION CONTRIBUTIONS 629.24

DD24257.17	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	982.12
DD24257.18	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	237.12
DD24257.19	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	131.36
DD24257.20	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	163.32
DD24361.10	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	2,122.59
DD24361.11	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	210.59
DD24361.12	20/03/2018	CLICKSUPER	PAYROLL DEDUCTIONS	18854.56
DD24361.13	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	452.34
DD24361.14	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	350.59
DD24361.15	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	733.18
DD24361.16	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	237.12
DD24361.17	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	117.09
DD24361.18	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	176.93
DD24361.19	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	147.92
DD24368.1	22/03/2018	SYNERGY	ELECTRICITY - GINGIN DEPOT	1570.30
DD24369.1	22/03/2018	SYNERGY	Lot 148 Robinson St. Gingin	573.30
DD24371.1	22/03/2018	SYNERGY	LOT 148 ROBINSON ST, GINGIN	476.75
DD24373.1	22/03/2018	SYNERGY	RESIDENCE - CEO	235.10
DD24375.1	22/03/2018	SYNERGY	LOT 32 CHURCH ST, GINGIN	215.00
DD24377.1	22/03/2018	SYNERGY	GG GRANVILLE PARK (PUMP)	136.70
DD24379.1	22/03/2018	SYNERGY	BROCKMAN STREET LINEYARD BLDG	82.30
DD24381.1	22/03/2018	SYNERGY	SENIORS UNITS - GINGIN	78.85
DD24383.1	22/03/2018	SYNERGY	OLD ROAD BOARD/PLAYGROUP	69.85
DD24385.1	22/03/2018	SYNERGY	5 WELD ST, GINGIN	68.75
DD24393.1	23/03/2018	SYNERGY	LOT 134 CONSTABLE ST, GINGIN	105.00
DD24395.1	23/03/2018	SYNERGY	LOT 501 HONEYCOMBE RD, GINGIN	208.75
DD24397.1	23/03/2018	WATER CORPORATION	LOT 10 COCKRAM RD, GINGIN	97.90
DD24399.1	23/03/2018	SENSIS PTY LTD	YELLOW PAGES PRINT - PERTH METRO - ALL REGIONALS 2018 - CARAVAN & TOURIST PARKS - LOCALITY GUIDE MAR 2018	83.03
DD24401.1	23/03/2018	TELSTRA	MOBILE PHONE ACCOUNTS MARCH 2018	576.05
DD24409.1	25/03/2018	SYNERGY	GG RECREATION GROUND 4/1/18 - 6/3/18	1215.30
DD24416.1	25/03/2018	TELSTRA	GINGIN FIRE STATION - ESL MARCH 2018	25.85
DD24419.1	27/03/2018	SYNERGY	GINGIN RURAL INDUSTRIAL DEPOT	288.65
DD24421.1	27/03/2018	SYNERGY	STREET LIGHTING MARCH 2018	11684.25
DD24424.1	28/03/2018	TELSTRA	SEABIRD FIRE SHED MAR 2018	110.23
DD24257.10	06/03/2018	CLICKSUPER	PAYROLL DEDUCTIONS	986.97
DD24257.11	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	211.22
DD24257.12	06/03/2018	CLICKSUPER	PAYROLL DEDUCTIONS	19240.24
DD24257.13	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	210.59
DD24257.14	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	452.34
DD24257.15	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	350.59
DD24257.16	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	629.24
DD24257.17	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	982.12
DD24257.18	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	237.12
DD24257.19	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	131.36
DD24257.20	06/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	163.32
DD24361.10	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	211.22
DD24361.11	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	210.59
DD24361.12	20/03/2018	CLICKSUPER	PAYROLL DEDUCTIONS	18854.56
DD24361.13	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	452.34
DD24361.14	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	350.59
DD24361.15	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	733.18
DD24361.16	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	237.12
DD24361.17	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	117.09
DD24361.18	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	176.93
DD24361.19	20/03/2018	CLICKSUPER	SUPERANNUATION CONTRIBUTIONS	147.92
DIRECT DEPOSIT				143,761.18
TOTAL MUNICIPAL				1,129,514.70
TRUST				
3239	27/03/2018	JANE MARIA WINDAGEL	PARTIAL SOCIAL CLUB PAYOUT	450.00
3240	27/03/2018	CONNIE WALKER	PARTIAL SOCIAL CLUB PAYOUT	200.00
				650.00
BANK STATEMENT TOTALS				
		STATEMENT DEBITS	BANK FEES AND CHARGES	\$ 2,911.03
		PAYS	WAGES AND SALARIES	\$ 246,717.05
		ELECTRONIC PAYMENTS	POLICE LICENCING	\$ 67,875.60
			LA OFFICE RENT	\$ 643.38
			GG DOCTORS RESIDENCE	\$ -
			FLEXIRENT	\$ 212.14
			MESSAGES ON HOLD	\$ 546.27
			LA DOCTORS RESIDENCE	\$ 1,600.00
			LA DOCTORS VEHICLE	\$ 623.52
				318,217.96

TOTAL EXPENDITURE			
			<u><u>1,447,732.66</u></u>
CREDIT CARD BREAK-UP			
MARCH	(Correction from February 2018)		
	BANK CHARGES	MONTHLY CARD FEE X 9	36.00
	REFRESHMENTS/RECEPTIONS	CATERING	375.60
	TRAINING/CONFERENCE	REIMBURSEMENT FOR COURSE PAYMENTS	839.15
	IT SUPPORT	IPAD DATA, DATA RECOVERY, WIFI AIRCON CONROLLER, PHONE COVER	786.95
	WORKSHOP ITEMS	MAPS, PERMIT, TESTING, GG018 LIC, 4GG LIC, RESPIRATOR, FILTER, STORAGE, ESKYS AND TORCH	529.04
	EVENTS	TRIATHLON	212.50
	STAFF EXPENSES	GIFT	81.80
	POOL KIOSK	KIOSK SUPPLIES	396.86
			<u><u>3,237.90</u></u>

AT THE TIME OF PRINTING THE
AGENDA THERE WERE NO CREDITORS
OUTSTANDING

CHIEF EXECUTIVE OFFICER

PRESIDENT

11.3. PLANNING AND DEVELOPMENT

11.3.1 APPLICATION FOR DEVELOPMENT APPROVAL - TEMPORARY WORKERS CAMP (USE NOT LISTED) ON LOT 201 (3572) BRAND HIGHWAY, GINGINUP

FILE: BLD/1804
APPLICANT: TECON WA PTY LTD
LOCATION: LOT 201 (3572) BRAND HIGHWAY, GINGINUP
OWNER: WESTERN SUN NOMINEES PTY LTD
ZONING: GENERAL RURAL
AUTHOR: JAMES BAYLISS – ACTING MANAGER
STATUTORY PLANNING
REPORTING OFFICER: KYLIE BACON – ACTING EXECUTIVE MANAGER
PLANNING AND DEVELOPMENT
REPORT DATE: 17 APRIL 2018
REFER: NIL

<i>ADDENDUM – ORDINARY MEETING OF COUNCIL – 17 APRIL 2018</i>
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Additional Information:

Subsequent to circulation of the Agenda, Administration has received three submissions from ratepayers supporting the proposal. A copy of the Schedule of Submissions and Recommended Responses are attached and will be included as **Appendix 3** in the Minutes of the meeting.

Receipt of the submissions has no effect on the Officer's recommendation.

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Development Approval for a Temporary Workers' Camp (use not listed) on Lot 201 (3572) Brand Highway, Ginginup.

BACKGROUND

The Shire received an Application for Development Approval on 28 March 2018 for a temporary workers' camp at the abovementioned property. The subject lot is 7.1 hectares in area and currently contains an existing single house, holiday accommodation and a number of transportable dwellings associated with an approved transport depot. The proposal seeks temporary approval for a 10 month period, after which time the workers' camp will be decommissioned and the site rehabilitated to pre-development condition.

The proposed temporary workers' camp will cater for employees associated with the mineral sands mine site located 20 kilometres north of the Gingin townsite. The applicant intends to construct the camp immediately and begin housing workers in May 2018.

The proposed development consists of ten transportable dwellings located on the eastern (vacant) portion of the subject lot. Each transportable dwelling caters for up to four workers each with their own bedroom and bathroom facility. The transportable dwellings are 14.4 metres in length, 3.25 metres in width (46.8m²) and have an overall height of 2.9 metres.

The site will be powered by a 100kva generator set which is proposed to be screened with acoustic panelling. Two 4,000 litre black waste water tanks are proposed to temporarily collect effluent and grey water generated from the camp, with the applicant intending to install an Anaerobic Treatment System (ATU) subject to further onsite suitability testing. The development will be provided with a stand-alone laundry facility and camp kitchen.

Due to the nature of the workers' camp being temporary it is important to note that the site will be fully decommissioned and rehabilitated to pre-development state. All materials and structures associated with the temporary development will be removed from the site at the cessation of the approval period.

It should be noted the temporary workers' camp was originally proposed to be developed at Lot 76 (9) Jones Street, Gingin. As part of the public consultation process for the abovementioned property the Shire received several adverse submissions. The applicant was advised of the adverse submissions received and opted to withdraw the proposal for the Jones Street site and sought an alternate property to accommodate the temporary camp. As a result, Lot 201 (3572) Brand Highway, Ginginup was identified as being a suitable location.

Council consideration is required given the land use is not listed in Local Planning Scheme No. 9.

A location plan is attached as **Appendix 1**.

A copy of the applicant's proposal is attached as **Appendix 2**.

COMMENT

Community Consultation

The application was advertised to surrounding landowners, published on the Shire's website and a development sign placed on the verge of the property for a period of 14 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

At the time of preparing the report the Shire had received no submissions with respect to the proposal. In the event that submissions are received following completion of the Agenda, then a Schedule of Submissions and Recommended Responses will be circulated prior to the Council meeting, together with an amended recommendation if necessary.

PLANNING FRAMEWORK

Local Planning Scheme No. 9 (LPS 9)

The subject land is zoned General Rural under LPS 9, the objectives of which are to:

- (a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- (b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- (c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and*
- (d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

Clause 3.4.2 outlines the process of dealing with land uses that are not listed in the Zoning Table as provided below:

“Clause 3.4.2

If a person proposes to carry out on land any use that is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the type, class or genus of activity of any other use category the local government may –

- (a) *Determine that the use is consistent with the objectives of the particular zone and is therefore permitted;*
- (b) *Determine that the use may be consistent with the objectives of the particular zone and thereafter follow the advertising procedures of clause 9.4 in considering an application for planning approval; or*
- (c) *Determine that the use is not consistent with the objectives of the particular zone and is therefore not permitted.”*

The proposed temporary workers' camp, although not a broad acre agricultural activity, will not impede the site from continuing to operate as it is currently or into the future.

Visual Amenity

The temporary workers' camp has been positioned within the lot so as not to be viewed from Brand Highway. Nevertheless, the built form blends in with the existing transportable dwellings stored onsite, and therefore the amenity of the area remains relatively unaffected. The proposed development is setback from the Brand Highway frontage greater than the required 20 metres as stipulated under Table 2 – Site Requirements of LPS 9. The rear boundary does not meet the 20 metres setback requirement, however given no adverse submissions have been received and the proposal is temporary the variation is considered appropriate.

Parking

The proposal provides 16 parking bays catering for occupants of the workers' camp. Although up to 40 workers may be present, not every person will have a vehicle. The workers will be taken via a 20 seat bus to the mine site and returned each day. This limits the need for vehicle parking to only 16 bays. Bus movements are expected at 5.30am and 6.30pm. In the event more car bays are required, the site has ample room for overflow parking.

Access/Egress

Vehicles entering and exiting the site will utilise an existing crossover servicing the property. Given the site has an existing approval to operate as a transport depot, the impact of vehicles entering Brand Highway was considered as part of that assessment process. The increase in traffic from the proposed workers' camp is deemed to be relatively minor given a large proportion of workers will commute via bus.

Servicing

The development will be serviced temporarily by two 4,000lt above ground black waste tanks which will collect sewage and grey water. The proposed tanks are self-contained and will be pumped and emptied by a contractor as needed. The applicant has advised of their intention to install an Anaerobic Treatment System (ATU) to service the development, which is likely to be installed within two months of the development being occupied.

The development is proposed to be serviced by a 100kva generator set which will be screened with acoustic panelling. The acoustic panelling proposed is a temporary portable acoustic barrier that provides both noise reduction and noise absorption to alleviate potential noise.

Low level lighting is proposed to enable safe movement throughout the camp and will be directed internally to avoid light spill to adjoining land.

The development includes a kitchen and dining area which will provide meals for the accommodated workers (breakfast, crib lunch and evening meal).

Summary

In view of the above assessment, the Shire is of the view that the temporary workers' camp (use not listed) can be accommodated on the subject lot for a 10 month period. The applicant is aware that the site will require rehabilitation to pre-development condition at the end of the temporary approval period.

Any health and building requirements can be addressed as part of relevant separate approvals processes.

Advice Notes

In the event that Council approves this application, then the following Advice Notes will apply:

- Note 1: If you are aggrieved with the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*;
- Note 2: The development subject to this approval is valid for a period of 10 months from the date of issue, at which time the structures shall be removed from site;
- Note 3: Where an approval has lapsed, no development may be carried out without further approval of the local government having first been sought and obtained;
- Note 4: Further to this approval, the applicant is required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and *Health Act 2016*, which are to be approved by the Shire of Gingin;
- Note 5: This planning approval shall not be construed as an approval or support of any kind for any other planning related application on the subject land;
- Note 6: The applicant/landowner is advised to refer to the requirements of *the Health (Treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974*;
- Note 7: This approval does not authorise any interference with dividing fences, or entry onto neighbouring land. Accordingly, should you wish to remove or replace any portion of a dividing fence, or enter onto neighbouring land, you must first come to a satisfactory arrangement with the adjoining property owner. Please refer to the *Dividing Fences Act 1961*; and
- Note 8: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment.

POLICY IMPLICATIONS

*Local Planning Scheme No. 9
Part 3 – Zones and the Use of Land*

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

Focus Area	<i>Economic Development</i>
Objective	<i>4.3 Innovation</i>
Outcome	<i>4.3.1 Improve Local Economic Development Support.</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for a Temporary Workers' Camp (Use Not Listed) on Lot 201 (3572) Brand Highway, Ginginup subject to the following conditions:

1. The land use and development shall be undertaken in accordance with the approved plans and specifications, including the directions written in red ink by the Shire, unless otherwise conditioned in this Approval;
2. This Approval is for a Temporary Workers' Camp (Use Not Listed) only, as indicated on the approved plans;
3. This approval is only valid for a period of 10 months from the date of this notice;
4. Within 28 days of the approval expiring, the temporary workers' camp and all associated structures are to be removed from the property and the site rehabilitated to pre-development condition to the satisfaction of the Shire of Gingin;
5. The internal access way, parking and vehicle manoeuvring areas shall be installed to the satisfaction of the Shire of Gingin; and
6. Stormwater run-off from all roofed and hardstand areas shall be collected and contained onsite to the satisfaction of the Shire of Gingin.

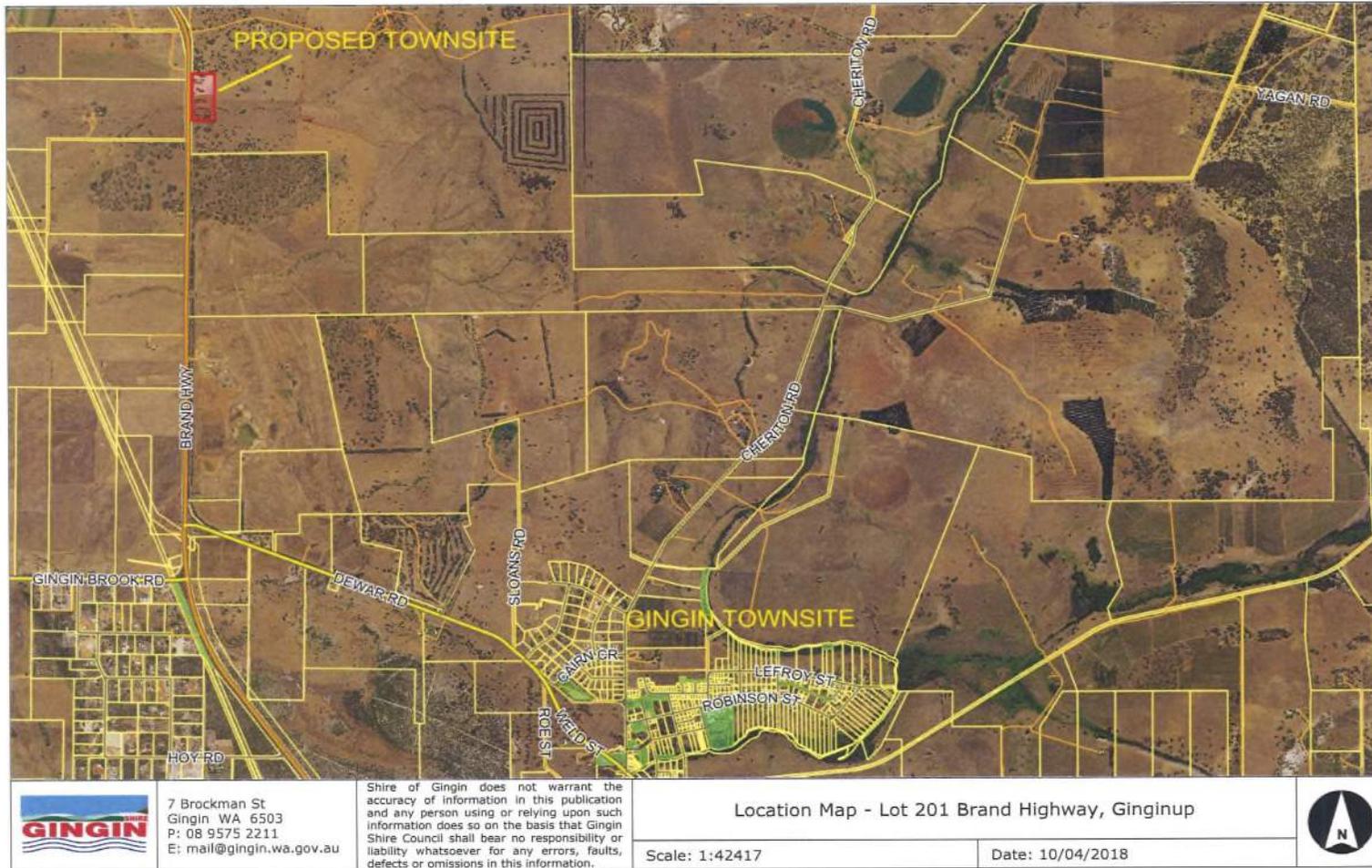
RESOLUTION

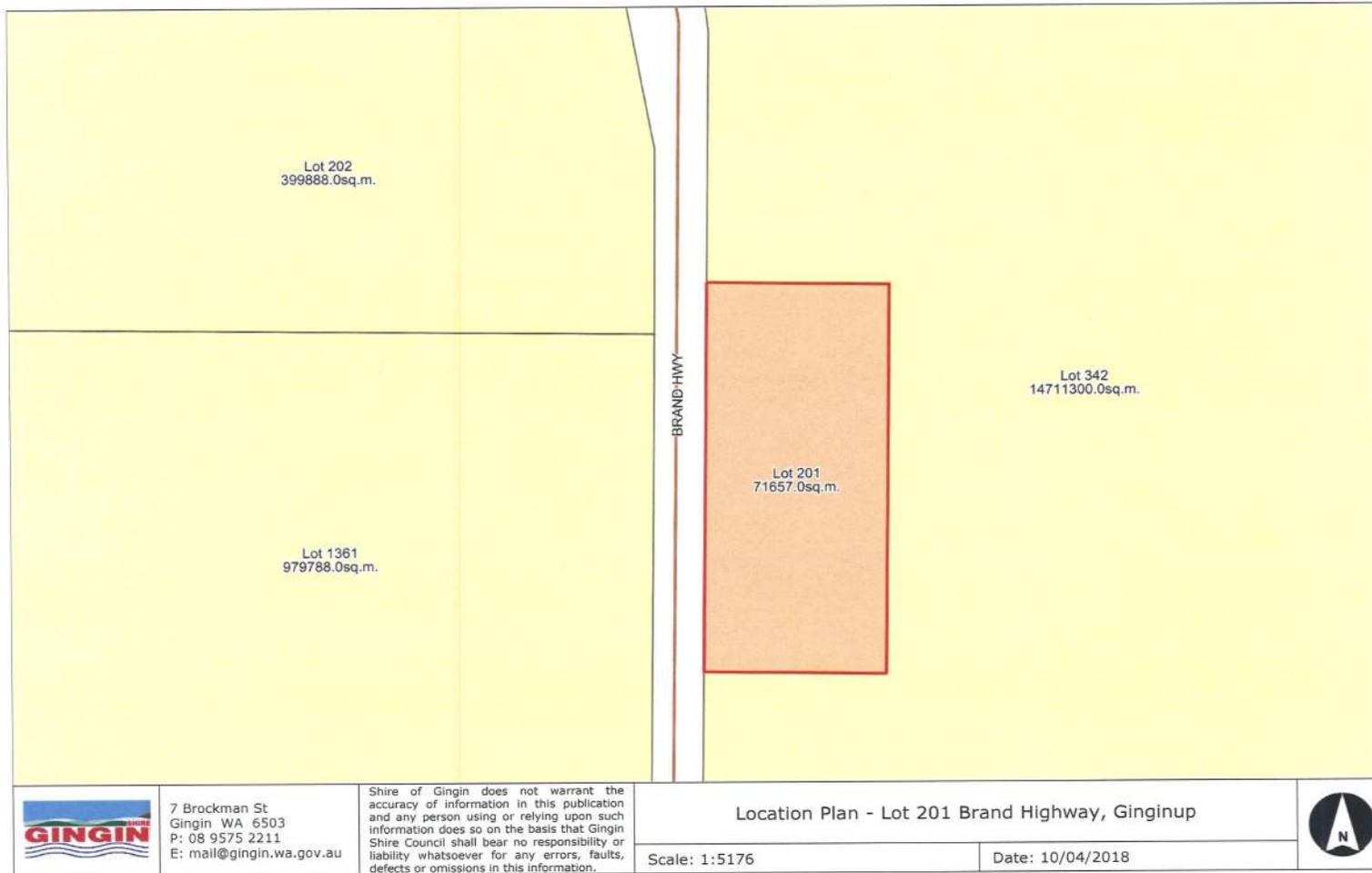
Moved Councillor Peczka, seconded Councillor Elgin that Council grant Development Approval for a Temporary Workers' Camp (Use Not Listed) on Lot 201 (3572) Brand Highway, Ginginup subject to the following conditions:

- 1. The land use and development shall be undertaken in accordance with the approved plans and specifications, including the directions written in red ink by the Shire, unless otherwise conditioned in this Approval;**
- 2. This Approval is for a Temporary Workers' Camp (Use Not Listed) only, as indicated on the approved plans;**
- 3. This approval is only valid for a period of 10 months from the date of this notice;**
- 4. Within 28 days of the approval expiring, the temporary workers' camp and all associated structures are to be removed from the property and the site rehabilitated to pre-development condition to the satisfaction of the Shire of Gingin;**
- 5. The internal access way, parking and vehicle manoeuvring areas shall be installed to the satisfaction of the Shire of Gingin; and**
- 6. Stormwater run-off from all roofed and hardstand areas shall be collected and contained onsite to the satisfaction of the Shire of Gingin.**

CARRIED UNANIMOUSLY

APPENDIX 1





APPENDIX 2



SOUTH AUSTRALIA
WESTERN AUSTRALIA
NORTHERN TERRITORY

T 08 6109 0468
F 08 8312 2006

E admin@teconaust.com.au
www.teconaust.com.au

BUNBURY OFFICE
Unit 4, 29 Carey Street,
Bunbury, WA, 6230

PERTH OFFICE
Suite 7/6 Abbotsford Street,
West Leederville, WA, 6007

3rd April 2018

Shire of Gingin
PO Box 510
Gingin WA 6503

Attention: James Bayliss

**RE: Temporary Workers Accommodation Lot 201 Brand Highway, Ginginup
Development Approval**

Tecon WA act on behalf of ProjX whose client, Image Resources are proposing new mine site facilities approximately 20 kilometres north of the Gingin town site. Part of the development of this mine site is the need for workers to be accommodated. Tecon WA is subsequently preparing the subject Development Application associated with a Temporary Workers Camp to be constructed on portion of Lot 201 Brand Highway, Ginginup

Please find attached a copy of plans and documents as below:

1. Certificate of Titles;
2. Site Plan;
3. Unit Plan & Elevations;

Please note that the application form has been lodged directly at the Council offices.

The following information is provided as background:

Property Details

The following details are provided in regards to the subject site and land ownership.

Address	Lot No	CT (Volume/Folio)	Owner
3550 Brand Highway	201	2223/408	Western Sun Nominees Pty Ltd

Zoning and Planning Requirements

The subject site is zoned 'General Rural' under the terms of the Shire of Gingin Town Planning Scheme No9. The proposed use of portion of the lot is for a 'Temporary Workers Camp (Accommodation)' associated with accommodation for workers *not* associated with the subject lot. This is classed as a 'Use Not Listed' under the scheme.

In accordance with section 3.4.2(b) of the scheme it is requested that the use be determined as being consistent with the objectives of the zone and advertise the proposal for the minimum 14 day period prior to determining the application.

...the way forward.

Proposed Development

As stated above, the proposed use for portion of the site is for a 'Temporary Workers Camp (Accommodation)'. The accommodation will be in the form of 10 blocks (of four bed ensuite units) for workers associated with the Mineral Sands mining operations located approximately 20km north of the townsite.

The camp is temporary in nature and will only be required for a 10 month period, after which time the site will be decommissioned and appropriately rehabilitated.

The site is removed from the townsite and located in a rural area where impacts such as noise and amenity are not likely to cause issue to adjoining areas.

The below images indicate the style of unit (external and internal) and attached to the application is the floor plan layout and elevations of the proposed units.

In addition to the "bedroom" units will be a laundry facility and a kitchen and dining area.

The workers will be taken via a 20 seat bus to the mine site and returned each day. This limits the need for vehicle parking to only 16 bays. Bus movements are expected at 5.30am and 6.30pm.

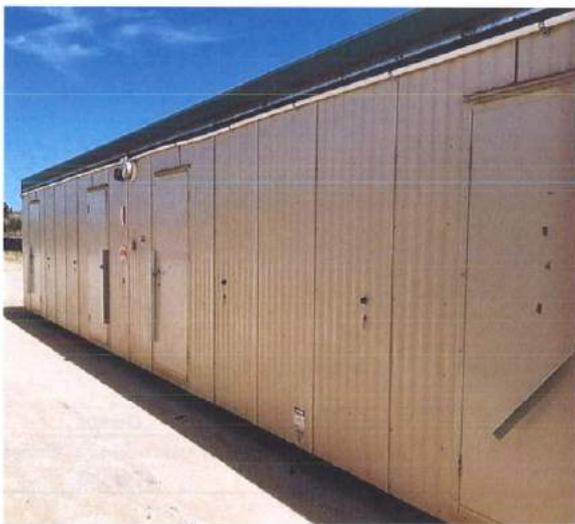


Photo 1: External view of unit

...the way forward.

Trustee for the Tecon WA Unit Trust – ABN 28 470 903 862.



Photo 2: Internal of unit

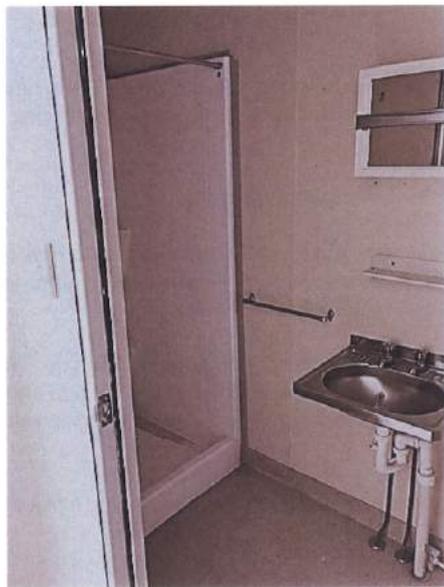


Photo 3: Internal of Unit

...the way forward.

Trustee for the Tecon WA Unit Trust – ABN 28 470 903 862.



Photo 4: Internal of Unit

Servicing and Access

Powering the camp is proposed via a 100kV generator set (details appended to the application). The location of the generator is indicated on the site plan. To minimise any potential noise impact acoustic screening or bunding will be implemented around the generator.

Low level lighting is proposed to enable safe pedestrian movement throughout the camp.

Two 4000L black water waste tanks are proposed to service the camp site as an interim measure to having a Biomax unit approved. These storage tanks are consistent with those tanks used by all other mining operators statewide. Once approval has been sought for the Biomax unit this will be installed and operated.

A Laundry facility is provided as part of the temporary workers camp. The laundry output has been calculated at the occupants doing one full load of washing per day @100L per wash. This gives an output of up to 3000L per day. As per the above, the laundry output will be to onsite storage tanks until such time the biomax unit is approved and installed.

The kitchen and dining area will provide all meals for the accommodated workers (breakfast, crib lunch and evening meal).

De-commissioning

Due to the nature of the workers camp being temporary only it is important to note that the site will be fully decommissioned and rehabilitated to pre development state.

All materials and structures associated with the temporary development will be removed from site at the cessation of the approval period.

...the way forward.

Given the above and attached information we respectfully request that due-consideration be given to granting development approval to the proposed temporary workers camp. As previously indicated, the timing of the camp is critical and the workers are needing to be accommodated by May 2018.

If I can be of any assistance or provide any further information please do not hesitate to contact me direct on 0408 808 265.

Yours Sincerely,



Gary Fitzgerald

TECON AUSTRALIA PTY LTD

Attachments:

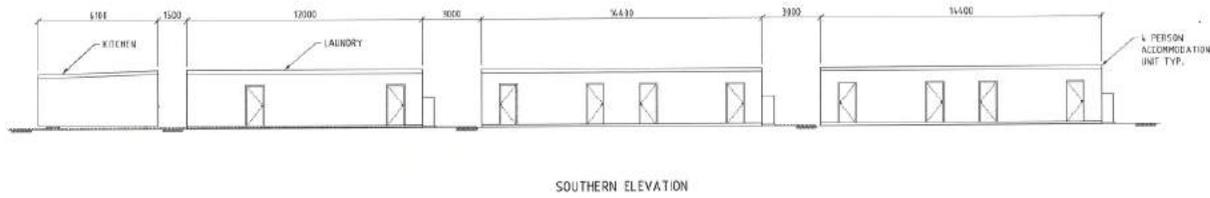
- 1) Certificate of Titles
- 2) Site Plan
- 3) Unit Plan & Elevations (inc Laundry)
- 4) Generator Detail

...the way forward.

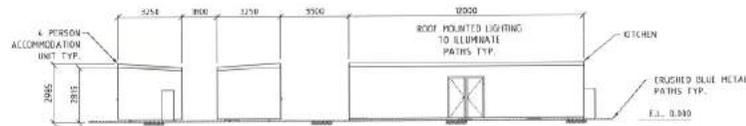
Trustee for the Tecon WA Unit Trust - ABN 28 470 903 862.



SHIRE OF GINGIN
3 APR 2018
RECEIVED



SOUTHERN ELEVATION



WESTERN ELEVATION

PRELIMINARY ONLY



REVISIONS		PROJECT NUMBER		DATE		DESCRIPTION		PROJECT NUMBER		DATE		DESCRIPTION		PROJECT NUMBER		DATE		DESCRIPTION	
NO.	BY	DATE	DR	APP.															
1	A	17/04/2018	DR																

PROJECT NUMBER	18010	DATE	17/04/2018
PROJECT NAME	TEMPORARY CAMP SITE	PROJECT NUMBER	18010
PROJECT ADDRESS	LOT 201 GRAND HIGHWAY - GINGIN	PROJECT NUMBER	18010
PROJECT CONTACT	IMAGE RESOURCES	PROJECT NUMBER	18010
PROJECT PHONE	08 9437 8888	PROJECT NUMBER	18010
PROJECT FAX	08 9437 8888	PROJECT NUMBER	18010
PROJECT EMAIL	info@imageresources.com.au	PROJECT NUMBER	18010
PROJECT WEBSITE	www.imageresources.com.au	PROJECT NUMBER	18010

PROJECT NUMBER	18010	DATE	17/04/2018
PROJECT NAME	TEMPORARY CAMP SITE	PROJECT NUMBER	18010
PROJECT ADDRESS	LOT 201 GRAND HIGHWAY - GINGIN	PROJECT NUMBER	18010
PROJECT CONTACT	IMAGE RESOURCES	PROJECT NUMBER	18010
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PROJECT FAX	08 9437 8888	PROJECT NUMBER	18010
PROJECT EMAIL	info@imageresources.com.au	PROJECT NUMBER	18010
PROJECT WEBSITE	www.imageresources.com.au	PROJECT NUMBER	18010

A1
Doc File No: W:\Projects\18010 - High Temporary Camp\Drawings\18010-DC-06-A1.dwg
Plot Date: 27 March 2018 - 0:04 AM

APPENDIX 3

SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED TEMPORARY WORKERS ACCOMMODATION LOT 201 BRAND HIGHWAY, GINGINUP

No.	Submitter	Submission Detail	Recommended Response
1.	Ratepayer	<p>The Submitter supports the proposal and provides the following general comments:</p> <p><i>"As the development is a few kilometres from the town (shops) I trust transport would be provided."</i></p>	<p>1. General comment. No response required.</p>
2.	Ratepayer	<p>The Submitter supports the proposal and provides the following general comments:</p> <p><i>"We support the project – however would make the following points -Applicants advised that this is an agricultural area with ongoing agricultural activities. -We request the septic system be situated to the North side of the camp to prevent possible leaching into eroded area South of the camp. - All rubbish be contained in camp area."</i></p>	<p>1. The applicant is aware of the zoning and the agricultural uses associated with it.</p> <p>2. The septic system proposed does not involve waste leaching into the ground. It is contained within enclosed tanks and then emptied by a contractor accordingly with waste taken offsite.</p> <p>3. Imposing a condition to prevent littering is not considered to have planning merit. The applicant will however be reminded to be courteous to neighbours.</p>
3.	Ratepayer	<p>The Submitter supports the proposal and provides the following general comments:</p> <p><i>"We have been speaking directly with the applicants about issues we have. We are satisfied with their responses to ensure that they reduce the risk of the following transferring from their property to ours: -Fire -Trespassers -Rubbish"</i></p>	<p>1. Noted. In the event the applicant seeks an extension to a 10 month approval then the proposal would be advertised accordingly.</p>

		<i>We would want to be consulted and we would most likely take issue if the development is extended beyond the 10 months that they have been applied for."</i>	
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11.3.2 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED AGRICULTURE INTENSIVE (ANNUAL AND PERENNIAL HORTICULTURE) ON LOT 403 (14) DOUGLAS ROAD, BEERMULLAH

FILE: BLD/6912
APPLICANT: PLANNING OUTCOMES WA
LOCATION: LOT 403 (14) DOUGLAS ROAD, BEERMULLAH
OWNER: DRAINFLOW SERVICES PTY LTD
ZONING: GENERAL RURAL
WAPC NO: N/A
AUTHOR: JAMES BAYLISS – ACTING MANAGER STATUTORY PLANNING
REPORTING OFFICER: KYLIE BACON – ACTING EXECUTIVE MANAGER PLANNING AND DEVELOPMENT
REPORT DATE: 17 APRIL 2018
REFER: NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Development Approval for proposed Agriculture Intensive (Annual and Perennial Horticulture) on Lot 403 (14) Douglas Road, Beermullah.

BACKGROUND

The subject lot consists of a total area of 40.5ha and currently contains an existing single house and outbuilding. The site has areas of cleared land surrounded by remnant vegetation.

The proponent is seeking approval for 29 acres of land to be cultivated for:

- Avocados and nuts (Orchard - 6 acres);
- Avocados as a perennial nursery (4 acres);
- Garlic (9 acres); and
- Watermelon and rockmelon (10 acres).

The proposal includes importing 20,000m³ of clean soil to the south-western portion of the site to reduce the gradient and improve the existing soil condition. The applicant advises that the fill will not be sourced from the landowner's Drainflow services in which waste is cleaned from road gullies, drains, street sweeping etc. The fill will be uncontaminated soil sourced from potentially a number of companies depending on costs at the time. The material will not be stockpiled or stored onsite, but spread over the cropping area immediately and will not be an ongoing event.

The 'future compost and mulching area' outlined on the plans is indicative at this stage and will require a separate approval.

A location plan and a copy of the applicant's proposal are attached as **Appendix 1**.

COMMENT

Community Consultation

The application was advertised to the surrounding landowners for a period of 14 days and to State referral agencies for a period of 42 days in accordance with clause 64 of the *Planning and Development (Local Planning Schemes) Regulations 2015*. No response has been received by the Shire.

PLANNING FRAMEWORK

Local Planning Scheme No 9 (LPS 9)

The subject lot is zoned General Rural under LPS 9, the objectives of which are to:

- a) *Manage land use changes so that the specific local rural character of the zone is maintained or enhanced;*
- b) *Encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;*
- c) *Maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and*
- d) *Provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.*

Agriculture Intensive is identified as a "D" – Discretionary land use within the general rural coding. Agriculture Intensive is considered to be a primary use in the zone and as such should be encouraged as per the objectives above.

The land use 'Agriculture Intensive' is defined as follows:

"Agriculture – Intensive means, premises used for trade or commercial purposes, including outbuildings and earthworks, associated with the following:

- a) *The production of grapes, vegetables, flowers, exotic, or native plants, or fruit or nuts;*
- b) *The establishment and operation of plant or fruit nurseries;*
- c) *The development of land for irrigated fodder production or irrigated pasture (including turf farms); or*
- d) *Aquaculture".*

Local Planning Scheme No 9 Setbacks

The planting area is required to be set back a minimum of 20m from the lot boundaries, unless a greater setback is required (i.e. buffer/separation distances to sensitive land uses or wetlands). The submitted plans do not outline the specific cultivation area or boundary setback, however a condition of approval can stipulate cropping areas shall be set back appropriately.

Local Planning Policy 1.6 – Agriculture Intensive (LPP 1.6)

The proposal is considered to incorporate both 'Annual Horticulture' and 'Perennial Horticulture' as defined by LPP 1.6.

LPP 1.6 defines Annual Horticulture as:

“The commercial market gardening of all varieties of shallow rooted vegetables and flowers that can be sown and harvested within a twelve month period. The essential character of this use is that the soil is cultivated mechanically at least once a year, fertilised regularly and re-used on a continual basis”.

LPP 1.6 defines Perennial Horticulture as:

“The commercial production of all varieties of long lived fruit, vine and nut species, generally deep rooting, where the land is only cultivated deeply at the initial planting stage, but may be regularly fertilised”.

Perennial horticulture shall achieve a minimum setback of 50m from the highest known level of a waterway (riverine environments). Annual horticulture activities shall have a minimum distance of 200 metres from the highest known level of a waterway. The proposed cropping area is compliant with LPP 1.6 from a setbacks perspective.

Proposals for Irrigated Horticulture located within 500 metres of an identified existing or future Residential or Rural Residential area shall only be considered where it can be demonstrated that effective vegetation buffers and other measures will satisfactorily minimise or avoid potential land use conflict. It should be noted that no land within 500m of the site is designated for residential purposes or contains a sensitive land use.

Environmental Impact/Separation from Sensitive Land Uses

The following external guidelines provide guidance in relation to buffer/separation distances for local government when considering applications for irrigated horticulture and sensitive uses (i.e. dwellings).

- State Planning Policy 2.5 - Rural Planning;
- Department of Health (DOH) – Guidelines for Separation of Agricultural and Residential Land Uses (August 2012) (DOH Guidelines); and

- Environmental Protection Authority – Guidance for the Assessment of Environmental Factors; Separation Distances between Industrial and Sensitive Land Uses (June 2005).

The proposal falls under the definition of an 'Orchard' for the purpose of calculating the recommended buffer distance using the abovementioned policies. A 500m buffer setback is recommended between the Irrigated Horticulture and the closest sensitive land use (i.e. single dwelling). The distance outlined is not intended to be an absolute distance, rather a guide to avoid conflicts between land uses (i.e. spray drift).

The proposed planting areas have no sensitive land uses within the 500m buffer that can cause a potential for conflict between land uses.

Traffic Implications

The proponent has advised that no more than 2-3 heavy vehicles will access the property every 2-3 days. The Shire's Operations-Construction Department has advised that adjoining landowners have entered into a deed of agreement for the maintenance and upgrade of Douglas Road. The owner of the subject property will be required to enter into a similar agreement with the Shire.

Stable Fly

Stable Fly is a declared pest under the *Biosecurity and Agriculture Management Act 2007* and is managed by the *Biosecurity and Agriculture Management (Stable Fly) Management Plan 2016*. It is generally inappropriate to impose a planning condition for a regulatory aspect that is already covered under another Act of Parliament. Instead, an advice note has been added to the Development Approval with respect to Stable Fly.

The Shire is still required to be satisfied that the horticultural activity manages waste appropriately on the site. Given the nature of the irrigated horticultural activity and that there is no processing onsite, waste will be minimal and appropriately managed.

Servicing

Any additional servicing requirements will be the applicant's responsibility.

Water Supply

The property is serviced with a 91,000g/L water license. Given LPP 1.6 outlines that development applications for irrigated horticulture will be processed purely on land use planning grounds without regard to water licensing, Administration is of the view that it is the applicants' responsibility to ensure an appropriate water source is secured and approved by DWER.

Summary

In view of the above assessment, Administration is of the view that the site is capable of accommodating the proposed Agriculture Intensive (Annual and Perennial Horticulture) activity and that the activity is consistent with the objectives of LPS 9.

Advice Notes

In the event that Council resolves to approve this application, the following advice notes will apply:

- Note 1: If you are aggrieved by the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: If the development subject to this approval is not substantially commenced within a period of 2 years, the approval shall lapse and have no further effect.
- Note 3: Where an approval has so lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.
- Note 4: Premises are to comply with the requirements of the *Public Health Act 2016* and all relevant health legislation.
- Note 5: This approval is not a building permit or an approval under any law other than the *Planning and Development Act 2005*. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licences required under any other law, and to commence and carry out development in accordance with all relevant laws.
- Note 6: Fire permits may be required at certain times of the year for onsite burning. Please contact the Shire of Gingin for further information.
- Note 7: The Applicant is reminded that this Development Approval is not to be interpreted as an approval to extract and use groundwater supplies, nor does it imply that the Shire of Gingin has knowledge in relation to availability of groundwater supplies.
- Note 8: It is advised that the proposal should at all times comply with the *Biosecurity and Agriculture Management (Stable Fly) Management Plan 2016* in order to minimise the effects of stable flies on the community.
- Note 9: The operation will be required to comply with the *Environmental Protection (Noise) Regulations 1997*.
- Note 10: Where any native vegetation clearing is proposed, it will be necessary to contact the Department of Water and Environmental Regulation (DWER) to obtain necessary approvals.
- Note 11: Please liaise with the Executive Manager Operations-Construction with respect to entering into a deed of agreement for the maintenance and upgrade of Douglas Road at the landowner's expense.
- Note 12: Please be advised that the property may attract Differential Rating for Intensive Agriculture.

STATUTORY ENVIRONMENT

Local Planning Scheme No 9

Part 3 – Zones and the Use of Land

3.2 Objectives of the Zones

Part 4 – General Development Requirements

4.7 General Development Standards

4.8.6 General Rural Zones

Local Planning Policy 1.6 Agriculture Intensive

State Planning Policy 2.5 Rural Planning

Department of Health (DOH) Guidelines for Separation of Agriculture and Residential Land Uses (August 2012) (DOH Guidelines)

Environmental Protection Authority Guidance for the Assessment of Environmental Factors; Separation Distances between Industrial and Sensitive Land Uses (June 2005).

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

<i>Focus Area</i>	<i>Economic Development</i>
<i>Objective</i>	<i>4. To support economic development through the Shire's service delivery.</i>
<i>Outcome</i>	<i>4.2 Food Bowl A strategically significant agricultural hub to the Perth Metropolitan Area</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for the proposed Agriculture Intensive (Annual and Perennial Horticulture) on Lot 403 (14) Douglas Road, Beermullah subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;
2. The development area shall be limited to a maximum of 29 acres at any one time and shall at all times be set back a minimum of 20 metres from all lot boundaries to the satisfaction of the Shire of Gingin;
3. This approval is for an Agriculture Intensive (Annual and Perennial Horticulture) use consisting of avocados, nuts, watermelons, rockmelons and garlic only;
4. The landowner is to enter into a deed of agreement for the maintenance and upgrade of Douglas Road to the satisfaction of the Shire of Gingin. Preparation of the deed of agreement and all maintenance and upgrade works are to be at the landowner's expense;
5. The crossover servicing the existing subject lot is required to be upgraded to the satisfaction of the Shire of Gingin;
6. The fill being placed at the property is not to be stored or stockpiled onsite and shall not originate or be associated with the landowner's drain cleaning services;
7. The Agriculture Intensive (Annual and Perennial Horticulture) shall comply at all times with the submitted Farm Management Plan prepared by Planning Outcomes WA dated 8 February 2018 to the satisfaction of the Shire of Gingin;
8. The Shire reserves the right to inspect or request any of the management plans that are conditioned as part of this planning approval at any time;
9. The area shall immediately be rehabilitated to pasture cover at the end of the Agriculture Intensive development;
10. Within 45 days from the approval date, the Applicant/Owner shall execute and provide to the Shire of Gingin a notification pursuant to Section 70A of the *Transfer of Land Act 1893* to be registered on the title to the land as notification to prospective purchasers as follows:

Bushfire Prone Area – This lot is located within a bushfire prone area.

SUBSTANTIVE MOTION WITH AMENDMENT

Amend Condition 3 by deleting the words “consisting of avocados, nuts, watermelons, rockmelons and garlic”.

Moved Councillor Fewster, seconded Councillor Morton that Council grant Development Approval for the proposed Agriculture Intensive (Annual and Perennial Horticulture) on Lot 403 (14) Douglas Road, Beermullah subject to the following conditions:

- 1. The land use and development shall be in accordance with the approved plans and specifications (including any amendments marked in RED) unless otherwise conditioned by this approval;**
- 2. The development area shall be limited to a maximum of 29 acres at any one time and shall at all times be set back a minimum of 20 metres from all lot boundaries to the satisfaction of the Shire of Gingin;**
- 3. This approval is for an Agriculture Intensive (Annual and Perennial Horticulture) use only;**
- 4. The landowner is to enter into a deed of agreement for the maintenance and upgrade of Douglas Road to the satisfaction of the Shire of Gingin. Preparation of the deed of agreement and all maintenance and upgrade works are to be at the landowner’s expense;**
- 5. The crossover servicing the existing subject lot is required to be upgraded to the satisfaction of the Shire of Gingin;**
- 6. The fill being placed at the property is not to be stored or stockpiled onsite and shall not originate or be associated with the landowner’s drain cleaning services;**
- 7. The Agriculture Intensive (Annual and Perennial Horticulture) shall comply at all times with the submitted Farm Management Plan prepared by Planning Outcomes WA dated 8 February 2018 to the satisfaction of the Shire of Gingin;**
- 8. The Shire reserves the right to inspect or request any of the management plans that are conditioned as part of this planning approval at any time;**
- 9. The area shall immediately be rehabilitated to pasture cover at the end of the Agriculture Intensive development;**

10. **Within 45 days from the approval date, the Applicant/Owner shall execute and provide to the Shire of Gingin a notification pursuant to Section 70A of the *Transfer of Land Act 1893* to be registered on the title to the land as notification to prospective purchasers as follows:**

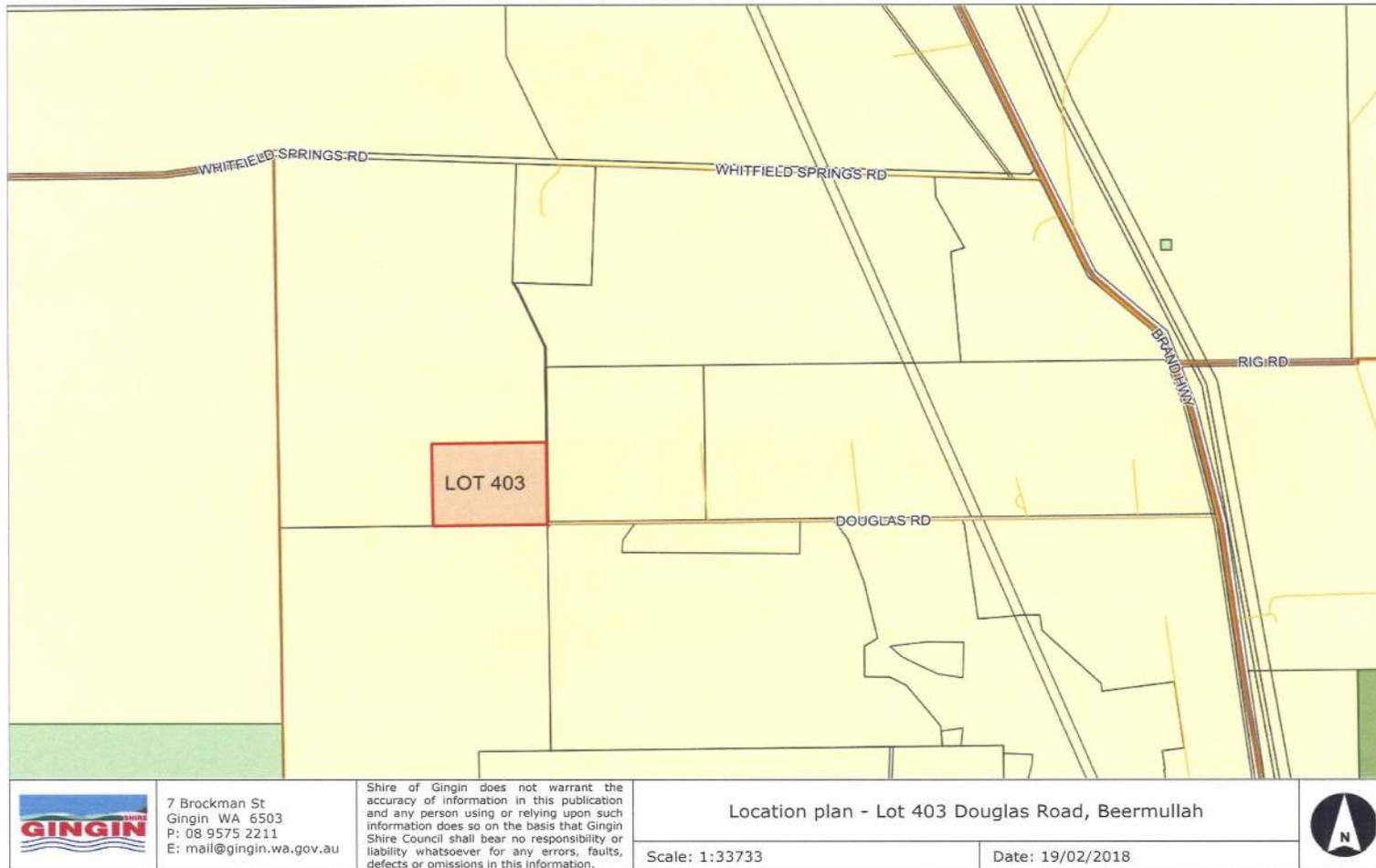
Bushfire Prone Area – This lot is located within a bushfire prone area.

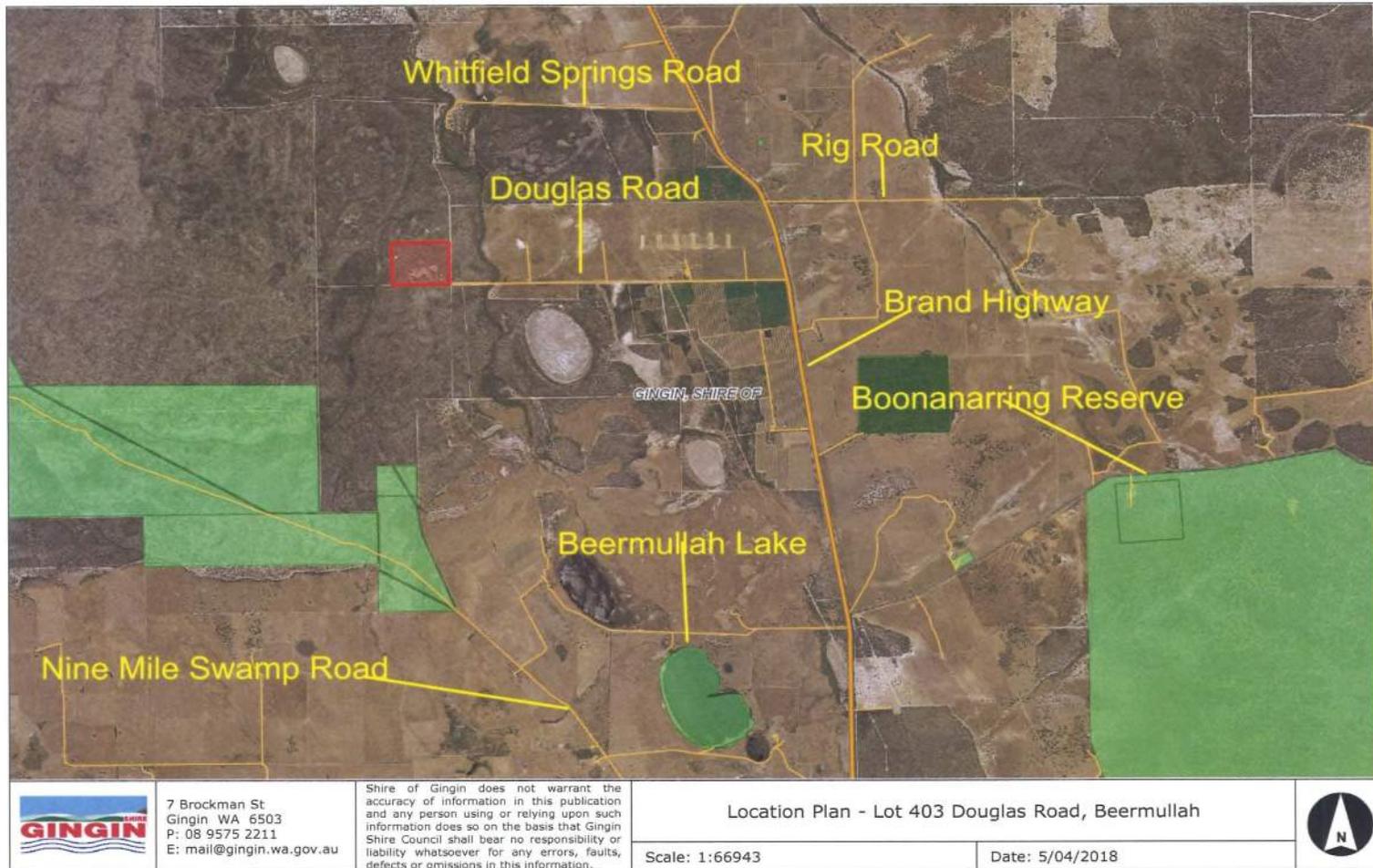
CARRIED UNANIMOUSLY

REASON FOR AMENDMENT

Council was of the view that the inclusion of specific crop types in Condition 3 would be too restrictive.

APPENDIX 1







Our Ref: 414 Douglas - DA1

8 February 2018

Planning Services
Shire of Gingin
PO Box 510
GINGIN WA 6503

Attn: Kylie Bacon


Shire of Gingin Records
Doc No: IPA194751
File: A6334
Date: 14 FEB 2018
Officer: ALANAM
Disposal: A

Dear Madam,

NO. 414 (LOT 403) DOUGLAS ROAD, BEERMULLAH – DEVELOPMENT APPLICATION – PROPOSED AGRICULTURE-INTENSIVE DEVELOPMENT

Planning Outcomes WA has been engaged by the landowners (Drainflow Services Pty Ltd) of the above property (the Site) to support a planning application for an orchard and earthworks.

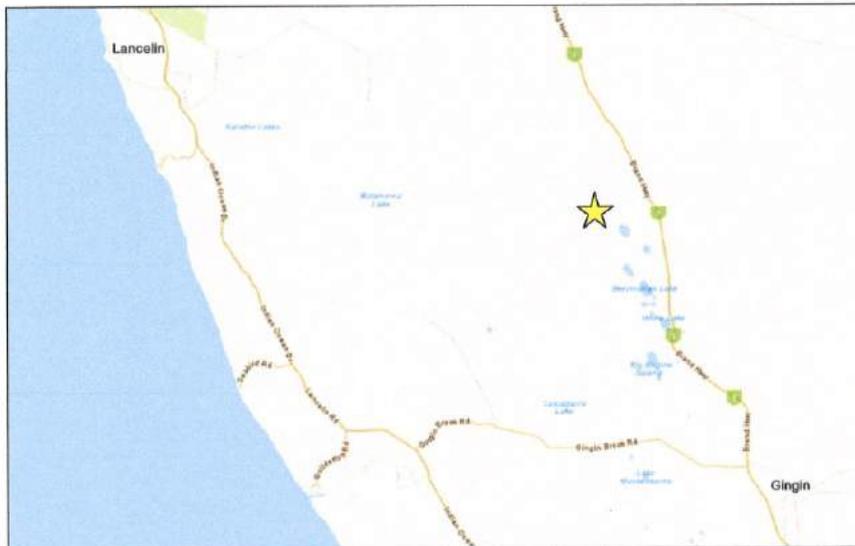
The application is structured as follows.

- | | |
|--------------------------------|---------------------------|
| 1. Regional Context | 6. Soil Improvement |
| 2. Local Context | 7. Farm Management Plan |
| 3. Proposal Overview | 8. Building Setbacks |
| 4. Land-Use | 9. Planning for Bushfires |
| 5. Agriculture-Intensive Devt. | |

1. Regional Context

The Subject Site is located approximately 32 kilometres northwest of the Gingin townsite in the rural locality of Beermullah.

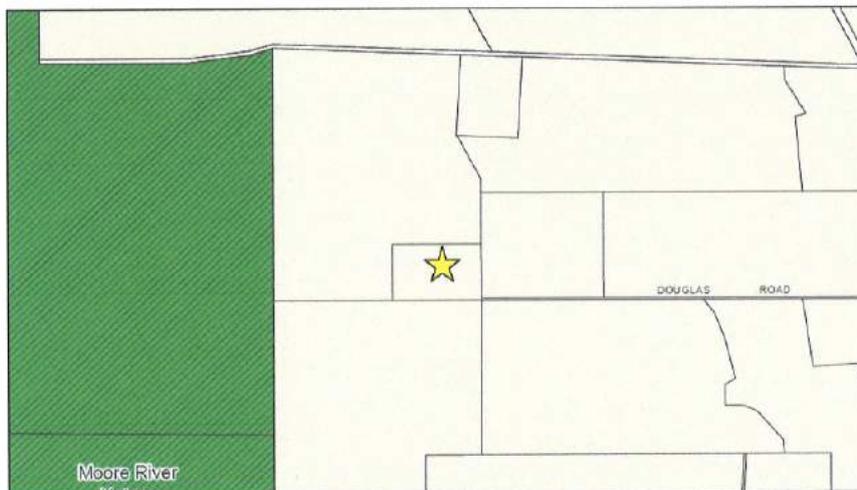
Access is gained from Douglas Road via the Brand Highway only 4.5 kilometres away (a Primary Regional Road), which affords excellent regional access.



Subject Site – Regional Location

2. Local Context

The Site is zoned 'General Rural' under the Local Planning Scheme No. 9 (Scheme). It is surrounded by other properties with the same zoning (including a poultry farm to the east).



Scheme Zones & Reserves

The Site has an area of approximately 100 acres (40 hectares), has one road frontage, and undulates approximately 6.0 metres in height (Attachment 2.1).

Existing development includes a single-storey farmhouse, sheds, dam and wire fences on the boundaries (**Attachment 2.2**). Most of the property has been affected by bushfires in 2015, and approximately 50 acres is currently cleared land (with pockets of vegetation), with the remaining 50 acres being remnant vegetation.

Land capability in the locality is considered suitable, and stated by the Department of Primary Industries and Regional Development as (via NR Mapping):

- *Light grey sand to depth between 90-150 cm overlaying pale yellow to yellow sand and bleached sands, co-dominant.*
- *Perennial and annual horticulture capability - 50-70% of the land has moderate to very high capability.*

The Site currently enjoys a water licence from the Department of Water to take groundwater for 91,000 gegalitres.

3. Proposal Overview

The Site has land capable of sustaining agriculture; and the existing water licence contributes to the value of the land, which will expire if not used. Accordingly, the water licence is the primary development constraint of the site, and the primary purpose of the proposed development.

The proposed development is for agricultural activities, as illustrated in **Attachment 2.3**, and outlined as follows.

Proposal Overview		
Proposal	Purpose	Quantum
Orchard	Avocado and nuts	~6 acres
Perennial nursery	Avocado	~4 acres
Annuals field	Garlic	~9 acres
Vine annuals field	Watermelon and rockmelon	~10 acres
All fields	Total (rounded)	~30 acres
Clean soil	To reduce a slope and improve the soil condition	20,000m ³

In addition, a composting and mulching facility will be proposed as part of a separate application in the near future.

4. Land-Use

It is understood that the Site does not currently enjoy any planning approvals from the Shire, and a change of use is required.

The proposal is considered to clearly meet the Scheme land-use definition of 'Agriculture - Intensive':

Means premises used for trade or commercial purposes, including outbuildings and earthworks, associated with the following –

- (a) the production of grapes, vegetables, flowers, exotic or native plants, or fruit or nuts;*
- (b) the establishment and operation of plant or fruit nurseries;*
- (c) the development of land for irrigated fodder production or irrigated pasture (including turf farms); or*
- (d) aquaculture.*

As the proposal is listed as a 'D' (Discretionary) land-use, an analysis of the zone objective is considered below, and found to be compatible:

General Rural Zone – Objectives (Cl. 3.2.7)			
S/Clause	Objectives	Response	Complies?
(a)	<i>manage land use changes so that the specific local rural character of the zone is maintained or enhanced;</i>	The site was previously developed for agricultural purposes, and will continue so.	Yes
(b)	<i>encourage and protect broad acre agricultural activities such as grazing and more intensive agricultural activities such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use;</i>	The land is not proposed to be subdivided, and the agricultural activities will continue.	Yes
(c)	<i>maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage; and</i>	Clearing is not proposed.	Yes
(d)	<i>provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the General Rural zone.</i>	The proposal is not a sensitive land-use.	Yes

5. Agriculture-Intensive Development

The Council has adopted Local Planning Policy 1.6 – Agriculture Intensive Development (LPP1.6), which is considered below.

LPP1.6 Provisions			
S/Clause	Relevant Issues	Proposal	Complies?
3.1.4	Plans: Environmental and other physical characteristics of the Site are to be illustrated on plans.	See attached plans.	Yes
3.1.8	Land-Use Conflict: Impacts upon existing or future residential / rural-residential uses to be ameliorated.	The Site is not in proximity to sensitive zones or uses.	Yes
3.1.11	Land-Use Conflict: Impacts upon rural living, residential, tourism, commercial or urban development uses to be ameliorated.		
3.1.3	Clearing: Remnant vegetation is not to be cleared or clearing permit provided.	No clearing proposed, and the Site does not feature rivers or riparian vegetation.	Yes
3.1.7	Clearing: Riparian vegetation not to be cleared.		
3.1.9	Wetlands: Impacts upon wetlands to be ameliorated.	Proposed activities not in proximity to a wetland.	Yes
3.2.1	Waterways: Annual horticulture set back 200m from waterways.	All crops set back minimum 200m from waterways.	Yes
3.2.2	Waterways: Perennial horticulture set back 50m from waterways.		
3.1.10	Waterways: Setback variations to waterways to be submitted with a management plan.	No setback variations proposed.	Yes
3.2.3	Wetlands & Waterways: Timber production set back from wetlands and waterways.	Timber production is not proposed.	Yes
3.1.5	Waste & Fly Breeding: Waste material not to be stored onsite.	Vines and garlic crops have minimal waste material and chosen for this purpose.	Yes
3.1.6	Waste: Horticultural waste to be tilled within two days from harvesting.	Other waste material will be tilled, composted or mulched within two days.	

6. Soil Improvement

The proposal involves introducing soil to the south-western field, as seen in the site plan. The purpose is to improve the soil to plant annuals; and to reduce the slope (**Attachment 2.1**).

The soil is not contaminated material, nor will it be sourced from the client's operations (clearing of drains etc), rather sand will be procured from 'Stoneridge Quarries WA', 'Capital' and others depending on costs per ton. Top-dress soil will come from composting facilities such as C-Wise, Amazon, Richgrow or other similar companies depending on the cost per ton.

The material will be spread over the field, not stockpiled or stored, and will not be an ongoing event.

7. Farm Management Plan

The proposed activities are considered to be compliant with the Shire's requirements, and not conflicting with activities in the locality and previously on the site. Accordingly, a detailed Farm Management Plan is not considered necessary, and an outline is listed below.

Spray Management – Herbicides are not anticipated, but if required whatever is recommended by the DWER will be used, and if nothing is suggested a product called Basta will be used for the control of grass type weeds.

Insecticides are also not anticipated, however if required whatever is recommended by the DWER will be used, and if nothing is suggested a product called Confidor and Movento will be used, and Kocide a copper-based product for controlling Fungi's (if required).

With all the fields on the southern portion of the property, and southerly prevailing winds, it is anticipated that any wind-borne chemicals will mostly be deposited on the northern portion of the site.

Chemicals will be stored onsite in the existing sheds on a concrete pad, to avoid leakage during storage.

Waste Management – Vines and garlic crops have minimal waste material and chosen for this purpose. Other waste material will be tilled, composted or mulched within two days. Accordingly, stable-fly breeding will be avoided.

Traffic Management/Implications – In relation to the proposed agricultural activities, vehicle entering and leaving site will consist of no more than two-three trucks every 2-3 days.

8. Building Setbacks

The required building setbacks are 20 metres from all boundaries, however no buildings are being proposed in this application.

9. Planning for Bushfires

The Site is within a Bushfire Prone Area, however a Bushfire Attack Level (BAL) assessment is not required, as there are no habitable buildings involved, as per the deemed provisions of the *Planning & Development Regulations 2015* [r. 78B(1)]:

This Part does not apply to development unless the development is —

(a) the construction or use, or construction and use, of a single house or ancillary dwelling on a lot or lots with a total area of 1100 m² or more; or

- (b) the construction or use, or construction and use, of —*
- (i) a habitable building other than a single house or ancillary dwelling; or*
 - (ii) a specified building.*

Conclusion

The Site has a water licence, which contributes to the value of the land, and will expire if not used. The land is capable of sustaining agriculture, which the property has previously been developed for, with outbuildings, clearings and crops.

The proposal is for various agricultural activities, which fits within the Scheme land-use of Agriculture-Intensive, a discretionary use. The proposal complies with the zone objectives, and Council's policy on the use.

A concise Farm Management Plan is also provided, which demonstrates the minimal impact the proposal will have on the environment and surrounding properties.

As buildings are not being proposed, building setbacks and planning for bushfires is not a relevant consideration.

Subject to new information as a result of the request made here within, it is considered that the proposed development is an acceptable outcome for the Site and the surrounding area. As such, the Shire's discretion is requested to approve the discretionary land-use.

If the Shire does not see this proposal as being acceptable, I would appreciate a meeting to discuss the most efficient way forward.

If you have any queries, or wish to discuss this matter further, please do not hesitate to contact me.

Yours sincerely



Matt Stuart
Principal Urban Planning Consultant
BA (URP) Hons | Grad Cert (UD) | MLGPA
0408 000 477 | matt@townplanningadvice.com.au

- Att. 1. Planning Application Form & Checklist
2. Development Drawings (Rev. B)







11.3.3 APPLICATION FOR DEVELOPMENT APPROVAL - PROPOSED USE NOT LISTED (TEMPORARY WASTE WATER TREATMENT PLANT) ON LOT 9001 INDIAN OCEAN DRIVE, LANCELIN (LANCELIN SOUTH)

FILE: LND/137
APPLICANT: TABEC PTY LTD & TAYLOR BURRELL BARNETT
LOCATION: LOT 9001 INDIAN OCEAN DRIVE, LANCELIN
OWNER: JOSEPH BECK MATTHEWS
ZONING: FUTURE DEVELOPMENT
WAPC NO: N/A
REPORTING OFFICER: KYLIE BACON – ACTING EXECUTIVE MANAGER
PLANNING AND DEVELOPMENT
REPORT DATE: 17 APRIL 2018
REFER: NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider a Development Application for a proposed Use Not Listed (Temporary Waste Water Treatment Plant) (WWTP) on Lot 9001 Indian Ocean Drive, Lancelin (Lancelin South).

BACKGROUND

The proposed temporary WWTP is to be located within the Lancelin South Structure Plan, an area that consists of 500 hectares. Council approved the original Structure Plan at its Ordinary Council Meeting on 2 October 2007, with a revised Structure Plan adopted by Council on 18 June 2013. The Structure Plan for Stage 2 was recently adopted by the West Australian Planning Commission (WAPC) on 11 January 2018.

The area comprising the Lancelin South Structure Plan is located southeast of the Lancelin townsite, bound by Indian Ocean Drive to the east, Lancelin Road to the north and Old Ledge Point Road to the west.

The Stage 1 release consists of 51 lots, of which only 12 are currently occupied (July 2017). It is envisaged that Lancelin South will accommodate approximately 3,000 residents as future stages are released.

In March 2017, the Economic Regulation Authority (ERA) granted Water Services Licence No. 47 (WL47) to Lancelin South Pty Ltd for the provision of potable water supply, non-potable water supply and sewage services within the licenced development area.

Each property in Stage 1 is connected to a gravity sewerage system that drains to a collection sump in the south east corner of the site. This sump is then pumped out by a 10 kL tanker on a regular basis and removed to Water Corporation's (WC) Lancelin Wastewater Treatment Plant (LWTP). The Applicant has advised the current flow rates (January 2017) are only approx. 3.2m³/d.

The original design for the Stage 1 development ultimately included a Type 10 wastewater pump station and rising main to Water Corporation's LWTP. However, with the change in the ERA licencing conditions, Lancelin South Pty Ltd would now like to develop their own stand alone wastewater treatment and disposal scheme. The Lancelin South Wastewater Scheme is to be scalable to accommodate the growth of the Lancelin South community.

The applicant was initially seeking permanent approval for the WWTP so it could accommodate the growth of the Lancelin South community. The Shire advised the applicant that the proposal compromised the intent of the Structure Plan as the location extended over land that is identified for residential, and that it would not be supported.

The applicant subsequently provided advice that the WWTP proposed in Lancelin South is temporary only and, accordingly, will not impact future planning for the subdivision and development of Lancelin South for residential purposes in accordance with existing approved Structure Plans. Therefore, the applicant is seeking a five year timeframe for approval. This will enable development to commence immediately upon approval by the Shire and DWER, after which time the facility will be relocated. This will be addressed in more detail in the Comment section of the report.

The location of the WWTP is depicted on the Master Plan attached as **Appendix 1**.

A location plan and a copy of the Applicant's proposal are attached as **Appendix 2**.

COMMENT

Community Consultation

The application was advertised in accordance with clause 64 of the *Planning and Development (Local Planning Scheme Regulations) 2015 Deemed Provisions for Local Planning Schemes* (the Regulations).

The proposal was advertised to the Department of Planning, Lands and Heritage (DPLH), Department of Water and Environmental Regulation (DWER), Water Corporation, Health Department of Western Australia and the Department of Aboriginal Affairs (DAA).

Furthermore, the five closest residents to the 300 metre buffer were consulted. Three submissions objecting to the proposal were received.

A copy of the Schedule of Submissions and Responses that form **Appendix 3** will be distributed separately, prior to the meeting.

PLANNING ASSESSMENT

Local Planning Scheme No. 9 (LPS 9)

The subject land is zoned 'Future Development' with an approved Structure and Outline Development Plan (ODP) under LPS 9. Development being considered within the Future Development zone is to be accordance with clause 3.4.3 of LPS9 which states:

If the Zoning table does not identify any permissible uses for land in a zone the local government may, in considering an application for development approval for land within the zone, have due regard to any of the following plans that apply to the land.

- a) A structure plan*
- b) An activity centre plan*
- c) A local development plan*

The indicative zoning and the proposed 300 metre buffer where the WWTP is to be located extends over land that is identified for residential development in the Outline Development Plan (ODP). Residential development is classified as a sensitive land use and future residents' amenity may be affected by odour (for example) emanating from the WWTP. It was considered that the location of the WWTP would be better suited where its buffer comprises non-sensitive uses such as public open space or conservation areas.

This concern was raised with the applicant who has subsequently advised the following:

'I would like to confirm that the WWTP proposed in Lancelin South is temporary only and, accordingly, will not impact future planning for the subdivision and development of Lancelin South for residential purposes in accordance with existing approved Structure Plans.

The temporary WWTP has been necessitated by the WC no longer accepting tankering of waste water and will only be required until such time as a permanent facility is constructed on the north side of Lancelin Rd, as originally (and still) planned. A 5 year timeframe for approval of the WWTP is required to enable development to commence immediately upon approval of the Shire and DWER, after which time the facility will be relocated. It is noted that further approvals will be required to relocate or construct a new WWTP in the future'.

Considering the WWTP is temporary in nature and is to facilitate the waste services of the existing residential development, the future planning of the Structure Plan will not be compromised. In the event Council approves the application the approval will be limited to five years or residential development encroaches within the 300 metre buffer, whichever occurs first. At that point the WWTP will be required to be decommissioned and removed and the area made good to the satisfaction of the Shire.

Use Not Listed

Clause 3.4.2 of LPS 9 provides the following requirements for a use not listed development:

3.4.2 If a person proposed to carry out on land any use that is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the type, class or genus of activity of any other use category the local government may –

- a) Determine that the use is consistent with the objectives of the particular zone and is therefore permitted;*
- b) Determine that the use may be consistent with the objectives of the particular zone and thereafter follow the advertising procedures of clause 64 of the deemed provisions in considering an application for planning approval; or*

- c) *Determine that the use is not consistent with the objectives of the particular zone and is therefore not permitted.*

Given the temporary nature of the proposal and that the WWTP is only treating waste generated from development within the estate it is considered that the WWTP will not compromise the future of the Structure Plan or Outline Development Plan.

Environmental Protection Authority (EPA) Separation Distances between Industrial and Sensitive Land Uses No. 3

The EPA Guidance Statement does not stipulate an exact separation distance from the WWTP to a residential dwelling. The applicant has provided an indicative buffer of 300 metres as a guide for assessment.

The applicant has further advised that:

'In regard to the Biomax system, it only has a capacity of 50m³/d which is considerably less than a standard Water Corporation WWTP (ie nearby WC Lancelin WWTP has a capacity of 200m³/d). Accordingly, a generic buffer of 300m would not be applicable. We are prepared to maintain a separation distance of 300m to any residential use however while the facility is operating'.

It is considered reasonable on amenity grounds that a 300 metre buffer be provided where a buffer is required from the WWTP to a residential dwelling.

Servicing

Any additional servicing requirements will be the applicant's responsibility. The applicant has advised as follows:

In regard to the DoPLH's comments on the operation of the facility, I can advise that Lancelin South Pty Ltd is in the process of entering into a service and maintenance agreement with Biomax, which is a standard arrangement. On the basis that Lancelin South Pty Ltd is the service provider for waste water disposal, the Lancelin South office in Lancelin will be the point of contact for all residents for the purpose of communicating any issues. This is the standard practice for a service provider licenced by the ERA. If any issues are reported then Lancelin South Pty Ltd can respond quickly to implement any mitigation measures in association with Biomax'.

Planning in Bushfire Prone Areas

'State Planning Policy 3.7 – Planning in Bushfire Prone Areas' (SPP 3.7) provides a foundation for land use planning to address bushfire risk management. The subject lot is designated as being bushfire prone.

In accordance with the West Australian Planning Commission Planning Bulletin 111/2016 Planning in Bushfire Prone Areas, a Bushfire Attack Level Assessment (BAL) is not required. The proposal is considered to be exempt as it is service infrastructure which will not involve employees on site for a considerable amount of time, and is temporary in nature. The standard three metre firebreak consisting of bare earth is recommended.

Summary

In view of the above assessment Administration is of the view that the temporary nature of the approval will not affect the future planning of the existing Structure and Outline Development Plan and the proposal is therefore conditionally supported.

Advice Notes

In the event that Council approves this Development Application, the following Advice Notes will apply:

Note 1: If you are aggrieved with the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.

Note 2: If the development subject to this approval is not substantially commenced within a period of two years, the approval shall lapse and have no further effect.

Note 3: Where an approval has so lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.

Note 4: Further to this Approval, the Applicant will be required to submit working drawings and specification to comply with the requirements of the *Building Act 2011*, *Building Regulations 2012* and the *Public Health Act 2016*, which are to be approved by the Shire of Gingin.

Note 5: The applicant/landowner is advised to refer to the requirements of the *Health (Treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974*.

Note 6: This planning approval shall not be construed as an approval or support of any kind for any other planning related application (including clearing of natural vegetation) on the subject land.

Note 7: Please contact the Department of Water and Environmental Regulation (DWER) with respect to a clearing permit to remove or alter existing native vegetation on the subject property.

STATUTORY ENVIRONMENT

Local Planning Scheme No. 9

Part 3 – Zones and the Use of Land

3.2 Objectives of the Zones

Part 4 – General Development Requirements

4.8 General Development Standards

4.8.5 Rural Living Zone

State Planning Policy 3.7 – Planning in Bushfire Prone Areas

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

Focus Area	<i>Infrastructure & Development</i>
Objective	<i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for the Proposed Use Not Listed (Temporary Waste Water Treatment Plant) on Lot 9001 Indian Ocean Drive, Lancelin (Lancelin South), subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;
2. This approval is for a Temporary Waste Water Treatment Plant only as indicated on the approved plans;
3. This approval is valid for a period of five years from the date of this notice or until residential development encroaches within the 300 metre buffer, whichever occurs first. At that time, the Temporary Waste Water Treatment Plant is to be decommissioned and removed from the subject lot with the area remediated to a standard that can facilitate the future residential development to the satisfaction of the Shire of Gingin;
4. The Waste Water Treatment Plant is only permitted to treat waste that is generated within the Lancelin South estate. No outside waste is to be accepted and/or treated; and
5. The landowner/applicant is to install a three metre firebreak consisting of bare earth around the infrastructure.

RESOLUTION

Moved Councillor Elgin, seconded Councillor Johnson that Council grant Development Approval for the Proposed Use Not Listed (Temporary Waste Water Treatment Plant) on Lot 9001 Indian Ocean Drive, Lancelin (Lancelin South), subject to the following conditions:

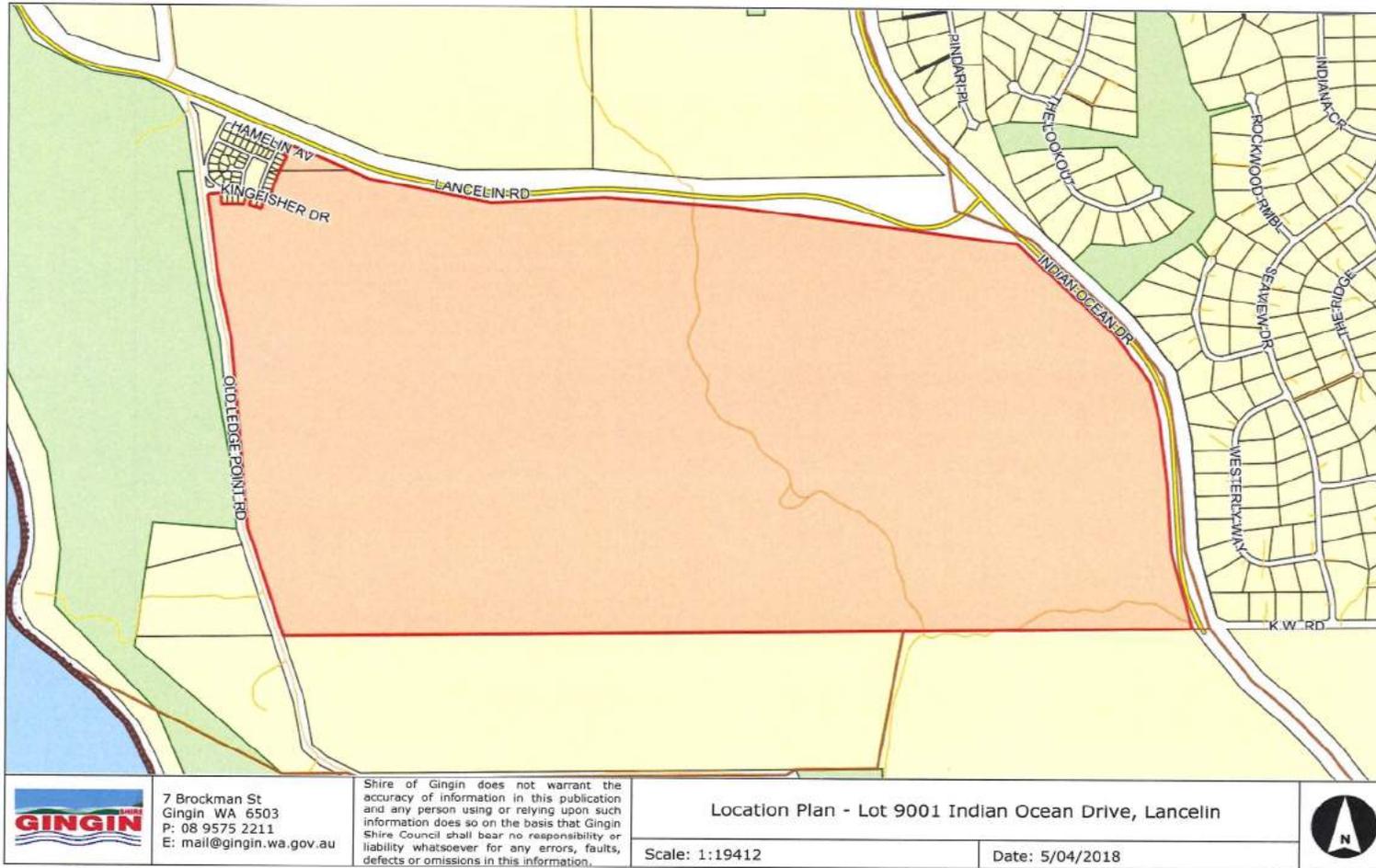
- 1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;**
- 2. This approval is for a Temporary Waste Water Treatment Plant only as indicated on the approved plans;**
- 3. This approval is valid for a period of five years from the date of this notice or until residential development encroaches within the 300 metre buffer, whichever occurs first. At that time, the Temporary Waste Water Treatment Plant is to be decommissioned and removed from the subject lot with the area remediated to a standard that can facilitate the future residential development to the satisfaction of the Shire of Gingin;**
- 4. The Waste Water Treatment Plant is only permitted to treat waste that is generated within the Lancelin South estate. No outside waste is to be accepted and/or treated; and**
- 5. The landowner/applicant is to install a three metre firebreak consisting of bare earth around the infrastructure.**

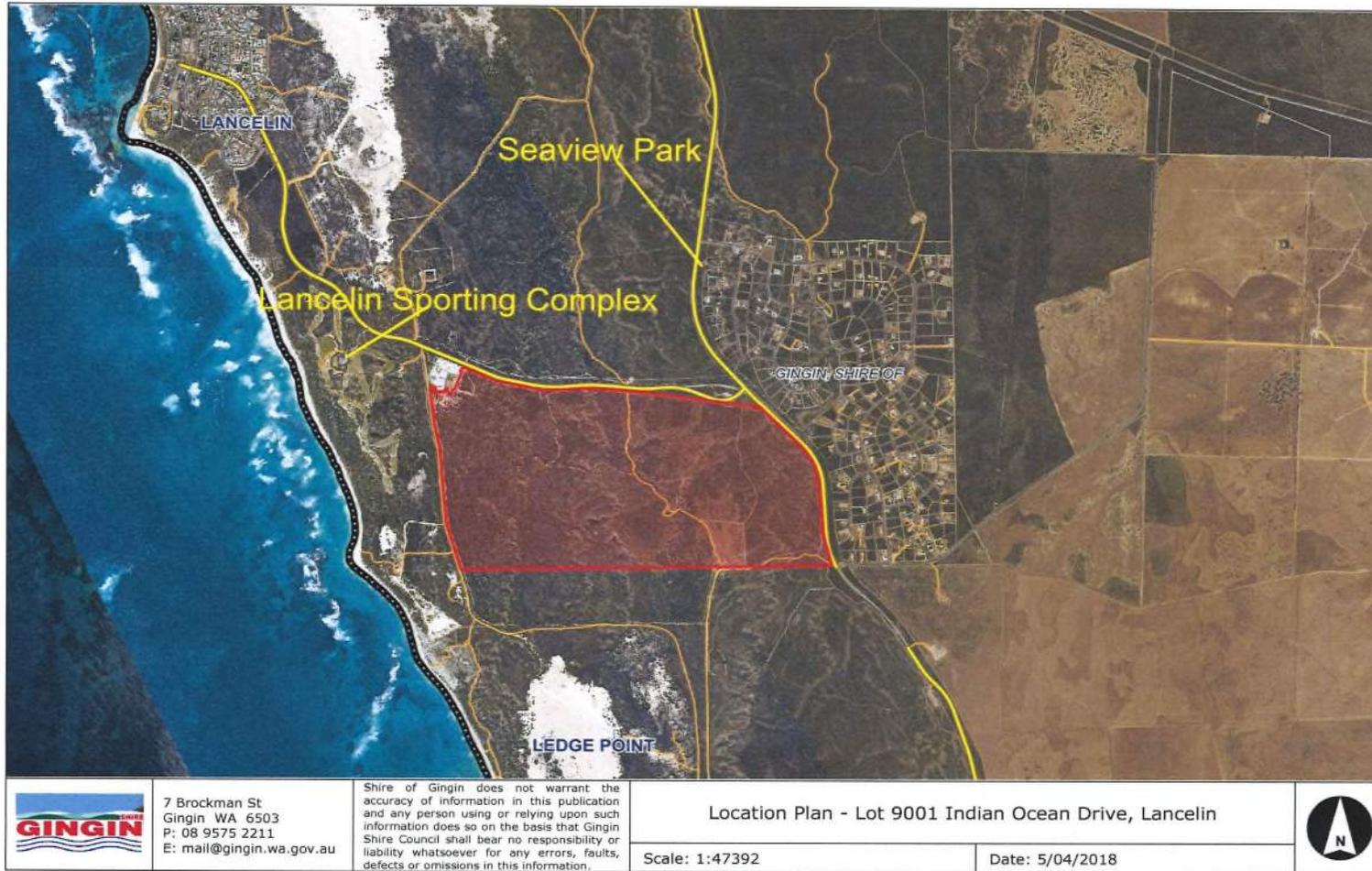
CARRIED UNANIMOUSLY

APPENDIX 1



APPENDIX 2







J.B. MATTHEWS



Proposed Development Of
Lots 5243 and 9505

Wastewater Treatment Plant

Project No. 2173-WWTP

November 2017

DRAWING LIST

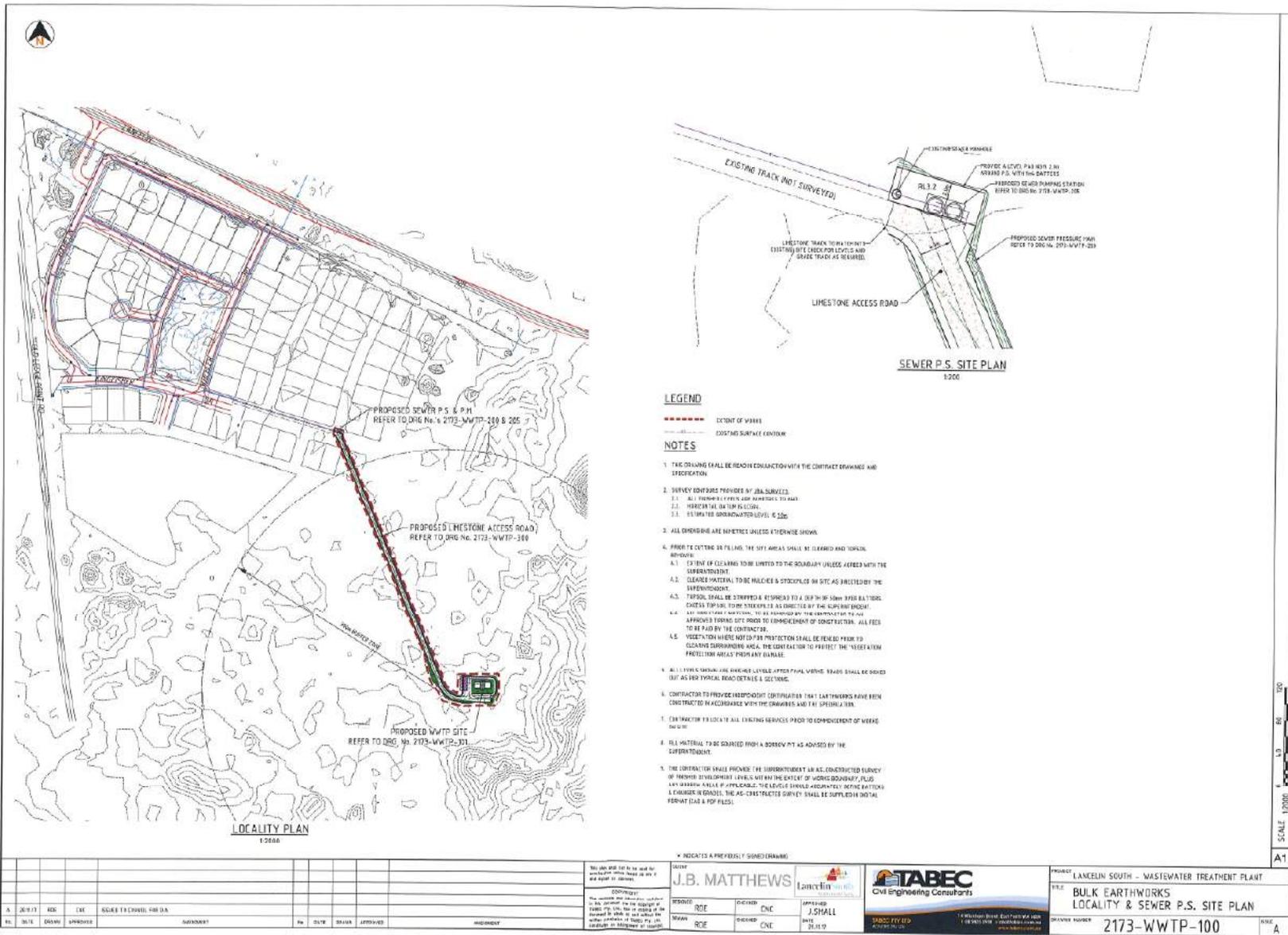
DESIGN DRAWINGS

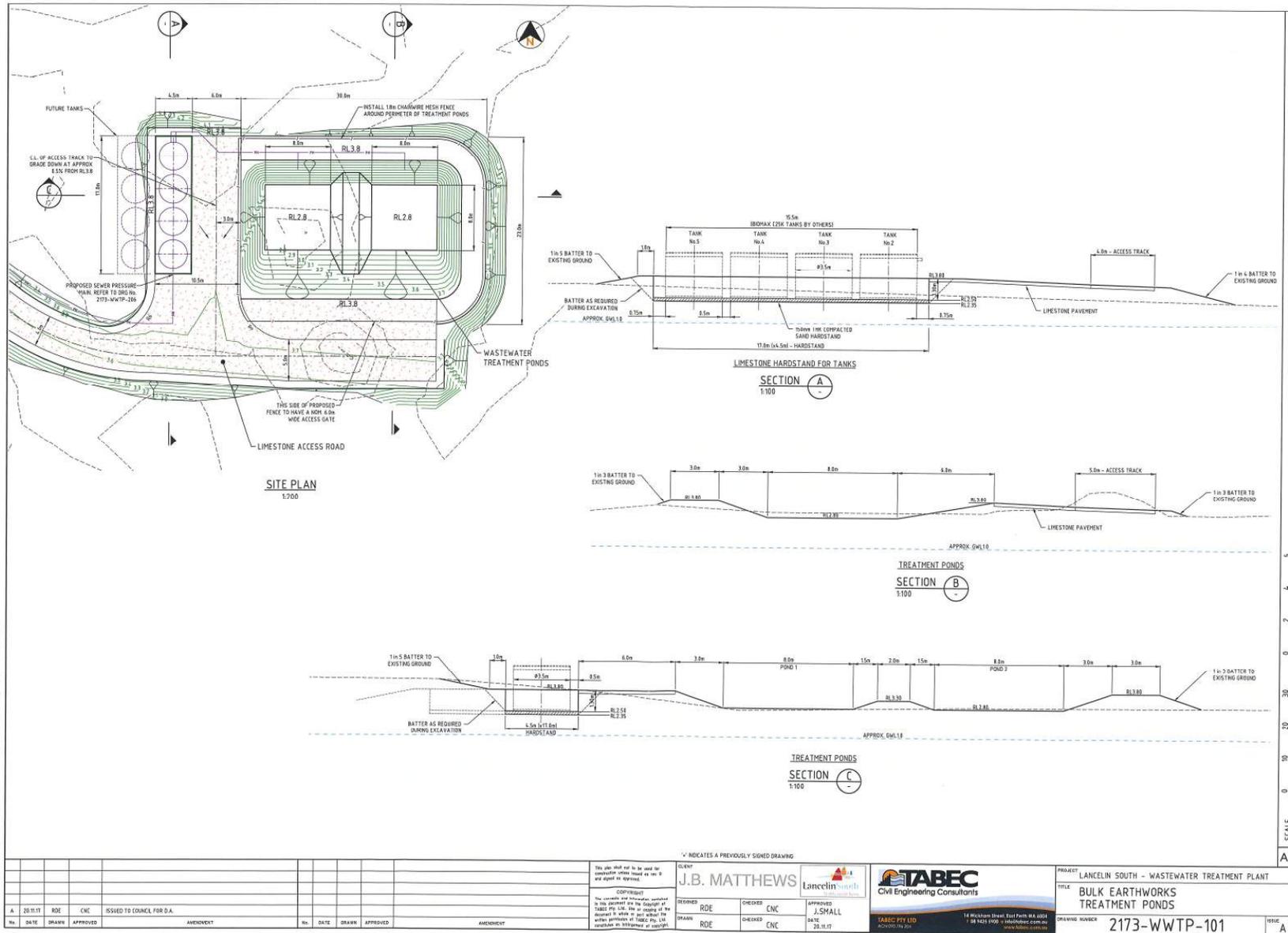
2173-WWTP-100	BULK EARINFWORKS LOCALITY & SEWER P.A. SITE PLAN
2173-WWTP-101	BULK EARINFWORKS TREATMENT PONDS
2173-WWTP-201	SEWER PRESSURE MAIN PLAN & LONGITUDINAL SECTION
2173-WWTP-205	SEWER PRESSURE MAIN PUMPING STATION PLAN & DETAILS
2173-WWTP-206	SEWER PRESSURE MAIN DISCHARGE ARRANGEMENTS
2173-WWTP-300	ACCESS ROAD PLAN & LONGITUDINAL SECTIONS

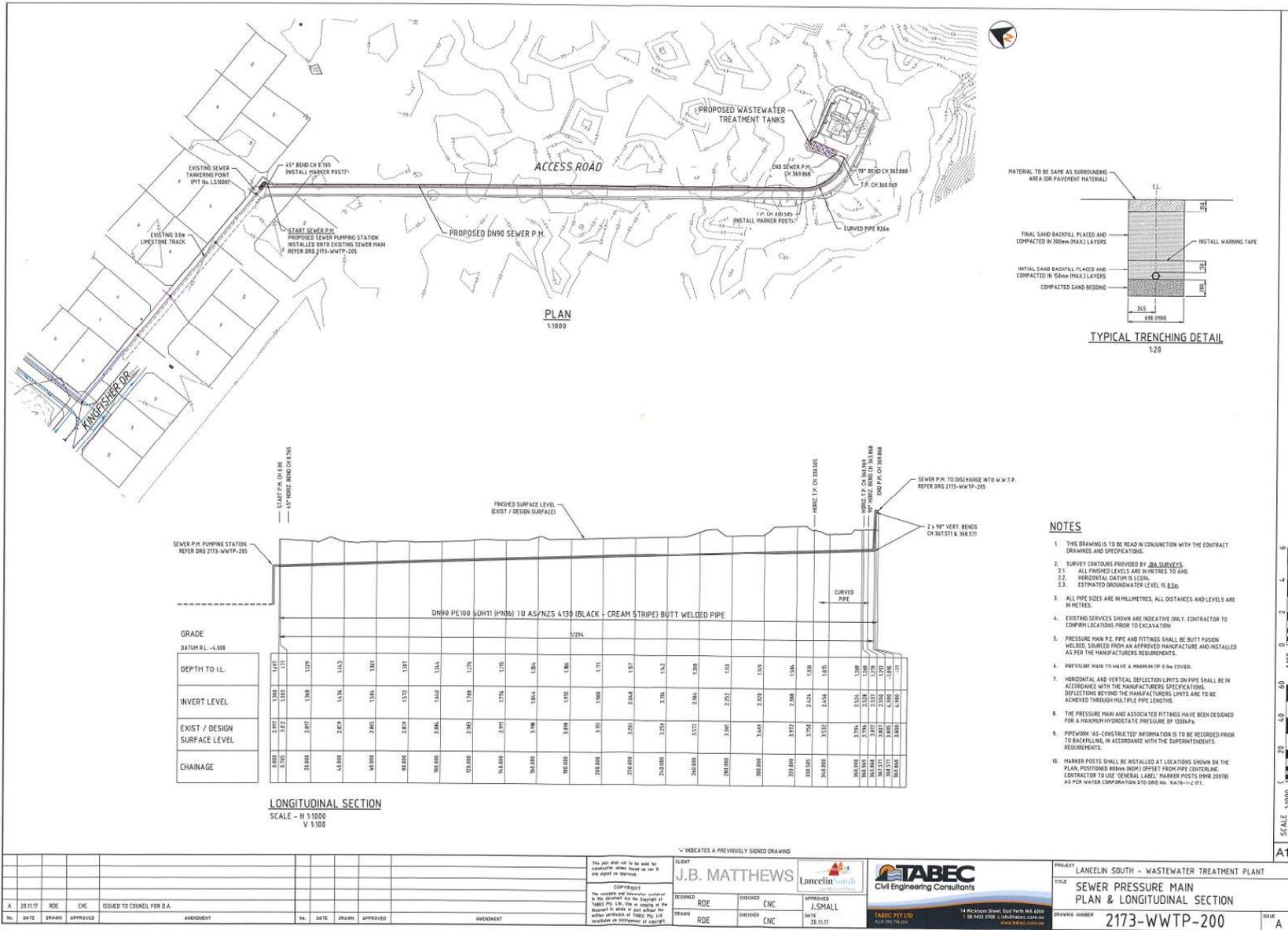
OTHER DRAWINGS

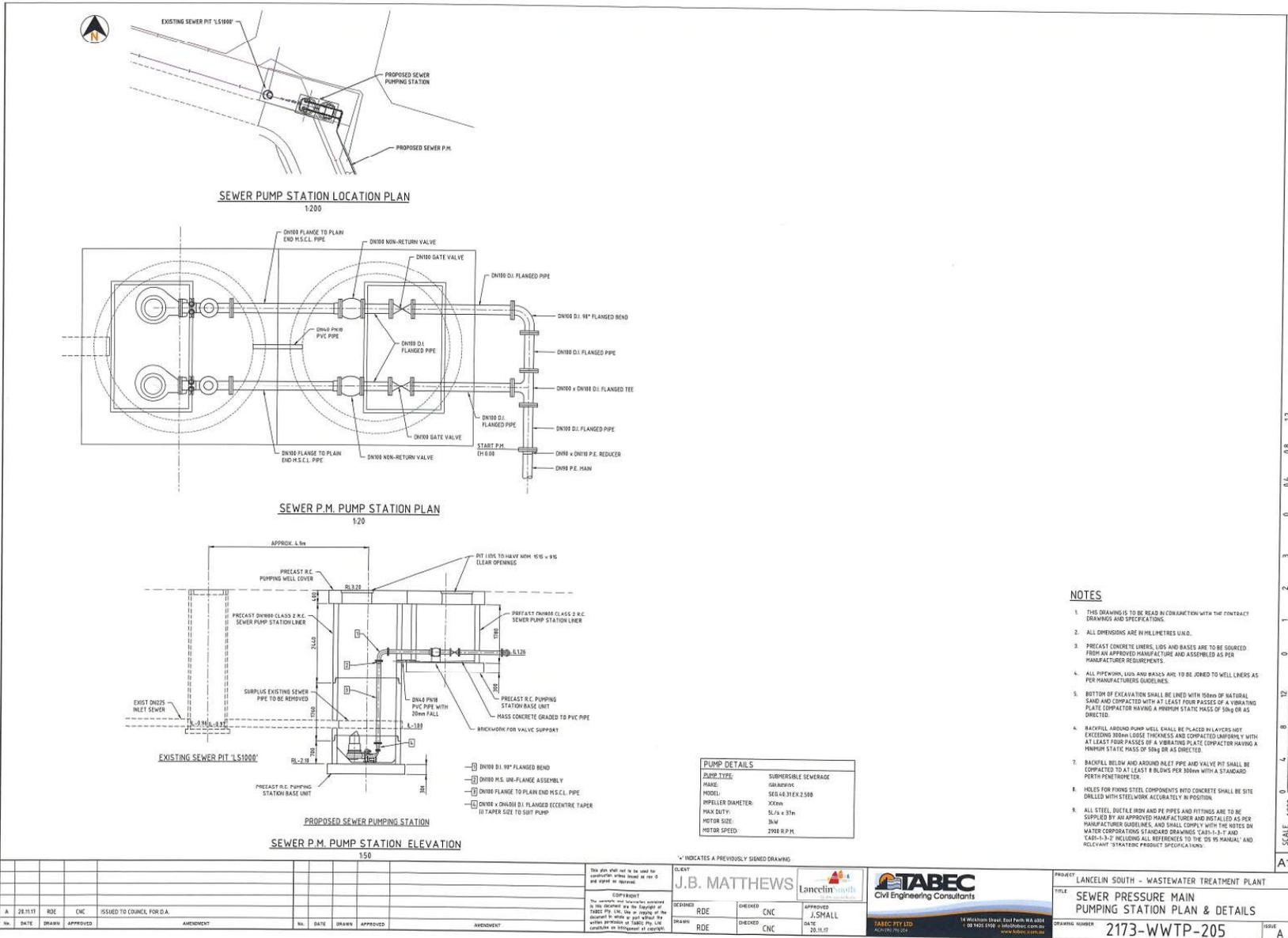
UPOB713	UNDERGROUND POWER DISTRIBUTION (UPD)
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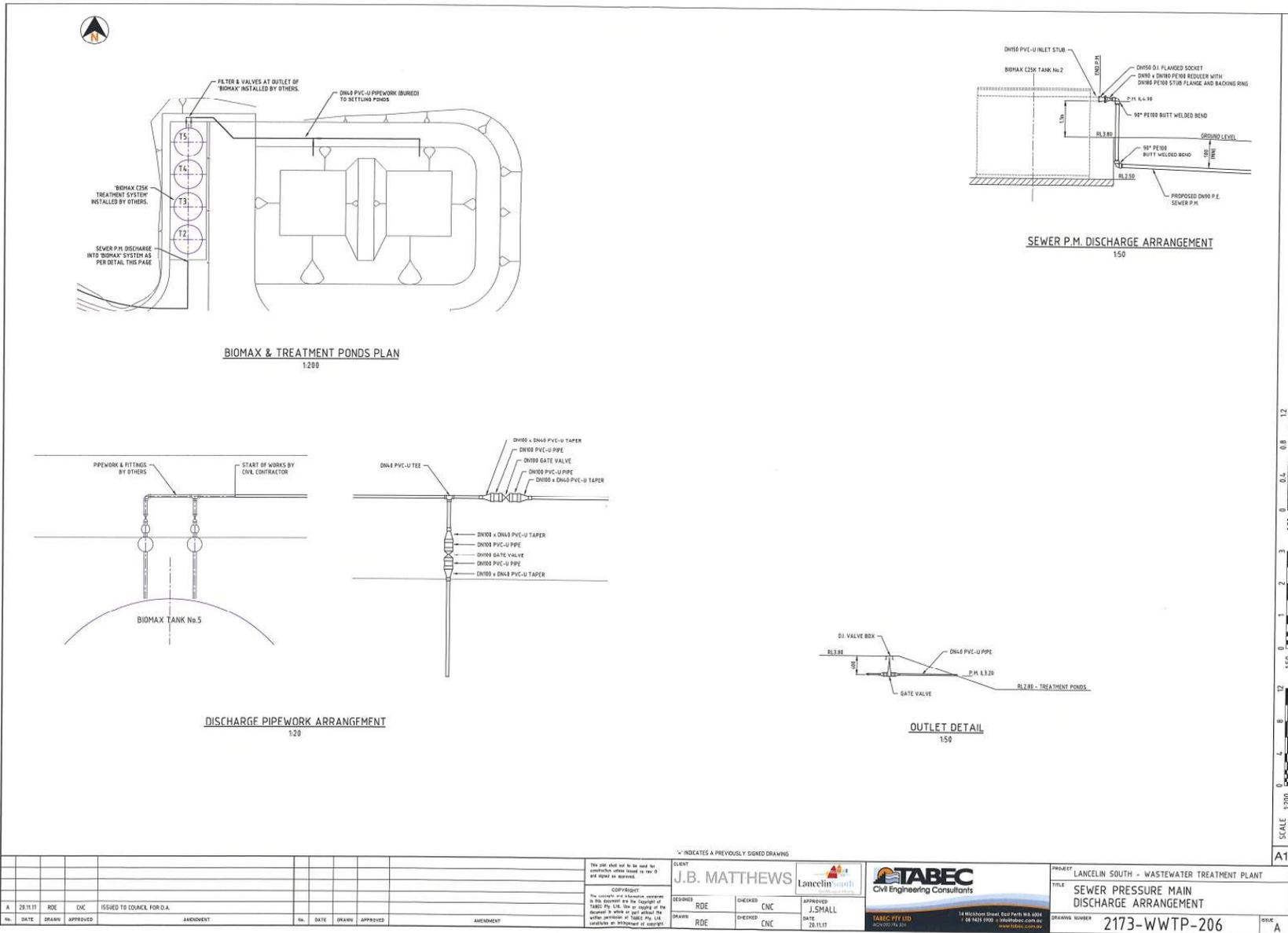


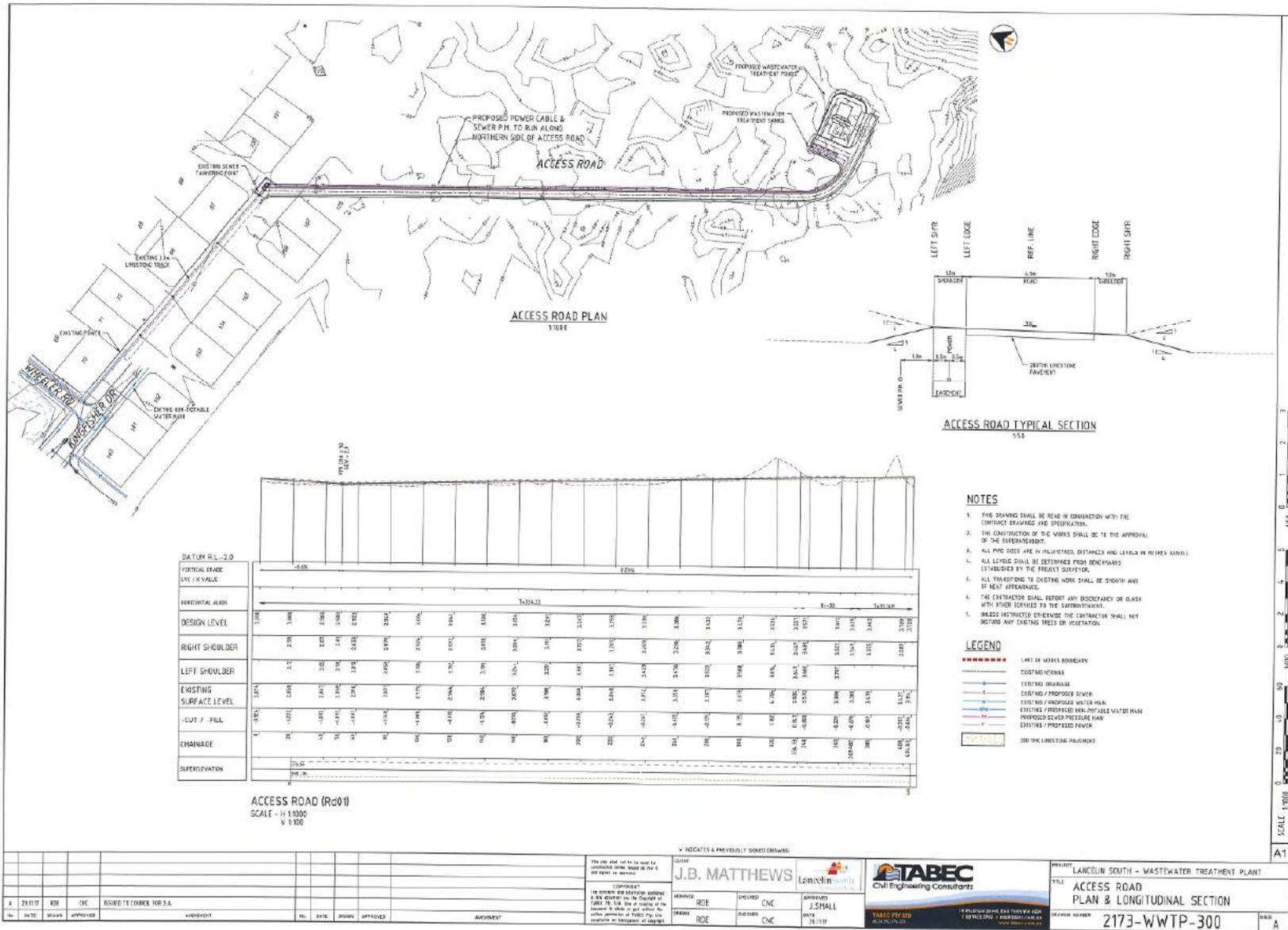












APPENDIX 3

SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

**APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED WASTE WATER TREATMENT PLANT (WWTP)
ON LOT 9001 LANCELIN ROAD, LANCELIN SOUTH**

No.	Submitter	Submission Detail	Recommended Response
1.	Department of Water and Environmental Regulation (DWER)	<p>The Submitter provides the following general comments:</p> <p><i>"The proposed WWTP meets the definition of a Category 85 – Sewage facility, as per the Environmental Protection Regulations 1987. The Environmental Protection Act 1986 requires a works approval to be obtained before constructing a prescribed premises and make it an offence to cause an emission or discharge, unless a registration (for operation) is held for the premises.</i></p> <p><i>A concurrent application for works approval and registration for the proposed WWTP was received by DWER on 26 September 2017. The purpose of a works approval is to allow DWER to assess the environmental acceptability of emissions and discharges of a proposal against standards and policies.</i></p> <p><i>In its assessment DWER has considered potential health, welfare and amenity impacts of noise, dust, odour on existing residential premises 400 m to the north of the WWTP and potential impacts on marine and groundwater quality from waste and leachate emissions. The assessment of potential amenity impacts is based on the separation distance of 400m to existing residential premises. The assessment also notes that future stage residences will have a minimum 300m buffer from the premises which DWER considers adequate for that type of plant. Please note however that the potential for health, welfare and amenity impacts for sensitive receptors closer than 300m has not been considered in the works approval assessment.</i></p>	Noted.

	<p><i>The application documentation is consistent with that provided with the planning application. The Department has undertaken an assessment of the proposal and has advised the applicant of an intention to grant following receipt of planning approval from the Shire.</i></p> <p><i>Further advice received from DWER on 16 February 2018:</i></p> <p><i>“The DWER assessment was only based on the Stage 1 residential area as a receptor for the establishment of a 50m³ per day WWTP, no other residential areas (including future residential areas and associated receptors) were considered in our original assessment of the Lancelin South WWTP (no information was provided).</i></p> <p><i>I understand the Shire is still determining the planning application.</i></p> <p><i>In accordance with DWER policy (see DWER guidance Statement: Land Use Planning - https://www.der.wa.gov.au/images/documents/our-work/regulatory-reform/Guidance_Statement_-_Land_Use_Planning.pdf), the DWER Delegated Officer will not make a determination on an instrument application until the Shire has determined the planning application (the application will be placed on hold for a limited period – usually ~ 6 months while planning issues are resolved).</i></p> <p><i>If the Shire does not provide planning approval, DWER will not make a determination on the works approval application in accordance with section 54(5) of the Environmental Protection Act 1986 and notify the applicant accordingly.</i></p> <p><i>Should the Shire provide planning approval, DWER’s assessment will need to consider regulatory controls imposed by the Shire to avoid regulatory duplication. DWER will need to reconsider its assessment in light of the Structure Plan provided by the Shire of Gingin to ensure that the future residential areas have due</i></p>	
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		<p><i>consideration from potential impacts arising from the proposed WWTP. This would include reassessment of treated wastewater discharges on groundwater quality within the future residential areas of the Structural Plan to ensure water quality is protected for non-potable bore water use; the applicant will need to demonstrate acceptability in accordance with the Department of Health (2014) Non-potable Groundwater Use criteria. Other emissions, such as odour, noise, dust, and waste, will also need to be reassessed for potential impact upon the future residential areas of Lancelin South.</i></p> <p><i>Should the applicant be required to relocated the proposed facility, it will be subject to a new application and assessment under DWER's regulatory framework".</i></p>	
2.	Department of Aboriginal Affairs (Aboriginal Heritage Directorate AHD)	<p>The Submitter provides the following general comments:</p> <p><i>"A review of the Register of Places and Objects as well as the AHD's Aboriginal Heritage Database confirms that the proposed location of the development on Lot 1040 Indian Ocean Drive does not intersect any reported Aboriginal heritage places.</i></p> <p><i>The DPLH recommends the proponent takes into consideration the State's Aboriginal Heritage Due Diligence Guidelines when planning specific developments associated with development proposals. The guidelines have been developed to assist proponents identify any risks to Aboriginal heritage and to mitigate risk where heritage sites may be present."</i></p>	Noted.
3.	Department of Planning, Lands and Heritage (Department of Planning)	<p>The Submitter provides the following general comments:</p> <p><i>"Under the Shire of Gingin Local planning Scheme No.9 (Scheme) the land is zoned 'Future Development', for which one of the objectives of this zone is to prevent land use being used or</i></p>	The WWTP proposed in Lancelin South is temporary only and, accordingly, will not impact future planning for the subdivision and development of Lancelin South for residential purposes in accordance with existing approved

	<p><i>developed in a manner which could prejudice its possible future use for planned development. The Lancelin South Stage 1 Outline Development Plan (ODP), approved by the Western Australian Planning Commission on 29 June 2011, provides for the coordination of future subdivision and development of the Stage 1 area (Attachment 1). The WWTP was not identified on the ODP.</i></p> <p><i>The proposed location of the WWTP and the proposed 300 metre buffer extends primarily over land that is identified for residential development in the ODP. Residential development has previously been approved within the proposed buffer, however the subdivision approval has now expired (WAPC Ref: 143820) (Attachment 2).</i></p> <p><i>Residential development is classified as a sensitive land use and future residents may be affected by odour emanating from the WWTP. The appropriateness and long term implications of the proposed location of the WWTP within the estate should be considered, as the location of the facility may be better suited where its buffer comprised non-sensitive uses such as public open space or conservation areas.</i></p> <p><i>The determination of the 300 metre buffer distance is unclear. The Environmental Protection Authority's Guidance Statement No. 3 – Separation Distances between Industrial and Sensitive Land Uses (2005) does not specify generic separation distances for waste water treatment plants. However, in determining an appropriate buffer, the following matters should be considered: the scale of the proposal, industry-specific guidance, technical studies, potential cumulative impacts, amenity and visual impacts, environmental and topographic features, and the design capacity for expansion of the facility for future stages of development and the potential for increased odours associated with future expansion. To protect the long term operation and expansion of the facility it is recommended that the establishment of incompatible or odour-sensitive development within the buffer is avoided".</i></p>	<p>Structure Plans.</p> <p>The temporary WWTP has been necessitated by the Water Corporation (WC) no longer accepting tanking of waste water to its facility in Lancelin after this year and will only be required until such time as a permanent facility is constructed on the north side of Lancelin Road.</p> <p>The WWTP is a Biomax system that only has a capacity of 50m³/d which is considerably less than a standard Water Corporation WWTP (i.e. nearby WC Lancelin WWTP has a capacity of 200m³/d).</p> <p>The Applicant has advised there are no noise or odour impacts so a generic 300m buffer is not applicable. Nevertheless, a separation distance of 300m to any residential use will be maintained while the facility is operating.</p> <p>As per the Works Approval documentation submitted to DWER, there is no threat to the groundwater and no requirement to restrict use of bores.</p> <p>Lancelin South Pty Ltd, as the service provider for waste water disposal, will enter into a standard service and maintenance agreement with Biomax. The Lancelin South office in Lancelin will be the point of contact for all residents for the purpose of communicating any issues and can respond quickly to implement any mitigation measures in association with Biomax, if required.</p>
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		<p>Further advice received on Department of Planning on 7 February 2018:</p> <p><i>“Groundwater – Page 15 states that there will be no sensitive receptors or sensitive land uses between the proposed treatment plant infiltration basin and the coastline. This suggests that no landowner west of the site would be permitted to install a bore to extract groundwater.</i></p> <p><i>Operation of the facility – Information on the Biomax system states that inadequate attention can quickly see the system’s performance suffer, impacting on odour and insect nuisance, as examples. Biomax would maintain the system with quarterly and annual checks, but it is unclear what system would be in place to inform Biomax if the alarm goes off in the interim. It appears that the alarm is simply a red light coming on”.</i></p>	
4.	Water Corporation	<p>The Submitter provides the following general comments:</p> <p><i>“The Water Corporation has no objections or comments on the proposal.”</i></p>	Noted.
5.	Department of Health	Require the Environmental Health’s Local Government Report.	This can be completed once the planning issues have been resolved and the planning approval determined as the outcome of the planning approval will affect the Environmental Officer’s report. The Shire has written to the Department of Health requesting an extension.
6.	Ratepayer	The submitter’s original submission is outlined below. However, the Applicant provided additional information to those that made a submission. Based on the additional information the submitter provided further comment on Friday 13 th April 2018:	<p>Temporary approval and the future planning of the area:</p> <p>The WWTP proposed in Lancelin South is temporary only and, accordingly, will not impact</p>

	<p><i>Thanks Rachel. Your information has provided more reassurance that this WWTP will be ok.</i></p> <p><i>Thanks for taking the time to email us and provide us with the further information required.</i></p> <p>Original submission received 9 April 2018:</p> <p><i>The Submitter does not support the proposal and provides the following general comments:</i></p> <p><i>"I have read your documentation on the proposed waste water treatment plant and I strongly object to this proposal. My reasons are the biological, environmental and chemical hazards associated with such a treatment plant.</i></p> <p><i>The proposed plant is located in a south east direction from the estate at a proposed vicinity of 300m. My concern is that the waste water treatment ponds will attract mosquitoes, flies and other such insects. The fact that we quite often have south easterly and southerly winds will mean that any odour will be clearly noticeable and unpleasant for the residents of Lancelin South not to mention the plague of mosquitoes and flies along with it.</i></p> <p><i>Along with the biological hazards there is also the potential risk of chemical hazards in that the vapour from the chemicals can be carried by the winds, once again, to the estate. Here is the potential for health problems both short term and long term for the residents of Lancelin South. Has it been considered what may happen should the power fail at the plant? The environmental impact of this plant could see chemicals seeping into the ground and potentially affecting vegetation and wildlife.</i></p> <p><i>When I purchased my house and land in Lancelin South, a waste water treatment plant with a proposed sewage pond was not part of</i></p>	<p>future planning for the subdivision and development of Lancelin South for residential purposes in accordance with existing approved Structure Plans.</p> <p>The temporary WWTP has been necessitated by the expiry of the agreement with the WC at the end of this year, for all waste water to be collected and transported by truck to WC's waste water facility in Lancelin. It will only be required until such time as a permanent facility is constructed on the north side of Lancelin Road. Accordingly, a time limited (five years only) approval is requested. It is not feasible to construct, nor viable to operate, a permanent facility to service Lancelin South at this stage due to insufficient customers.</p> <p>Amenity considerations.</p> <p>The WWTP is a Biomax system that only has a capacity of 50m³/d which is considerably less than a standard Water Corporation WWTP (i.e. nearby WC Lancelin WWTP has a capacity of 200m³/d). As the Applicant has advised, there are no noise or odour impacts, so a buffer is not applicable. Nor is there any statutory buffer distance stipulated in Environmental Protection Authority Guidance for the Assessment of Environmental Factors – Separation Distances between Industrial and Sensitive Land Uses No. 3.</p> <p>Nevertheless, a separation distance of 300m to any residential use will be maintained while the facility is operating to mitigate any concerns.</p>
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		<p><i>the deal. How can the estate grow with future residents when these proposals are put forward with very little time to address them. My fear is that even though the proposed waste water treatment plant is only supposed to be temporary, there is no guarantee of this and the plant may end up as a permanent fixture.</i></p> <p><i>I would also like to point out that I received this letter 8 days after it was dated and was expected to have a response back to you within 14 days. Were you aware that Easter occurred between the date of the letter, 27th March 2018, and the due date of 10 April 2018 minus 8 days it took for the letter to arrive in my possession? Are you aware that many residents of Lancelin South have not received such documentation from you?"</i></p>	<p><u>Public consultation:</u></p> <p>The application was advertised in accordance with clause 64 of the <i>Planning and Development (Local Planning Scheme Regulations) 2015 Deemed Provisions for Local Planning Schemes</i> (the Regulations), which requires a minimum of 14 days to advertise to landowners who in the opinion of the local government may be affected by the proposal.</p> <p>Furthermore, the five closest residents to the 300 metre buffer were consulted. As noted above, there is no statutory buffer that is imposed. Nevertheless, a separation distance of 300m to any residential use will be maintained while the facility is operating to mitigate any concerns. It was those landowners' who were the closest to the buffer who were consulted with.</p>
7.	Ratepayer	<p>The Submitter does not support the proposal and provides the following general comments:</p> <p><i>"How come only two properties out 11 received this letter? Very poor effort by the Shire. Only 10 days to respond (working days) again poor."</i></p>	<p><u>Public consultation:</u></p> <p>The application was advertised in accordance with clause 64 of the <i>Planning and Development (Local Planning Scheme Regulations) 2015 Deemed Provisions for Local Planning Schemes</i> (the Regulations), which requires a minimum of 14 days to advertise to landowners who in the opinion of the local government will may be affected by the proposal.</p>

			<p>Furthermore, the five closest residents to the 300 metre buffer were consulted. As noted above, there is no statutory buffer that is imposed. Nevertheless, a separation distance of 300m to any residential use will be maintained while the facility is operating to mitigate any concerns. It was those landowners who were the closest to the buffer who were consulted with.</p>
8.	Ratepayer	<p>The Submitter does not support the proposal and provides the following general comments:</p> <p><i>"1. We will be seriously affected by this proposal (300 metres from our home)</i> <i>2. Concerns for smell and health implications</i> <i>3. Where is the guarantee that this is temporary for five years</i> <i>4. Why can't the WWTP be moved to the Northern Subdivision now</i> <i>5. When we purchased our property there was never any mention or written documents (of this proposed open bond sewerage system so close to our residences</i> <i>6. Why has not more time and consultation given to ALL residents on this major concern for residents."</i></p>	<p><u>Amenity considerations (responses to submitter's points 1 and 2)</u></p> <p>The WWTP is a Biomax system that only has a capacity of 50m³/d which is considerably less than a standard Water Corporation WWTP (ie nearby WC Lancelin WWTP has a capacity of 200m³/d). As the Applicant has advised, there are no noise or odour impacts, so a buffer is not applicable. Nor is there any statutory buffer distance stipulated in <i>Environmental Protection Authority Guidance for the Assessment of Environmental Factors – Separation Distances between Industrial and Sensitive Land Uses No. 3</i>.</p> <p>Nevertheless, a separation distance of 300m to any residential use will be maintained while the facility is operating to mitigate any concerns.</p> <p><u>Temporary approval and the future planning of the area (responses to submitter's point 3 and 4:</u></p>

			<p>The WWTP proposed in Lancelin South is temporary only and, accordingly, will not impact future planning for the subdivision and development of Lancelin South for residential purposes in accordance with existing approved Structure Plans.</p> <p>The temporary WWTP has been necessitated by the expiry of the agreement with the WC at the end of this year, for all waste water to be collected and transported by truck to WC's waste water facility in Lancelin. It will only be required until such time as a permanent facility is constructed on the north side of Lancelin Road. Accordingly, a time limited (5 year only) approval is requested. It is not feasible to construct, nor viable to operate, a permanent facility to service Lancelin South at this stage due to insufficient customers.</p> <p>Conditions of the planning approval must be complied with unless an extension is sought by the applicant. If the temporary WWTP has not received an extension to its approval then Council can take compliance action under the provisions of the <i>Planning and Development Act 2005</i>.</p> <p><u>Contract of sale:</u> Not a planning matter.</p> <p><u>Public consultation (responses to submitter's point 3 and 4:</u></p> <p>The application was advertised in accordance with clause 64 of the <i>Planning and Development (Local Planning Scheme Regulations) 2015</i></p>
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			<p><i>Deemed Provisions for Local Planning Schemes</i> (the Regulations), which requires a minimum of 14 days to advertise to landowners' who in the opinion of the local government will may be affected by the proposal.</p> <p>Furthermore, the five closest residents to the 300 metre buffer were consulted. As noted above, there is no statutory buffer that is imposed. Nevertheless, a separation distance of 300m to any residential use will be maintained while the facility is operating to mitigate any concerns. It was those landowners' who were the closest to the buffer who were consulted with.</p>
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11.3.4 APPLICATION FOR DEVELOPMENT APPROVAL - THREE PROPOSED HOLIDAY ACCOMMODATION UNITS ON LOT 2 (88B) GINGIN ROAD, LANCELIN

FILE: BLD/6890
APPLICANT: ALEX HEMSLEY – HEMSLEY PLANNING
LOCATION: LOT 2 (88B) GINGIN ROAD, LANCELIN
OWNER: PAUL GOWDIE
ZONING: TOURISM
AUTHOR: JAMES BAYLISS – ACTING MANAGER
STATUTORY PLANNING
REPORTING OFFICER: KYLIE BACON – ACTING EXECUTIVE MANAGER
PLANNING AND DEVELOPMENT
REPORT DATE: 17 APRIL 2018
REFER: NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Development Approval for three holiday accommodation units on Lot 2 (88B) Gingin Road, Lancelin.

BACKGROUND

The Shire is in receipt of an Application for Development Approval for three holiday accommodation units at the abovementioned property. The site is a battle-axe design and gains access from Gingin Road, adjacent to Isabella's Cottage and Café. The land is 805m² in area with 105m² being the access leg. This creates an effective site area of 695m² which is currently vacant.

The proposal includes two units consisting of two bedrooms, one bathroom, two car bays and associated alfresco areas. The third unit provides one bedroom, one bathroom, an alfresco area and is serviced by one car bay.

The applicant originally proposed three two bedroom, one bathroom units serviced by two car bays and a communal cabana and barbeque facility. The proposal was referred to the Public Health Department due to the effluent disposal system discharging wastewater into trafficable leach drains within the vehicle manoeuvring area. Advice provided from the Public Health Department suggested the trafficable leach drains are not appropriate and therefore the applicant redesigned the proposal to incorporate a grassed area to accommodate the effluent disposal system.

Council consideration is required due to adverse submissions received during the advertising period.

A location plan, aerial photograph and copy of the applicant's proposal are provided as **Appendix 1**.

COMMENT

Community Consultation

The application was advertised to surrounding landowners, published on the Shire's website and a development sign placed on the verge of the property for a period of 21 days in accordance with clause 64 of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

The Schedule of Submissions and Recommended Responses is attached as **Appendix 2**.

It should be noted that the original application was subject to the advertising process. The amended design, which this report relates to, was not readvertised given the built form of the three proposed holiday units remained the same. The variations (removal of cabana and barbecue facilities) were not considered to cause any further impact on adjoining land or relate to submissions received.

Planning Framework

Local Planning Scheme No. 9

The subject land is zoned Tourism under LPS 9, the objectives of which are to:

- (a) *Promote and provide for tourism opportunities;*
- (b) *Provide for a variety of holiday accommodation styles and associated uses, including retail and service facilities where such facilities are provided in support of the tourist accommodation and are of an appropriate scale where they will not impact detrimentally on the surrounding or wider area;*
- (c) *Allow limited residential uses where appropriate;*
- (d) *Encourage the location of tourist facilities so that they may benefit from existing road services, physical service infrastructure, other tourist attractions, natural features and urban facilities;*
- (e) *Ensure that short stay tourist and holiday accommodation are the predominant land uses in the zone; and*
- (f) *Encourage tourism development that is generally sympathetic to the natural and built features of the surrounding area.*

Schedule 1 – Dictionary of Defined Words and Expressions of LPS 9 defines 'Holiday Accommodation' as:

"Two or more dwellings on one lot which, by way of trade or business, are made available for occupation by persons, other than the proprietor, for holiday or other temporary purposes;"

Notwithstanding the above, the zoning table does not identify Holiday Accommodation as a land use and as such the proposal is assessed as a use not listed. Clause 3.4.2 outlines the process of dealing with land uses that are not listed in the Zoning Table as provided below:

“Clause 3.4.2

If a person proposes to carry out on land any use that is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the type, class or genus of activity of any other use category the local government may –

- (a) Determine that the use is consistent with the objectives of the particular zone and is therefore permitted;*
- (b) Determine that the use may be consistent with the objectives of the particular zone and thereafter follow the advertising procedures of clause 9.4 in considering an application for planning approval; or*
- (c) Determine that the use is not consistent with the objectives of the particular zone and is therefore not permitted.”*

The land use Holiday Accommodation is deemed to be consistent with the objectives of the tourism zone outlined above. The proposal is for short-stay tourism purposes and will not be occupied for permanent residential purposes.

Local Planning Scheme No. 9 - Table 2 Site Requirements

Setbacks

LPS 9 prescribes a front (eastern) setback of 5m for tourist related development within a Tourism zoning. The proposal provides a 1.1m setback from the front boundary, however it should be noted the lot is a battle-axe arrangement and therefore has no street frontage. The eastern setback, being 1.1m, is considered adequate based on wall height of the development.

Development of this nature is afforded a nil side setback as per Table 2 of LPS 9. The proposal provides a 1.2 metre setback from the side (southern) boundary and is therefore compliant.

The rear setback is recommended to be 6m as per Table 2 of LPS 9. The proposal provides a 1.1 metre setback from the rear (western) boundary. If the front and rear setback were adhered to in this instance, it would only provide a small building envelope within the property. The majority of the development is adjacent to an existing outbuilding located on the adjoining lot and there will be no impact to outdoor living or habitable areas on adjoining land. The setback provided is deemed to be adequate based on wall and overall height of the development.

Site Coverage

The allowable site coverage as per Table 2 – Site Requirements of LPS 9 is 50% of the lot area. The proposal results in 33.72% site coverage of the effective lot area and is therefore compliant.

Landscaping

Table 2 – Site Requirements of LPS 9 recommends 50% of all setback areas be landscaped. The proposal provides ample landscaping adjacent to the driveway and a generous communal lawn area. The proposal is deemed to satisfy LPS 9 with respect to landscaping provisions.

4.8 Zone Specific Development Standards

LPS 9 provides a comprehensive range of development standards that tourism proposals must satisfy in order to be permitted to construct at a higher density than Residential 12.5. The specific development standards are outlined below, with a summary of how the proposed development satisfies the relevant clause.

4.8.7 Tourism Zone

4.8.7.1 Development within the Tourism Zone will comprise a range of land uses set out in the purpose and objectives of the Zone and in the Zoning Table. Dependent upon the use proposed, sites for such developments will normally be identified within or in close proximity to established settlements.

As outlined above, holiday accommodation is deemed to satisfy the objectives of the Tourism zone. The proposed development has considered the intent of the zoning which encourages landowners to develop their property for short-stay accommodation purposes to provide additional accommodation for tourists.

4.8.7.2 Development proposals will be considered by the local government with particular regard to the impact of the proposed development on visual and natural amenity, the availability of reticulated sewerage and/or the suitability of the land for on-site effluent disposal, the provision of sufficient landscape buffers and the density of the development.

The built form of the development is consistent with the predominant surrounding residential character. Given deep sewer is not available, generally residential development will occur at an R12.5 density which requires 55% of the lot area be open space. This proposal provides 66.28% open space, demonstrating that the built form and density is not out of character.

The suitability of onsite effluent disposal has been somewhat challenging given a high water table is present. Ultimately the disposal of effluent will occur below the communal lawn area and the Shire's Environmental Health Officer is satisfied that sewage can be disposed of appropriately.

4.8.7.3 Those areas of the site providing the highest tourism amenity, e.g. the beachfront, shall be retained for tourism purposes, and not designated for residential use. The maximum proportion of residential units shall be such that the site retains a dominant tourism function and character, and shall be determined by the local government between zero and 25 per cent inclusive.

The subject lot is located within close proximity to the beachfront. The proposal does not include any units being dedicated to residential purposes and therefore satisfies the above development standard.

4.8.7.4 Where tourism development with no permanent or semi-permanent residential units is proposed, local government may at its discretion vary the maximum plot ratio imposed.

The proposal satisfies any site/plot ratio requirements and this clause is therefore not applicable in this instance.

4.8.7.5 Where strata titling is proposed, appropriate management arrangements in a management statement which ensures that all units will be let out for tourism

No strata titling is proposed. If in the future this was proposed it could be dealt with at that time.

4.8.7.6 The maximum percentage of residential units/development on site shall comply with the following at all stages of the development:

- (a) The proportion of residential units relative to the total number of accommodation units on the site shall be equal to or less than the approved percentage.*
- (b) The site area occupied by the residential units, and any areas designated for the specific use of occupiers of those units, relative to the area occupied by the short-stay development shall be equal to or less than the approved percentage. In calculating the area occupied by the two development categories, those facilities available for common use shall be excluded from the calculation.*
- (c) That any individual residential unit and as a whole any residential component of such a development shall be of a design and scale that is clearly subsidiary to the tourism component of the development such that the tourism component remains dominant in all aspects.*

The proposal does not include any unit being used for sole residential purposes. The above clause is therefore satisfied.

4.8.7.7 Proposals for offices and reception centres in the Tourism Zone will only be considered where they are incidental to, and support the proposed tourism use on the site.

Not applicable in this instance.

4.8.7.8 Tourism development that incorporates accommodation and/or reception facilities shall include provision for an onsite manager.

The proposal does not include an office or reception facility. The bookings will be self-managed by the landowner offsite. This clause is not applicable in this instance.

4.8.7.9 Proposals for subdivision and development for Residential land uses in the Tourism zone will be determined in accordance with Residential R12.5 code unless combined with a Tourism proposal.

The proposal does not include subdivision or a residential land use. This clause is not applicable in this instance.

4.8.7.10 In considering proposals in the Tourism Zone, local government shall have regard for the zone objectives, the scale and bulk of the proposal and its integration with surrounding land uses.

The built form of the development is consistent with the predominant surrounding residential character. As outlined above, the open space provisions accord with a traditional R12.5 density which integrates with the surrounding built form and character. The development has been assessed against the Residential Design Codes below to further demonstrate that the built form is deemed to be acceptable.

4.8.7.11 Local government may, at its discretion, require proposed shared facilities in tourist developments to be established in the first stage of development.

Not applicable in this instance.

4.8.7.12 To reduce the likelihood of tourism accommodation being used as permanent or semi-permanent accommodation, a maximum length of stay provision of three months in any twelve month period should apply to the tourism units on all developments.

This clause will be satisfied by imposing a condition to that effect.

State Planning Policy 3.1 - Residential Design Codes of Western Australia

The R-Codes provide a comprehensive basis for the control of residential development throughout Western Australia. In this instance the proposal is not for bona-fide residential use, however it is considered logical to assess the built form of the proposal against the R-Codes given the lot size and predominant surrounding land uses being residential. This will further demonstrate that the built form integrates with the surrounding residential character.

The finished floor level (FFL) of the units is 2.40 which is varied between being 0.42 metres to 1.24 metres above natural ground level (NGL). Given the height of the FFL being over 0.5m above the NGL, clause 5.4.1 – Visual Privacy of the R-Codes is applied. The window sill heights are 1.6 metres from FFL and are therefore compliant.

The deemed-to-comply provisions require an un-enclosed outdoor habitable space to be set back 7.5 metres from the property boundary unless provided with permanent screening to restrict viewing into adjoining land. The application includes an alfresco area for each unit, each of which has been provided with screening devices to reduce overlooking into adjoining properties. This notwithstanding, there are two small visual privacy encroachments onto adjoining land to the west and east, as outlined on the site plan.

The variations outlined above are assessed against the relevant design principles outlined in Table 1 below.

Design Principles <i>Development demonstrates compliance with the following design principles (P)</i>	Officer Comments
<p>5.4.1 Visual Privacy</p> <p>P1.1 Minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:</p> <ul style="list-style-type: none"> • building layout and location; • design of major openings; • landscape screening of outdoor active habitable spaces; and/or • location of screening devices. <p>P1.2 Maximum visual privacy to side and rear boundaries through measures such as:</p> <ul style="list-style-type: none"> • offsetting the location of ground and first floor windows so that viewing is oblique rather than direct; • building to the boundary where appropriate; • setting back the first floor from the side boundary; • providing higher or opaque and fixed windows; and/or • Screen devices (including landscaping, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters). 	<ul style="list-style-type: none"> • The portions of land being overlooked by Unit 1 and Unit 3 alfresco areas are not currently being used as an active habitable space (i.e. outdoor living area). • The extent of encroachment is considered to be minor given the proposed screening devices will prevent looking into majority of adjoining land.

Car Parking

The two bedroom units are serviced by two car parking bays and the one bedroom unit is serviced by one car parking bay. The provision of five car parking bays is considered adequate.

State Planning Policy 3.7 – Planning in Bushfire Prone Areas (SPP 3.7)

SPP 3.7 provides a foundation for land use planning to address bushfire risk management. The subject lot is designated as being bushfire prone. In this instance, given a tourism (holiday accommodation) use is proposed it constitutes a vulnerable land use under SPP 3.7 and the broad exemption to land less than 1100m² is not applicable. The applicant submitted a BAL assessment which determined a rating of BAL-12.5 which is considered to be a low risk.

Local Planning Policy 3.2 – Tourism Zone (LPP 3.2)

LPP 3.2 applies to all land with a coding of Tourism, the objective of which is to encourage development of tourist accommodation and related services. The policy statement is as follows:

- 3.1 Land will be allocated to the Tourism zone ahead of requirement to ensure an adequate supply of land for these purposes and to assist in minimising development delays due to the scheme amendment procedure.*
- 3.2 Land shown as Tourist Accommodation on the townsite strategy maps will progressively be included in the Tourism zone.*
- 3.3 The Tourism zone includes a number of designated tourist nodes, and a range of tourist related services will be encouraged to locate in these nodes.*
- 3.4 In some instances Council may require Structure Plans to be prepared for tourist nodes.*

The proposed development is deemed to satisfy LPP 3.2.

Summary

In view of the above assessment Administration is of the view that the proposal is consistent with the objectives of the tourism zone and adequately addresses the zone specific development requirements. Appropriate conditions have been imposed to ensure that the development does not become a permanent residential land use as this is contrary to LPS 9.

Advice Notes

In the event that Council resolves to approve this application, the following Advice Notes will apply:

- Note 1: If you are aggrieved with the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: If the development subject to this approval is not substantially commenced within a period of two years, the approval shall lapse and have no further effect.

- Note 3: Where an approval has so lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.
- Note 4: Further to this approval, the applicant is required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011* and *Health Act 2016*, which are to be approved by the Shire of Gingin.
- Note 5: This planning approval shall not be construed as an approval or support of any kind for any other planning related application (including subdivision) on the subject land.
- Note 6: The applicant/landowner is advised to refer to the requirements of the *Health (Treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974*.
- Note 7: This approval does not authorise any interference with dividing fences, or entry onto neighbouring land. Accordingly, should you wish to remove or replace any portion of a dividing fence or enter onto neighbouring land, you must first come to a satisfactory arrangement with the adjoining property owner. Please refer to the *Dividing Fences Act 1961*.
- Note 8: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment.
- Note 9: The applicant/landowner is to liaise with the Executive Manger Operations-Construction with respect to any upgrades to the existing crossover as per Condition 5.

STATUTORY ENVIRONMENT

Local Planning Scheme No. 9

Part 3 – Zones and the Use of Land

3.2 Objectives of the Zones

Part 4 – General Development Requirements

4.7 General Development Standards

4.8.7 Tourism Zone

State Planning Policy 3.1 – Residential Design Codes of Western Australia

State Planning Policy 3.7 – Planning In Bushfire Prone Areas

Local Planning Policy 3.2 – Tourism Zone

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

<i>Focus Area</i>	<i>Infrastructure and Development</i>
<i>Objective</i>	<i>3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner.</i>
<i>Outcome</i>	<i>3.1 Development new and existing developments meet the Shire's Strategic Objectives and Outcomes.</i>
<i>Priority</i>	<i>3.1.1 Support strategies that facilitate commercial development.</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for Three Holiday Accommodation Units on Lot 2 (88B) Gingin Road, Lancelin subject to the following conditions:

1. All development shall be undertaken in accordance with the approved plans and specifications (including any modifications marked in RED) unless conditioned otherwise in this approval;
2. This approval is for three holiday accommodation units only as indicated on the approved plans;
3. The three holiday accommodation units are to be used for short stay purposes only and are not to be used for permanent residential purposes;
4. Prior to the occupation of the holiday accommodation units all privacy screens indicated on the approved plans shall be installed. Screens must be at least 75% obscure, permanently fixed, made of durable material and restrict views in the direction of overlooking into any adjoining properties (as per Clause 5.4.1, subclause C1.2 of the Residential Design Codes);
5. The crossover is to be installed/upgraded to the satisfaction of the Shire of Gingin;
6. Stormwater from all roofed and paved areas shall be collected and contained on site to the satisfaction of the Shire of Gingin;
7. Prior to the issue of a building permit the Applicant/Owner shall execute and provide to the Shire of Gingin a notification pursuant to Section 70A of the *Transfer of Land Act 1893* to be registered on the title to the land as notification to prospective purchasers as follows:

Bushfire Prone Area – This lot is located within a bushfire prone area.

RESOLUTION

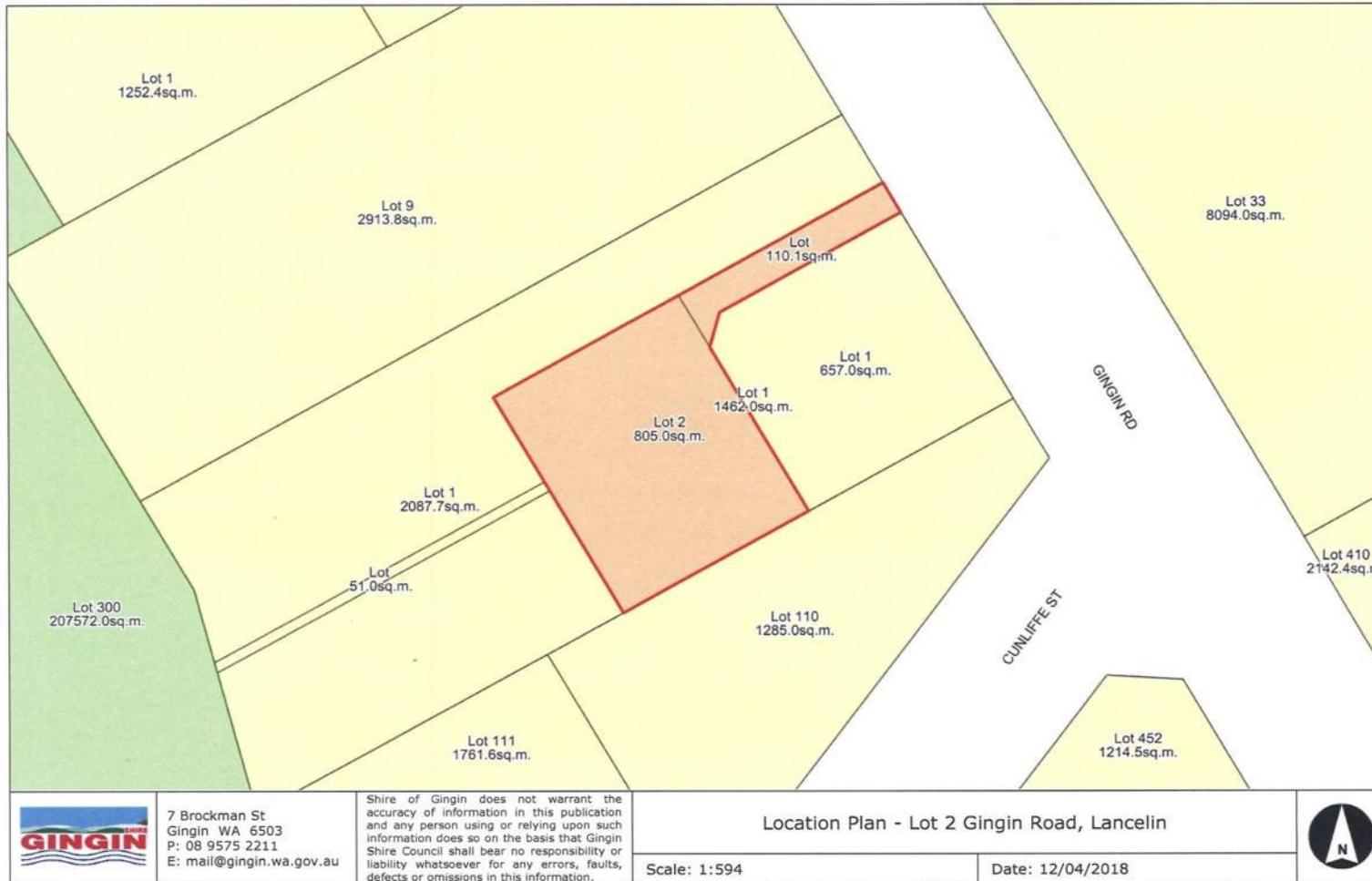
Moved Councillor Fewster, seconded Councillor Elgin that Council grant Development Approval for Three Holiday Accommodation Units on Lot 2 (88B) Gingin Road, Lancelin subject to the following conditions:

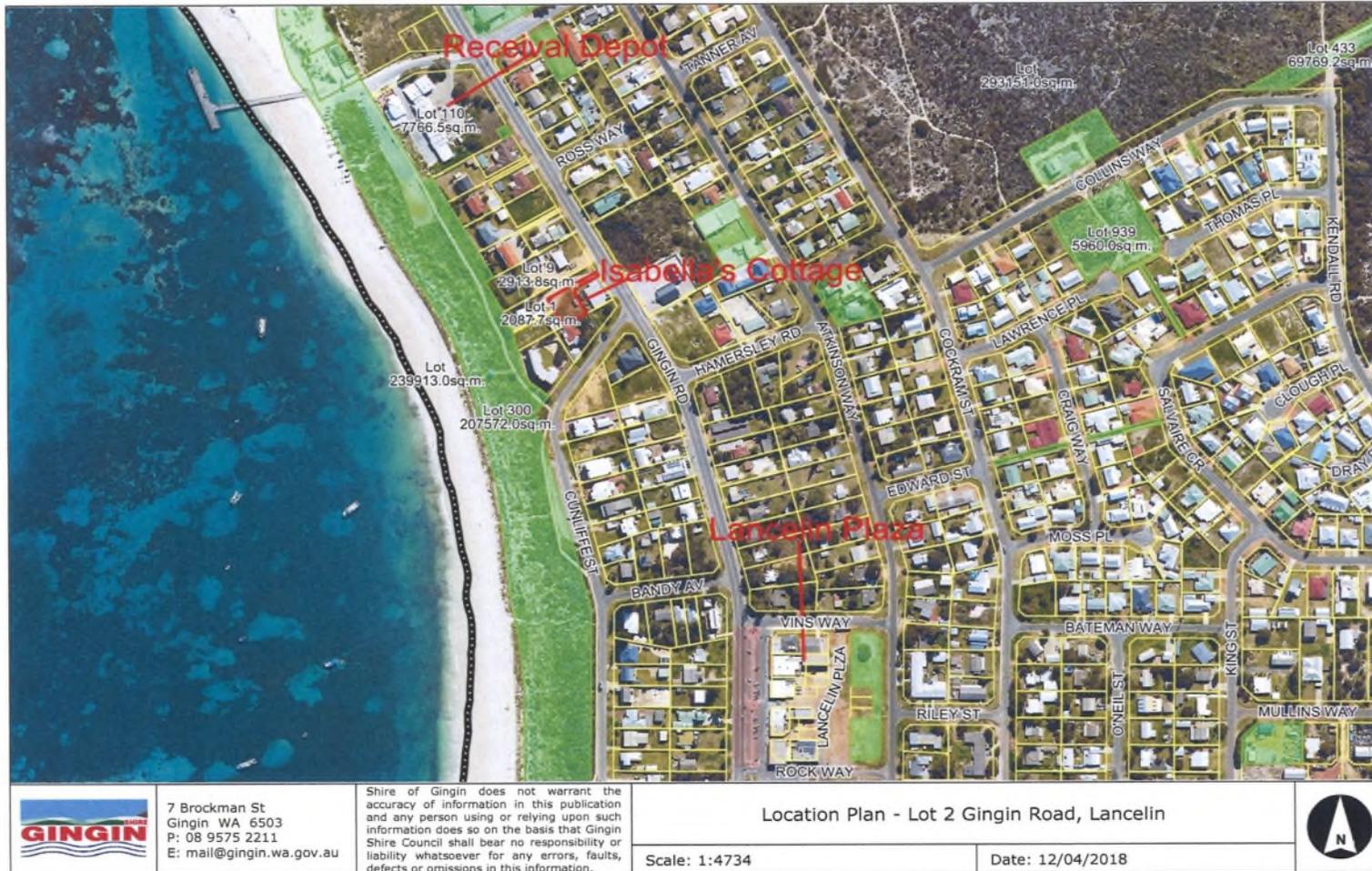
- 1. All development shall be undertaken in accordance with the approved plans and specifications (including any modifications marked in RED) unless conditioned otherwise in this approval;**
- 2. This approval is for three holiday accommodation units only as indicated on the approved plans;**
- 3. The three holiday accommodation units are to be used for short stay purposes only and are not to be used for permanent residential purposes;**
- 4. Prior to the occupation of the holiday accommodation units all privacy screens indicated on the approved plans shall be installed. Screens must be at least 75% obscure, permanently fixed, made of durable material and restrict views in the direction of overlooking into any adjoining properties (as per Clause 5.4.1, subclause C1.2 of the Residential Design Codes);**
- 5. The crossover is to be installed/upgraded to the satisfaction of the Shire of Gingin;**
- 6. Stormwater from all roofed and paved areas shall be collected and contained on site to the satisfaction of the Shire of Gingin;**
- 7. Prior to the issue of a building permit the Applicant/Owner shall execute and provide to the Shire of Gingin a notification pursuant to Section 70A of the *Transfer of Land Act 1893* to be registered on the title to the land as notification to prospective purchasers as follows:**

Bushfire Prone Area – This lot is located within a bushfire prone area.

CARRIED UNANIMOUSLY

APPENDIX 1





The CEO
Attention: James Bayliss
Shire of Gingin
7 Brockman Street
PO Box 510
Gingin, WA, 6503



ACN 619 383 407
168 Stirling Highway
Nedlands WA 6009
info@hplanning.com.au

Wednesday, 6 December 2017

Requested Additional Information | 88b (SSL 2) Gingin Road, Lancelin

Dear James,

The purpose of this letter is to provide additional information to satisfy as per the request to the applicant by the Shire of Gingin to accompany a Development Application for use and works associated with the development of three (3) Holiday Accommodation units. This correspondence addresses zone specific development standards listed in Clause 4.8.7 Tourism Zone of Town Planning Scheme No. 9 (TPS9).



Figure 1 Architectural render of the proposed development.

89 Lancelin

TOURISM PROPOSAL

SHIRE OF GINGIN- TOWN PLANING SCHEME NO. 9 - CLAUSE 4.8.7 TOURISM ZONE

Clause	Response
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4.8.7.1 Development within the Tourism Zone will comprise a range of land uses set out in the purpose and objectives of the Zone and in the Zoning Table. Dependent upon the use proposed, sites for such developments will normally be identified within or in close proximity to established settlements.

As per the zoning table in the TPS 9, "Holiday Accommodation" is a use not listed. However, in accordance with *Schedule 1 – Dictionary of Defined Words and Expressions*, "Holiday Accommodation" is a use defined.

Holiday Accommodation is a use which consistent with the objectives of the Tourism Zone objectives. The location of the development is consistent with intent of the Scheme map.



Figure 2 TPS9 excerpt, Subject site outlined in yellow.

4.8.7.2 Development proposals will be considered by the local government with particular regard to the impact of the proposed development on visual and natural amenity, the availability of reticulated sewerage and/or the suitability of the land for on-site effluent disposal, the provision of sufficient landscape buffers and the density of the development.

The use of materials contributes to the natural and visual amenity and complements existing character of the area. The combination of axon cladding plaster board and durashield profiled PVC roof sheeting is suitable given the natural amenity (primarily the proximity to the beach and surrounding greenery). Whilst the form of the building is visually consistent with the surrounds, the finishes and material selected are considered as distinctly different from the nearby residential area and therefore so as not to imitate residential dwelling, but visually reinforce the tourism objective to attain a diverse range of accommodation styles.

In addition, these materials combined with the wide and open front elevation also complement the adjacent café (see photo below) and conform to the wider surrounding development character.

Clause	Response
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Figure 3 Street view of the subject site

As the subject site is a strata lot, the density of the development is consistent with nearby strata developments (refer 4 Bandy Way and 13 Cunliffe Street). Furthermore, given close proximity to the café and the Lancelin Community Centre, the concealed density of the proposed development should be considered appropriate.

Effluent Disposal

The development will be supported by an ATU which will handle all effluent generated on site. The unit selected is an Aquarius 0-2NR ATU with a primary tank chamber capacity of 2400L.

Treated waste water will be discharged into Aquarius Flatbed Leach Drains which are suitable for rocky or high water tables and are compliant with Australian Standard 1547 2012.

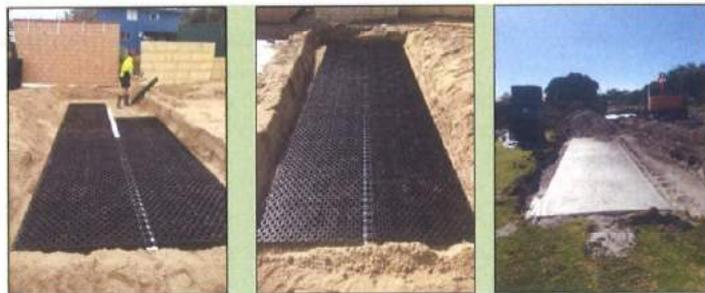


Figure 4 Aquarius Flatbed Leach Drains

Clause	Response
<p>4.8.7.3 Those areas of the site providing the highest tourism amenity, e.g. the beachfront, shall be retained for tourism purposes, and not designated for residential use. The maximum proportion of residential units shall be such that the site retains a dominant tourism function and character, and shall be determined by the local government between zero and 25 per cent inclusive. AMD 14 GG 08/04/16.</p>	<p>As per the requirement of this clause, the proposed Holiday Accommodation development is located in close proximity to the beach and is not considered residential and thus, is complementary to this clause and the Tourism Zone objectives.</p>
<p>4.8.7.4 Where tourism development with no permanent or semi-permanent residential units is proposed, local government may at its discretion vary the maximum plot ratio imposed. AMD 14 GG 08/04/16</p>	<p>As this development is considered Holiday Accommodation, this clause is not applicable.</p>
<p>4.8.7.5 Where strata titling is proposed, appropriate management arrangements in a management statement which ensures that all units will be let out for tourism</p>	<p>The subject site does not propose further strata titling.</p>
<p>4.8.7.6 The maximum percentage of residential units/development on site shall comply with the following at all stages of the development:</p> <p>(a) the proportion of residential units relative to the total number of accommodation units on the site shall be equal to or less than the approved percentage.</p>	<p>There is no proposed residential development on the survey strata subject site and exceeds 50% of residential dwelling on the parent lot.</p>

Clause	Response
<p>(b) the site area occupied by the residential units, and any areas designated for the specific use of occupiers of those units, relative to the area occupied by the short-stay development shall be equal to or less than the approved percentage. In calculating the area occupied by the two development categories, those facilities available for common use shall be excluded from the calculation. GINGIN SCHEME 9 Page 35 SHIRE OF GINGIN – TOWN PLANNING SCHEME NO. 9</p>	
<p>(c) that any individual residential unit and as a whole any residential component of such a development shall be of a design and scale that is clearly is subsidiary to the tourism component of the development such that the tourism component remains dominant in all aspects.</p>	
<p>4.8.7.7 Proposals for offices and reception centres in the Tourism Zone will only be considered where they are incidental to, and support the proposed tourism use on the site.</p>	<p>As this development is considered holiday accommodation, this clause is not applicable.</p>
<p>4.8.7.8 Tourism development that incorporates accommodation and/or reception facilities shall include provision for an onsite manager.</p>	<p>There are no proposed reception facilities.</p> <p>The owner of the site and proponent of the development Paul Gowdie himself has a house in Lancelin and several rental properties which he self manages with his de-facto partner of 26 year, Katrina Bassham. Each weekend the accommodation is leased out the proponent will also be in Lancelin at his preferred residence located 500 m from the development site. As a backup should unforeseen circumstances arise, the proponent's in-laws are able to assist as they are permanently residing in Lancelin.</p>

Clause	Response
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In regards to the proposed built-form, the development is of a similar scale and bulk to surrounding developments, especially when considering those developments closer to the beachfront (see figure 2 below).



Figure 6 The subject site (solid red) is consistent with the surrounding beach front developments.

4.8.7.11 Local government may, at its discretion, require proposed shared facilities in tourist developments to be established in the first stage of development. AMD 14 GG 05/04/16

The proposal is not a staged development.

4.8.7.12 To reduce the likelihood of tourism accommodation being used as permanent or semi-permanent accommodation, a maximum length of stay provision of three months in any twelve-month period should apply to the tourism units on all developments.

This clause is agreed upon and will be accepted as a condition of approval.

SUMMARY

The proposal has been carefully considered by the proponent to ensure the natural and visual amenity of the area is not only maintained but improved, whilst also creating a functional and high-quality design to meet the objectives of the Tourism Zone.

Should clarification on any aspects of this matter, please do not hesitate to contact myself on 0415 337 100, or by email at alex@hplanning.com.au.

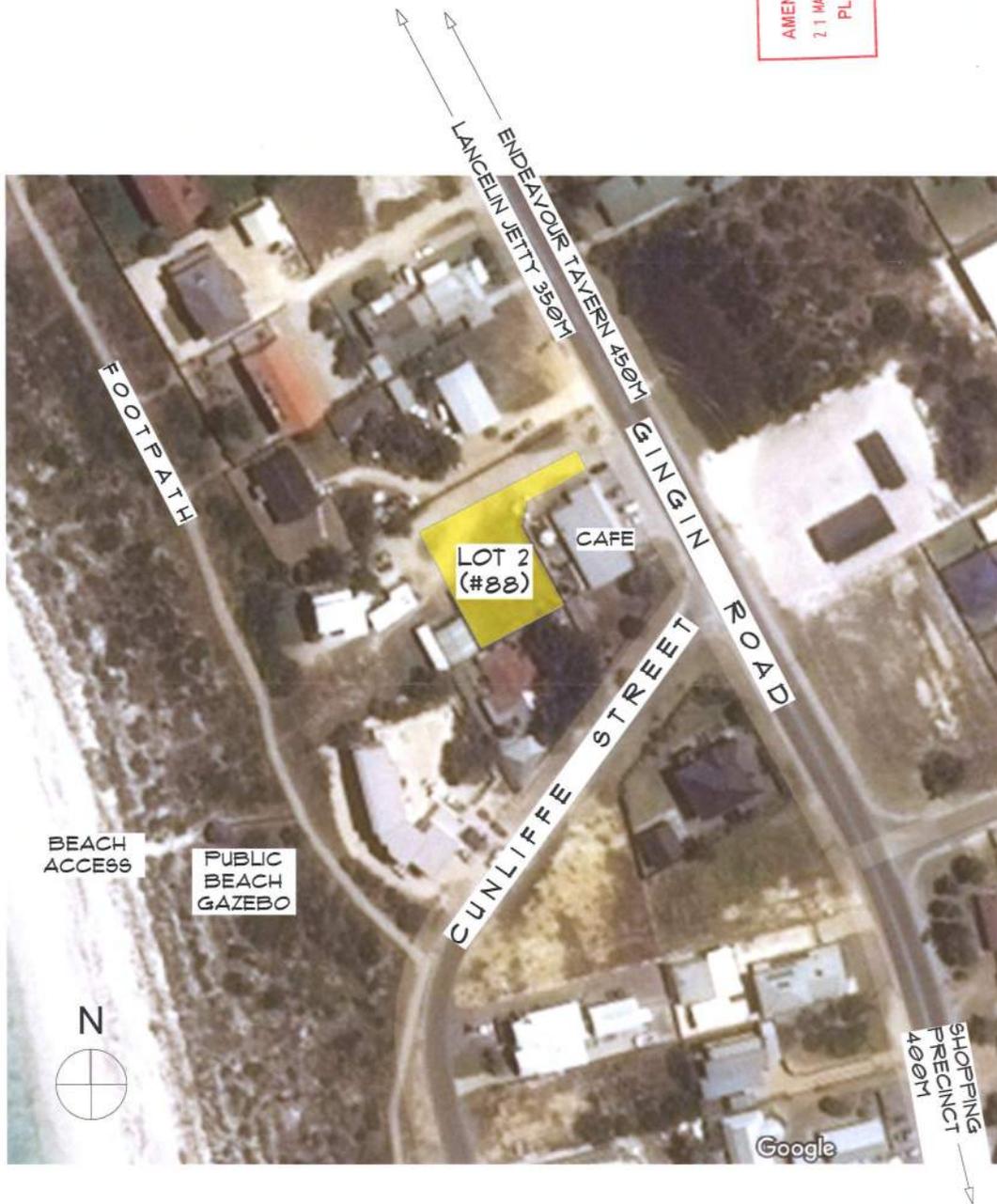
Kind regards



Alex Hemsley

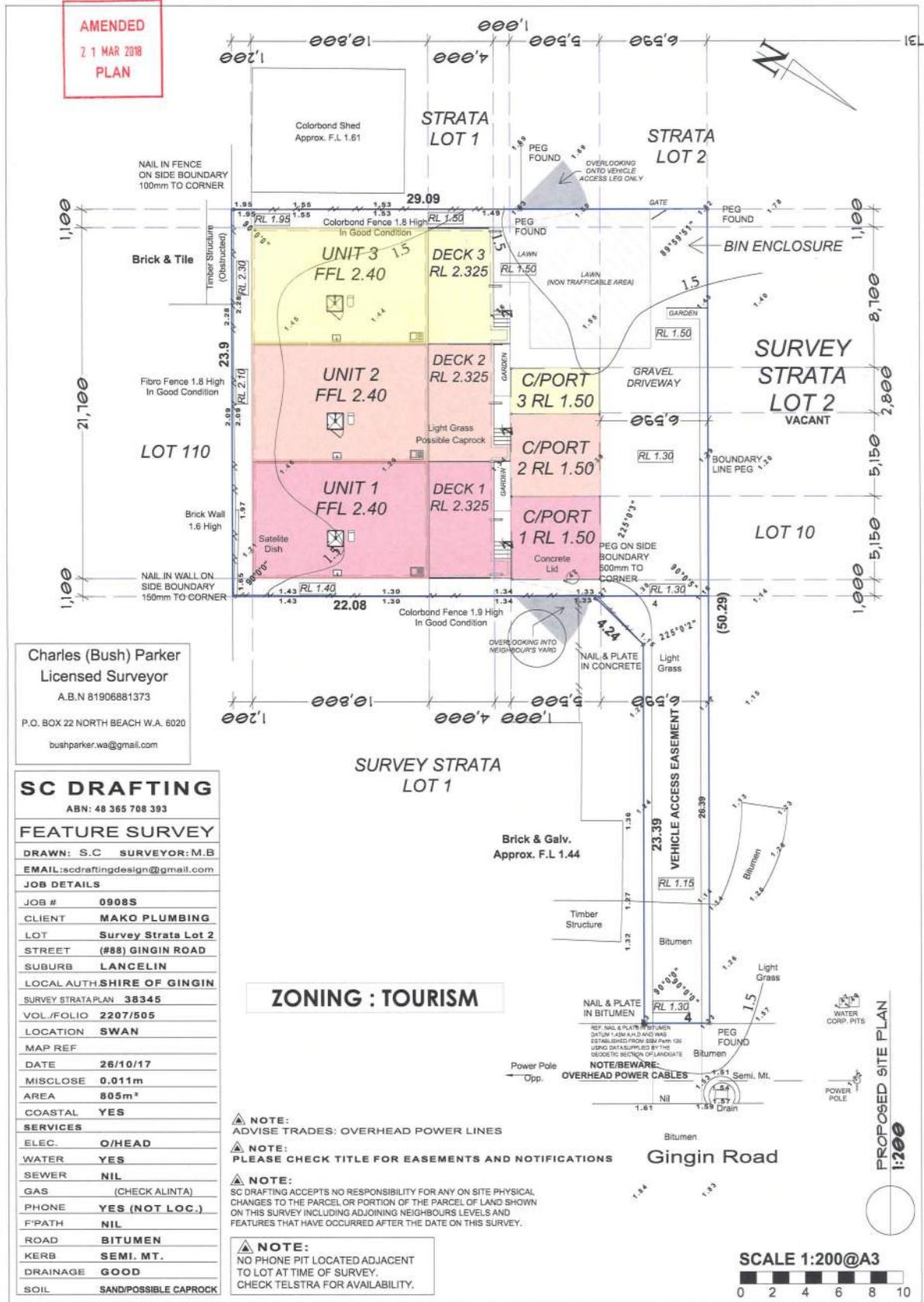
Director | Principal Planner

AMENDED
21 MAR 2018
PLAN



LOCALITY PLAN

#Project ID	PROPOSED DEVELOPMENT	DRAWING TITLE: LOCALITY PLAN		AMENDMENTS: REV A 26/09/17 INTIAL CONCEPT REV B 06/11/17 DIA PLANS REV C 16/03/18 HEALTH DEPT AMENDMENTS - SEWER		SHEET 1 of 20
	CLIENT: P. GOWDIE & K. BASSHAM	DRAWN: RICCADONNA DESIGN	SCALE: AS SHOWN			
	SITE ADDRESS: LOT 2 (No 88) GINGIN ROAD LANCELIN	STATUS: DIA PLANS	REVISION: C			
		PUBLISH DATE: Monday, 19 March 2018				



ZONING : TOURISM

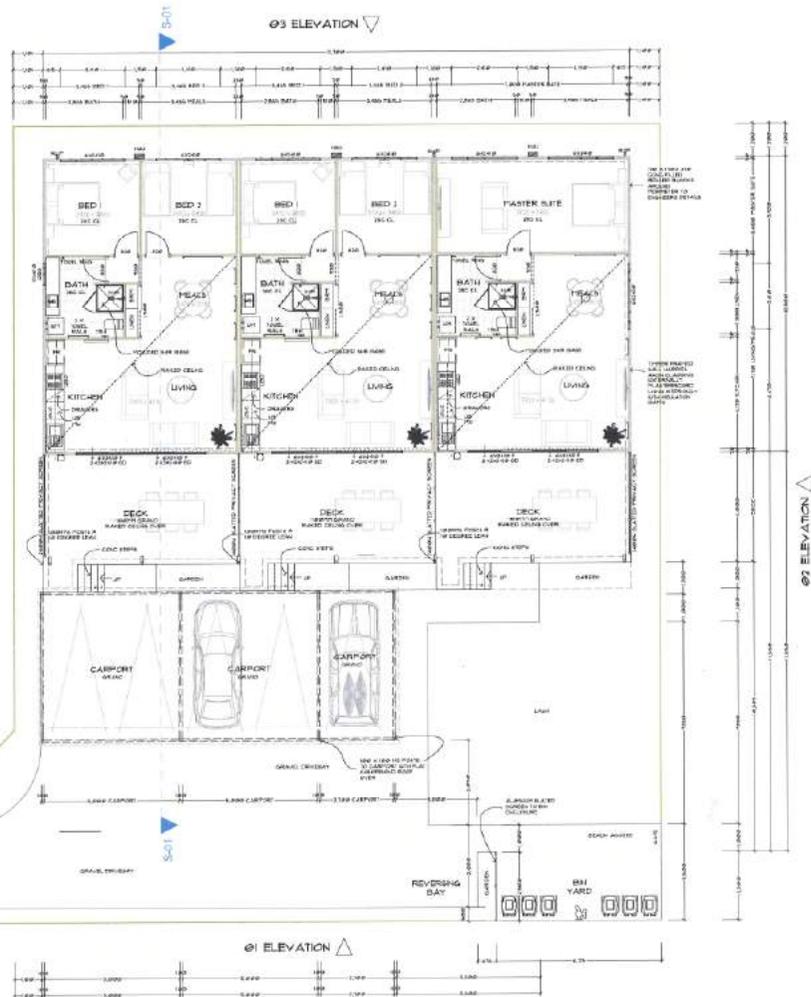
NOTE:
PROPERTY FALLS WITHIN THE
BUSHFIRE PRONE AREA AND IS
SUBJECT TO BAL RATING REPORT
AND REQUIREMENTS

SITE COVERAGE / OPEN SPACE CALCULATIONS

EFFECTIVE SITE AREA	- 485m ²
3 UNIT SITE COVERAGE	- 254.3m ²
SITE COVERAGE	- 52.72%
OPEN SPACE	- 46.78%



GROUND FLOOR
1:100



AMENDED
2.1 MAR 2018
PLAN

Floor Location	Area	Perimeter
GROUND FLOOR		
UNITS	214.20	62.65
DECKS	33.70	11.46
CARPARK'S	31.72	41.80
CORRIDORS	11.20	10.40
	431.82 m ²	

PROPOSED DEVELOPMENT

Client: **P. GOWDIE & K. BASSHAM**

Project ID: **LOT 2 (No 88) GINGIN ROAD LANCELIN**

Scale: **GROUND FLOOR**

Author: **AL D'AMICO**

Check: **PROJECT**

Drawn: **EA PLUMB**

Revised: **C**

Working: **15 MARCH 2018**

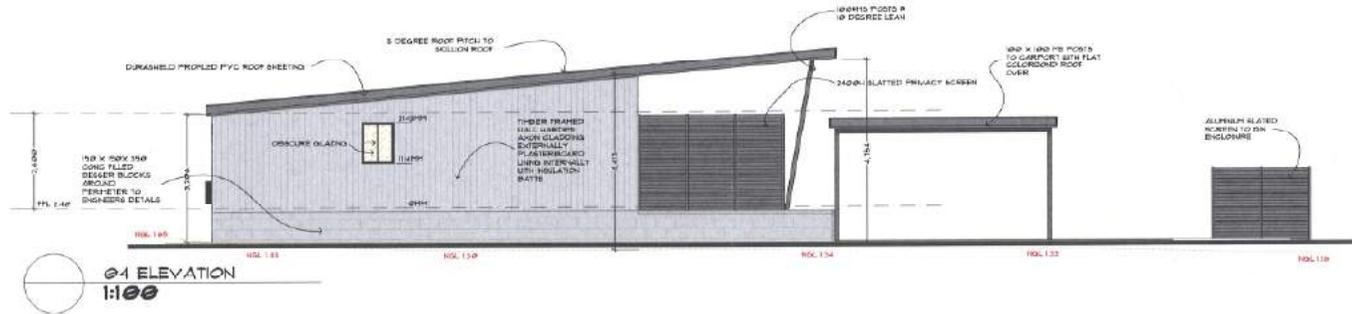
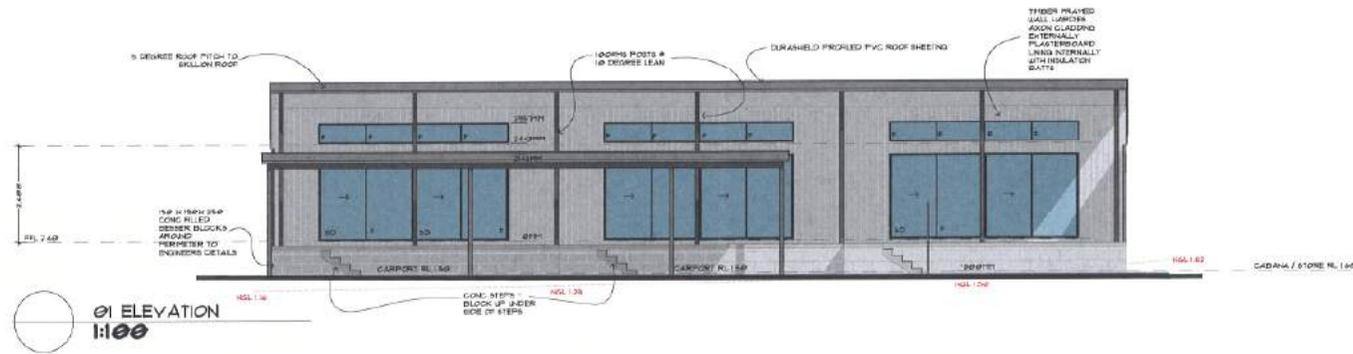
NOTES:

- REV A: SUBMITTAL CONCEPT
- REV B: SUBMITTAL PLAN
- REV C: SUBMITTAL DEPT APPROVALS - 18 MAR

rd **ficcadonna**

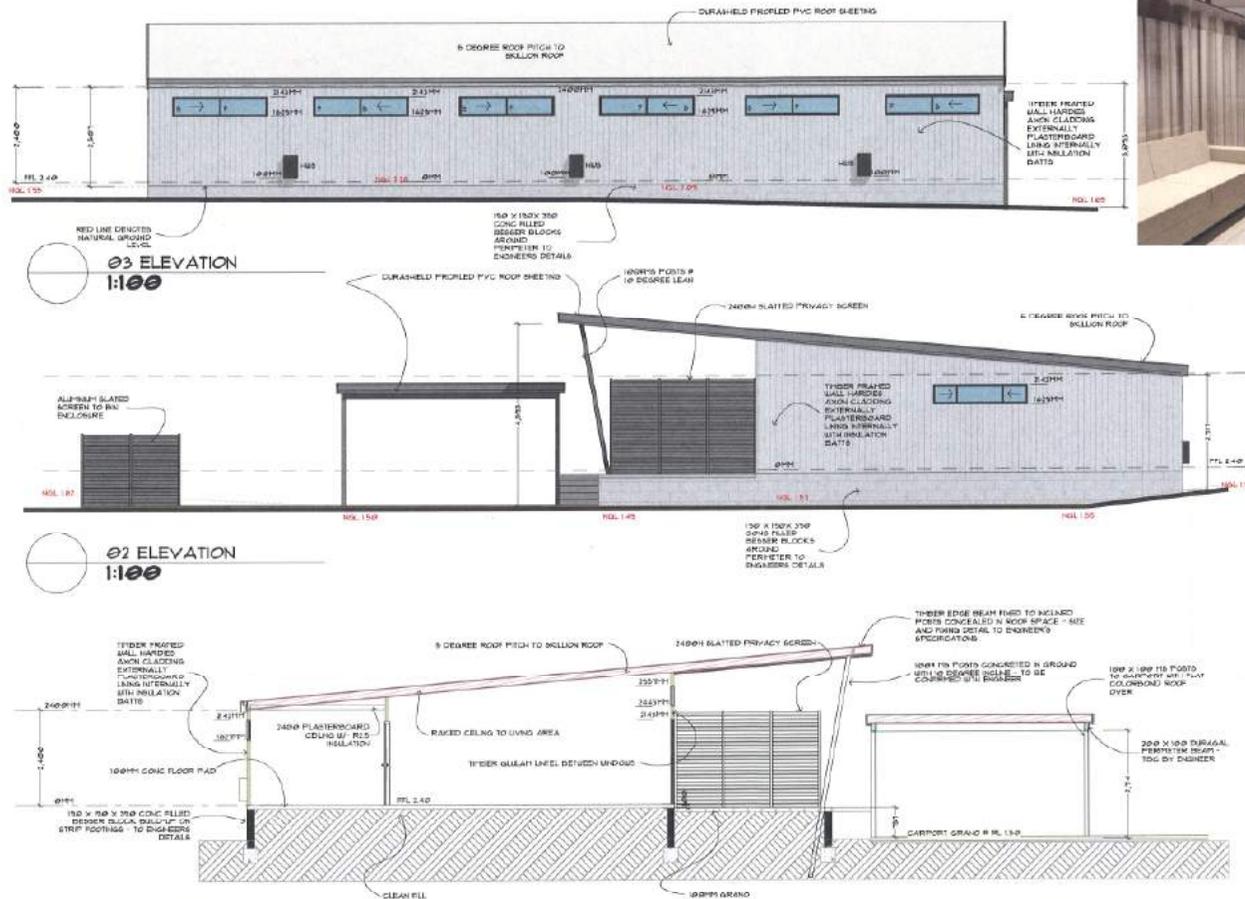
100-1100 PLYWOOD
100-1100 PLYWOOD

SHEET 5 OF 20



AMENDED
21 MAR 2018
PLAN

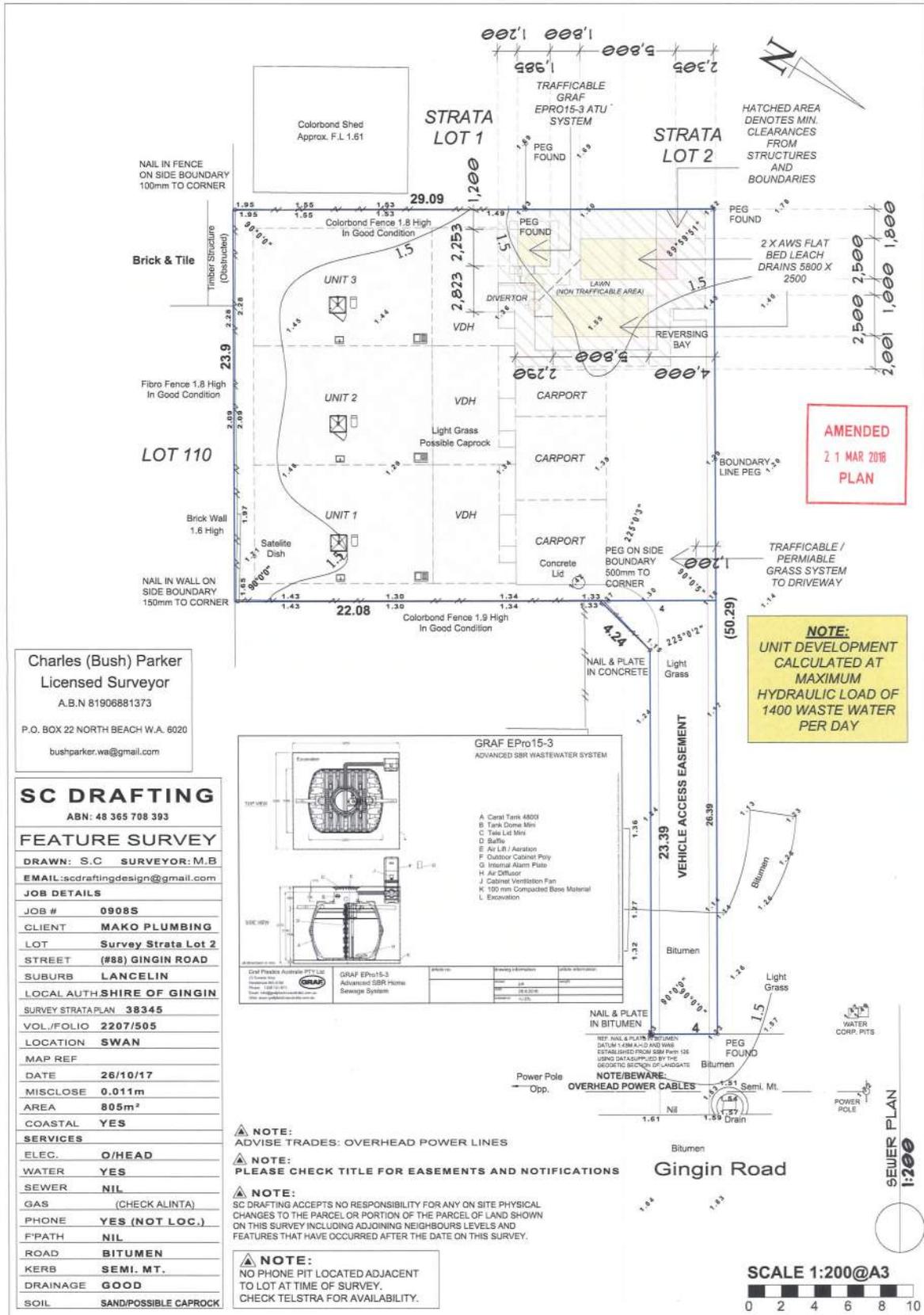
#Project ID	PROPOSED DEVELOPMENT	DRAWING TITLE ELEVATIONS		AMENDMENTS: REV A 26.09.17 INITIAL CONCEPT REV B 09.11.17 DA PLANS REV C 16.05.18 HEALTH DEPT AMENDMENTS - SCMP	 riccadonna design ph: 0817 974 215 e: riccadonna@riccadonna.com.au	SHEET 6 of 20
	CLIENT P. GOWDIE & K. BASSHAM	DRAWN BY RICCADONNA DESIGN	SCALE AS SHOWN			
	SITE ADDRESS LOT 2 (No 88) GINGIN ROAD LANCELIN	STATE DA PLANS	VERSION C			
		PREPARED BY Monday, 19 March 2018				

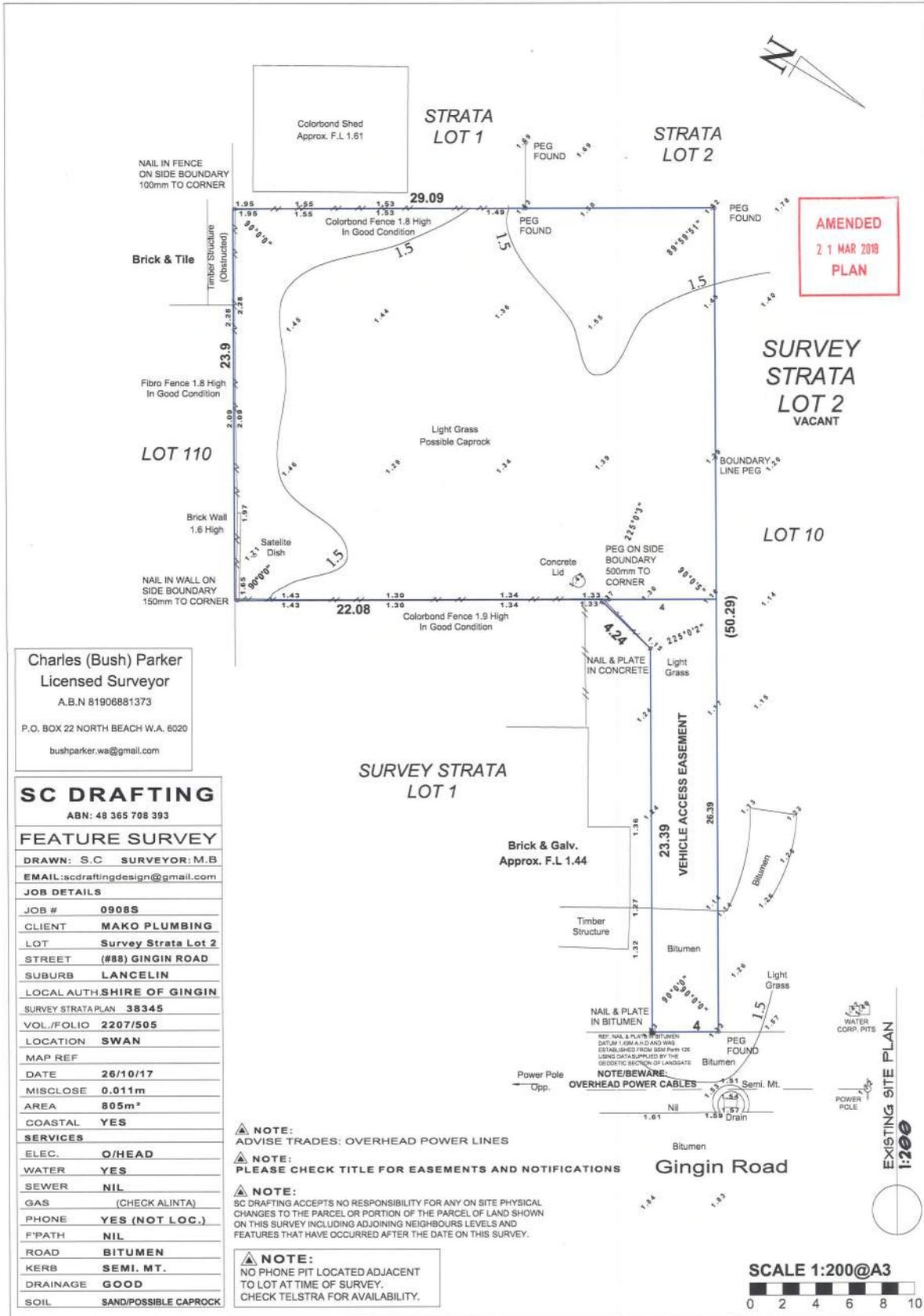


AMENDED
21 MAR 2018
PLAN

#ProjectID	PROPOSED DEVELOPMENT	DRAWING NO: ELEVATIONS 2	AMENDED: REV A TO 01/11 INTAL CONCEPT REV B 04/11/11 DA PLANS REV C 09/03/16 HEALTH DEPT AMENDMENTS - BEWER		SHEET 7 of 20	
	SITE ADDRESS: LOT 2 (No 88) GINGIN ROAD LANCELIN	DRAWN: RICCADONNA DESIGN				SCALE: AS SHOWN
	STATUS: FOR PLANS	PUBLISH DATE: Monday, 19 March 2018				C

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APPENDIX 2

SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

**APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED SHORT TERM ACCOMMODATION UNITS
ON LOT 2 (88B) GINGIN ROAD, LANCELIN**

No.	Submitter	Submission Detail	Recommended Response
1.	Ratepayer	<p>The Submitter does not support the proposal and makes the following comments:</p> <p><i>At this current time, we are not in support of the proposed design and development of three self-contained units to be used as short term accommodation with 6 car parking spaces. This development will have significant detrimental impact on Lot ... affecting privacy, tranquillity, aesthetics and security of the local area. The units which will be 3.2m high will tower above our garden and patio area, backing on to our ... facing fence and severely detract from our current view. The increase in traffic, movement of people and regular change of guests is of concern. We would prefer the three units do not run parallel to our fence as this will mean three times the impact of noise etc.</i></p> <p><i>Should the above comments be overlooked and the construction does take place, we would at a minimum request that the current fibro fence extending along the ... boundary is knocked down and removed and instead the planned brick wall that will be constructed, replaces the entire length of the fibro fence and not just the length of lot ...</i></p>	<p>Administration provides the following response:</p> <p>The design has been modified to reduce the number of car bays to 5. This will result in less overall traffic generated by the accommodation.</p> <p>The proposed development does not cause any overlooking or visual privacy concerns to the submitter's property. The notion that security is affected is dismissed.</p> <p>The proposed units being 3.2m in height is significantly less than a permitted double storey dwelling.</p> <p>The request for a new dividing fence at the applicants expense is dismissed as local government does not administer the <i>Dividing Fences Act 1961</i>.</p>
2.	Ratepayer	<p>The Submitter provides the following general comments:</p> <p><i>"We wish to make it clear that we are not opposed to the general nature of the proposed development however we do have concerns regarding the proposed design of the building which we believe will have a negative impact on the usability of our property.</i></p>	

	<p><i>Finished Floor Level (FFL) as already noted in the proposal documents, the finished floor level will affect the privacy of our property and we believe that the current proposed design does not screen off all areas that overlook our property. The construction of the privacy screen is also of concern. We believe it will not be adequate due to;</i></p> <p><i>a) The close proximity of the people on the proposed property to the privacy screen renders it ineffective</i> <i>b) The close proximity of the screen to our property</i></p> <p><i>The overall height of the proposed building is of concern due to a number of reasons;</i></p> <p><i>Aesthetics- We feel that the finished height of the external walls will dramatically reduce the feeling of openness in the back areas of our property and close the space in. This will negatively impact the usability of the back areas of our property.</i></p> <p><i>Afternoon light/sun- The height of the proposed building will significantly reduce the amount of afternoon sun which will negatively affect the usability of the back areas of our property. The external heat load of the building will also be reduced which will affect warmth, building heating requirements etc in the cooler months.</i></p> <p><i>Sea breeze – We believe the height of the proposed building, in combination with its proximity will significantly reduce the effectiveness of the sea breeze and will have negative impact on the occupants of our property. The external heat load of the building in the warmer months, without the benefits of the sea breeze will result in less comfortable conditions in the back areas of the property as well as greater cooling requirements inside the building.”</i></p>	<p>There is no unreasonable impact on privacy as the sill height of the windows is above 1.6m. The 2.4m high screening exceeds the recommended 1.6m high screening as per the Residential Design Codes.</p> <p>Generally a two-storey development would be reasonably expected on the subject site in order to capitalise on the beach front views. It is deemed the landowner has exercised restraint with the proposed height (being single storey) to ensure the development is consistent with the local context.</p> <p>Overshadowing is measured at 12PM on the 21st of June. Overshadowing occurs to the south therefore there will be minimal obstruction of direct solar access.</p> <p>The side setbacks and building heights are compliant and provision of ventilation to adjoining properties is unaffected. In this instance the scale of development is not unreasonable and complies with the planning framework applicable.</p>
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11.3.5 APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED CARAVAN PARK REDEVELOPMENT (INSTALLATION PHASE STAGE 1) ON LOT 31 AND 762 HOPKINS STREET, LANCELIN

FILE: BLD/1839
APPLICANT: EXPERIENCE LANCELIN HOLIDAY PARK
LOCATION: LOT 31 AND 762 HOPKINS STREET, LANCELIN
OWNER: CROWN
ZONING: TOURISM
WAPC NO: N/A
AUTHOR: JAMES BAYLISS – ACTING MANAGER STATUTORY PLANNING
REPORTING OFFICER: KYLIE BACON – ACTING EXECUTIVE MANAGER PLANNING AND DEVELOPMENT
REPORT DATE: 17 APRIL 2018
REFER: NIL

ADDENDUM – ORDINARY MEETING OF COUNCIL – 17 APRIL 2018

Additional Information:

Subsequent to circulation of the Agenda, Administration has received further advice with respect to endorsing the applicant's Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy (LCP – CHRMAPS). The advice received was to ensure that:

1. The Shire is not liable for costs associated with relocating affected infrastructure;
2. Appropriate monitoring and review of the LCP-CHRMAPS is undertaken; and
3. The Shire is satisfying its duty of care in determining the application when considering the coastal risks.

The advice received has confirmed that the Shire has had due regard to State Planning Policy 2.6 – State Coastal Planning Policy (SPP 2.6) by having the applicant submit the LCP – CHRMAPS. The submitted strategy is considered to adequately assess and identify coastal hazard risks to which the development may be subject and proposes suitable adaptive strategies to manage or mitigate those risks. The Shire needs to ensure that monitoring and adaptive measures proposed in the LCP – CHRMAPS are implemented over time, particularly given that critical actions in the adaptive response will only need to be actioned at a later date. It is also important that any subsequent purchaser of the caravan park, in the event this was to occur, is made aware of the risks to park infrastructure.

As a result of the advice received, the Officer's recommendation has been amended accordingly and is provided below. The recommended advice notes have also been modified, namely advice note 11, as provided below.

Advice Notes

In the event that Council resolves to approve the Development Application, then the following Advice Notes will apply:

Note 1: If you are aggrieved with the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.

Note 2: If the development subject to this approval is not substantially commenced within a period of two years, the approval shall lapse and have no further effect.

Note 3: Where an approval has so lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.

Note 4: Further to this Approval, the Applicant will be required to submit working drawings and specification to comply with the requirements of the *Building Act 2011* and *Building Regulations 2012* and the *Public Health Act 2016*, which are to be approved by the Shire of Gingin.

Note 5: This planning approval shall not be construed as an approval or support of any kind for any other planning related application (including clearing of natural vegetation) on the subject land.

Note 6: The applicant/landowner is advised to refer to the requirements of the *Health (Treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974*.

Note 7: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment.

Note 8: Any noise generated from the caravan park is not to exceed the levels as set out under the *Environmental Protection (Noise) Regulations 1997*.

Note 9: This Approval is for Stage 1 of the installation phase only. In the Tourism zone, further approval is required for most land uses and building construction. The Shire's Planning Department should be contacted for further information.

Note 10: Please contact the Department of Water and Environmental Regulation (DWER) with respect to a clearing permit to remove or alter existing native vegetation on the subject property.

Note 11: The development subject of this approval is subject to significant coastal hazard risks as described in the 'Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy' prepared by Halsall and Associates on 14 December 2017 (final version) ("Planning Strategy") submitted by the applicant. The coastal hazard risks identified in the Planning Strategy are likely to require partial or complete relocation of approved buildings and infrastructure, at the cost to the applicant, in accordance with the planned retreat adaptive measures proposed in the Planning Strategy and endorsed by the Shire.

RECOMMENDATION

It is recommended that Council grant Development Approval for the proposed Caravan Park Redevelopment (Installation Phase – Stage 1) on Lots 31 and 762 Hopkins Street, Lancelin subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;
2. This Approval is for *Installation Phase – Stage 1* only consisting of recreation building, playground area, office and reception building, upgrade to internal road network, entry to west end, ablution block refurbishments, campers' kitchen, two Econolodge accommodation units, storage shed, site works and landscaping as indicated on the approved plan;
3. Further Development Approval will be required for the remaining installation phases;
4. Within 90 days from the date of this notice, the applicant is required to submit a Bushfire Management Plan (BMP) to the satisfaction of the Shire of Gingin;
5. Within 90 days from the date of this notice, the applicant is required to submit an Emergency Evacuation Plan to the satisfaction of the Shire of Gingin;
6. All activities associated with the construction of Stage 1 must be carried out to the satisfaction of the Shire of Gingin and all care must be taken to minimise the effect of such activities on the amenity of existing patrons and the locality;
7. Vegetation is to be planted and maintained along the Hopkins Street frontage as part of Stage 1, as indicated on the approved plan, to the satisfaction of the Shire of Gingin;
8. Prior to occupation of Stage 1, the car parking and manoeuvring areas including a universally accessible (disabled) car parking bay, vehicle access and exit points as shown on the approved plans are to be constructed, drained, and line marked to the satisfaction of the Shire of Gingin;
9. Stormwater from all roofed and paved areas is to be collected and contained onsite to the satisfaction of the Shire of Gingin;
10. The applicant shall, at its cost, implement the 'Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy prepared by Halsall and Associates on 14 December 2017 (final version) as reviewed and amended from time to time ("Planning Strategy") to the satisfaction of the Shire of Gingin;

11. The applicant shall engage a suitably qualified expert to undertake a review of the Planning Strategy within one year of the Shire finally adopting its Coastal Hazard Risk Management and Adaptation Planning Strategy so as to ensure that the applicant's Planning Strategy is consistent with the Shire's Coastal Hazard Risk Management and Adaption Planning Strategy. The review of the Planning Strategy shall be submitted to the Shire for approval. The Shire may require amendments to the reviewed Planning Strategy as a condition of its approval;
12. The applicant shall thereafter engage a suitably qualified expert to undertake a review of the Planning Strategy at five year intervals. The review of the Planning Strategy shall be submitted to the Shire for approval. The Shire may require amendments to the reviewed Planning Strategy as a condition of it approval; and
13. The applicant shall provide a copy of this approval, the Planning Strategy as reviewed from time to time, the approved Bushfire Management Plan and the approved Emergency Evacuation Plan to any future purchaser of the caravan park business undertaken on the subject site.

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider an Application for Development Approval for Stage 1 of the overall redevelopment of the existing caravan park on Lot 31 and 762 Hopkins Street, Lancelin.

BACKGROUND

The subject site is located at the south-western corner of the Lancelin townsite and consists of Lots 31 and 762 Hopkins Street, Lancelin. The overall redevelopment of the existing caravan park will be undertaken in four installation phases, with this application relating to Installation Phase - Stage 1.

The following is proposed as part of Stage 1:

Recreation Building

The proposed single storey recreation building will accommodate an indoor swimming pool 25 metres in length and 12 metres in width, with associated spa and toilet facilities.

Playground Area

The playground area consists of a 14 metre by 14 metre area dedicated to nautical design play equipment and a 25 metre long by 9 metre wide jumping pillow. The material surrounding the play equipment and jumping pillow will be sand and associated landscaping provided along the Hopkins Street frontage.

Office/Reception and Games Room

The proposed office and reception building is 24 metres in length, 8 metres in width and has a 3 metre wide verandah adjoining the northern and western facades. The building will also have a 5 metre high patio structure attached to the eastern facade to cater for an express check in area for patrons in all weather conditions. The floor layout caters for a games room that can also be used as a conference room.

Sealed Roadway – Entry to West End and New Office Entrance

The proposal includes a new access/egress point for the holiday park that will be purpose built to accommodate two way traffic. The entry and internal road system will be bituminised and provide a road network that links in with the existing entry, which will become a dedicated exit point.

South End Ablution Block and Central Block Refurbishment

The existing southern end ablution facility and central ablution facility will undergo an upgrade to become enclosed, have a wind protected drying area and internal refurbishment to the tiles, plumbing and paving. This particular component does not specifically require development approval however is pertinent to note the proposed works.

New Campers' Kitchen

The proposed campers' kitchen is fully enclosed and provided with a stove, benchtop, oven, fridges etc. to service the south-western portion of the holiday park. The kitchen has an outdoor area which provides barbeque and cleaning facilities.

Economy (Econo) Lodge Accommodation

The proposal includes two 'Econolodges' to be installed in the north-eastern portion of the holiday park. The northern-most Econolodge will provide four self-contained one bedroom chalets and the second Econolodge will provide two self-contained one bedroom chalets for persons with a disability.

Storage Shed

The proposed storage shed is 30 metres in length, 8 metres in width (240m²) and has a wall height of 4 metres tapering to a ridge height of 4.8 metres. The outbuilding will be screened from view to Hopkins Street by the existing manager's residence and screened from a majority of the holiday park by vegetation. An area of hardstand will be provided in front of the outbuilding for parking of patrons' boats and trailers.

Site Works and Landscaping

To facilitate the above infrastructure, areas of the site will require earthworks to widen roads and allow for building footprints etc. As outlined on the site plan, considerable attention to landscaping provisions has been provided by the applicant to create an attractive setting for patrons and the Lancelin locality.

Council's consideration is required as Administration does not have delegated power to determine the application and adverse submissions were received during the advertising process.

A location plan and a copy of the applicant's proposal are attached as **Appendix 1**.

COMMENT

Community Consultation

The application was advertised by way of writing to all surrounding landowners and relevant State referral agencies for periods of 21 days and 42 days respectively. A Development Application sign was placed on site and details of the proposal were placed on the Shire's website in accordance with clause 9.4 of the Local Planning Scheme No. 9 (LPS 9).

The Shire received seven submissions from ratepayers (four in favour, two against and one general comment). The Lancelin Chamber of Commerce and Industry supports the proposal. Four submissions have been received from State referral agencies, three of which are generally in support of the proposal and one seeking additional information.

A copy of the Schedule of Submissions and Recommended Responses is attached as **Appendix 2**.

Planning Framework

Local Planning Scheme No. 9

The subject land is zoned Tourism under LPS 9, the objectives of which are to:

- a) *Promote and provide for tourism opportunities;*
- b) *Provide for a variety of holiday accommodation styles and associated uses, including retail and service facilities where such facilities are provided in support of the tourist accommodation and are of an appropriate scale where they will not impact detrimentally on the surrounding or wider area;*
- c) *Allow limited residential uses where appropriate;*
- d) *Encourage the location of tourist facilities so that they may benefit from existing road services, physical service infrastructure, other tourist attractions, natural features and urban facilities;*
- e) *Ensure that short stay tourist and holiday accommodation are the predominant land uses in the zone; and*
- f) *Encourage tourism development that is generally sympathetic to the natural and built features of the surrounding area.*

Within LPS 9, Caravan Park has the same meaning as in the *Caravan Parks and Camping Grounds Act 1995*.

The Caravan Park is a 'P' use in the Tourism zone under LPS 9, meaning the use is permitted by the Scheme providing the use complies with the relevant development standards and requirements of the Scheme. It is noted the caravan park is existing and the items subject to this application are complementary to the use of the site as a holiday destination.

Land Capability

The proposed caravan park expansion and redevelopment will occur within the confines of the existing lot boundaries. To cater for the new facilities, upgrading of services including connection to sewer and upgrades to water, power and WIFI are proposed to be undertaken by the applicant. It is the applicant's responsibility to liaise with the appropriate service providers to ensure capacity and connections are available.

Table 2 - Site Requirements (Setbacks)

The setbacks to the proposed Recreation Building, Playground Area and Office and Games/Conference Room are greater than five metres from the front boundary (Hopkins Street) and therefore comply with Table 2 – Site Requirements under LPS 9. The structures proposed within Stage 1 are all single storey and are deemed to be sympathetic to the natural and built features of the surrounding area where possible as per the objectives of the zone. The remaining structures satisfy the setback provisions of Table 2.

4.8 Zone Specific Development Standards

LPS 9 provides a comprehensive range of development standards which tourism proposals must satisfy. The relevant development standards applicable to this application are outlined below, with a summary of how the proposed development satisfies the relevant clause.

4.8.7.2 Development proposals will be considered by the local government with particular regard to the impact of the proposed development on visual and natural amenity, the availability of reticulated sewerage and/or the suitability of the land for on-site effluent disposal, the provision of sufficient landscape buffers and the density of the development.

The built form of the development is considered to be consistent with the character generally associated with a caravan park. The applicant intends to connect to deep sewer and is in dialogue with the Shires Health Department and appropriate service provider.

8.7.8 Tourism development that incorporates accommodation and/or reception facilities shall include provision for an onsite manager.

The facility is serviced by an existing manger's residence and therefore satisfies the above clause.

4.8.7.10 In considering proposals in the Tourism Zone, local government shall have regard for the zone objectives, the scale and bulk of the proposal and its integration with surrounding land uses.

The redevelopment is consistent with the objectives of the zone and is considered to provide a high level of visual amenity as opposed to the existing caravan park frontage.

4.8.7.11 Local government may, at its discretion, require proposed shared facilities in tourist developments to be established in the first stage of development.

The redevelopment includes upgrading existing shared facilities and installing a communal camp kitchen. Stage 1 of the installation phase is considered to satisfy the above clause.

Visual and Natural Amenity

Stage 1 of the redevelopment has purposely focussed on the front entry of the holiday park to provide a higher level of aesthetics to the existing streetscape, making the destination more attractive to not only potential patrons but to the Lancelin community. It is inevitable that areas of the existing park that have natural appeal such as existing vegetation or dune systems may require modification to cater for the proposed redevelopment. In principle, it is considered that natural and visual amenity has been considered and preserved where possible. The proposal indicates ample landscaping provisions that are deemed to satisfy LPS 9.

Access / Egress

The proposed redevelopment includes a new crossover and entry driveway towards the western end of the subject site. The crossover is 12 metres in width and has been designed to accommodate vehicles towing caravans and the like. The crossover design tapers to the east as holiday makers generally approach from that direction, thereby making access to the site more convenient.

The Shire's Operations- Construction Department has reviewed the design of the crossover and also the location from the intersection of Hopkins and Cunliffe Streets, and has no objection to the proposed access.

Local Planning Policy 3.2 – Tourism Zone (LPP 3.2)

LPP 3.2 applies to all land with a coding of Tourism, the objective of which is to encourage development of tourist accommodation and related services. The policy statement is as follows:

- 3.1 Land will be allocated to the Tourism zone ahead of requirement to ensure an adequate supply of land for these purposes and to assist in minimising development delays due to the scheme amendment procedure.*
- 3.2 Land shown as Tourist Accommodation on the townsite strategy maps will progressively be included in the Tourism zone.*
- 3.3 The Tourism zone includes a number of designated tourist nodes, and a range of tourist related services will be encouraged to locate in these nodes.*

In some instances Council may require Structure Plans to be prepared for tourist nodes.

The proposed development is deemed to satisfy LPP 3.2.

State Planning Policy 2.6 – State Coastal Planning Policy (SPP 2.6)

The purpose of this Policy is to provide guidance for the development of land within coastal areas. It also acts as an informative tool for landowners and lessees seeking to undertake development or purchase land in the coastal zone.

SPP 2.6 prompted the Shire of Gingin to examine Coastal Hazard Risk Management and Adaptation Planning (CHRMAP) strategies throughout coastal town sites. The Shire of Gingin is currently in the process of seeking public submissions on the draft CHRMAP prepared for Seabird, Ledge Point and Lancelin.

The applicant has submitted a CHRMAP Planning Strategy for the subject properties to address the risks associated with the retreating coastline adjacent to the site. The Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy is attached as **Appendix 3**.

It is recommended that the applicant's planned/managed retreat strategy outlined in their CHRMAP be recognized through a condition of planning approval. The implementation of the applicants CHRMAP strategy is at their expense.

State Planning Policy 3.7 – Planning in Bushfire Prone Areas (SPP 3.7)

SPP 3.7 provides a foundation for land use planning to address bushfire risk management. The subject lot is designated as being bushfire prone. Given elements of Stage 1 of the proposal constitute intensification of the existing use of the site, SPP 3.7 is applicable.

The land use of 'caravan park' is deemed to be a vulnerable land use under SPP 3.7. As such referral of the application to the Department of Fire and Emergency Services (DFES) for comment on the submitted BAL contour map was required. DFES provided comment to the Shire, advising that additional information is required from the applicant in order for a comprehensive assessment to be undertaken.

FES acknowledges that SPP 3.7 does not take into account existing land uses within a tourism zone and that this site has been developed prior to the introduction of the bushfire policy framework. The Department of Planning, Lands and Heritage (DPLH) is working in consultation with DFES to better facilitate tourism land uses within the scope of SPP 3.7, particularly where existing sites have already been developed.

Notwithstanding the above, DFES is bound to assess any proposal against SPP 3.7 and has advised that a Bushfire Management Plan (BMP) is required which addresses the policy requirements of SPP 3.7. The BMP is intended to improve bushfire management for the site and reduce the existing bushfire risk.

DFES comments were provided to the applicant's bushfire consultants (Ecosystem Solutions) who have advised that they have been appointed to prepare the BMP and also a Bushfire Emergency Evacuation Plan (BEEP). The bushfire consultant advises that preparation of such documents will take approximately four weeks.

Administration acknowledges that the applicant is aiming to meet certain development targets to ensure site works are not occurring during peak holiday period. Development is required to commence in May 2018 to prevent the above from occurring.

The bushfire consultant has advised that the highest bushfire risk area is the southern and central areas of the holiday park. The development which forms Stage 1 is predominantly within the northern section adjacent to an adequate road network and near hydrants and is therefore at a significantly lower risk. The implementation of Stage 1, by providing additional road access and greater internal access, is likely to decrease the existing threat in the event of a bushfire.

The bushfire consultant has confirmed that they support proceeding with determination of Stage 1 of the redevelopment without a finalised BMP or BEEP, subject to both documents being prepared concurrent with the onsite works occurring. Administration concurs with this approach and appropriate conditions can ensure the BMP and BEEP are submitted in a timely manner.

Conclusion

In summary, Stage 1 of the overall redevelopment of the existing caravan park is considered to satisfy the provisions of LPS 9. It is noted that the applicant is required to prepare a BMP and BEEP, however these can be addressed through conditions of approval. The applicant's Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy can be endorsed at a later stage once the Shire has adopted a formal position with respect to CHRMAP.

Advice Notes

In the event that Council resolves to approve the Development Application, then the following Advice Notes will apply:

- Note 1: If you are aggrieved with the conditions of this approval you have the right to request that the State Administrative Tribunal (SAT) review the decision, under Part 14 of the *Planning and Development Act 2005*.
- Note 2: If the development subject to this approval is not substantially commenced within a period of two years, the approval shall lapse and have no further effect.
- Note 3: Where an approval has so lapsed, no development may be carried out without further approval of the local government having first been sought and obtained.
- Note 4: Further to this Approval, the Applicant will be required to submit working drawings and specifications to comply with the requirements of the *Building Act 2011*, *Building Regulations 2012* and the *Public Health Act 2016*, which are to be approved by the Shire of Gingin.
- Note 5: This planning approval shall not be construed as an approval or support of any kind for any other planning related application (including clearing of natural vegetation) on the subject land.

- Note 6: The applicant/landowner is advised to refer to the requirements of the *Health (Treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974*.
- Note 7: It is recommended that cadastral lot boundaries be established by a suitably qualified land surveyor to ensure that all development is carried out within the subject allotment.
- Note 8: Any noise generated from the caravan park is not to exceed the levels as set out under the *Environmental Protection (Noise) Regulations 1997*.
- Note 9: This Approval is for Stage 1 of the installation phase only. In the Tourism zone, further approval is required for most land uses and building construction. The Shire's Planning Department should be contacted for further information.
- Note 10: Please contact the Department of Water and Environmental Regulation (DWER) with respect to a clearing permit to remove or alter existing native vegetation on the subject property.
- Note 11: Please be advised the implementation of the Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy is at the applicants expense.

STATUTORY ENVIRONMENT

Planning and Development (Local Planning Scheme) Regulations 2015
Schedule 2 – Deemed Provisions for Local Planning Schemes

Local Planning Scheme No. 9
Part 4 – Zones and the Use of Land
3.2 Objectives of the Zones
3.2.8 Tourism Zone

Part 4 – General Development Requirements
4.7 General Development Standards
4.7.1 Site Requirements
4.8 Zone Specific Development Standards
4.8.7 Tourism Zone

Local Planning Policy 3.2 – Tourism Zone (LPP 3.2)

State Planning Policy 2.6 – State Coastal Planning Policy (SPP 2.6)

State Planning Policy 3.7 – Planning in Bushfire Prone Areas (SPP 3.7)

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

Focus Area	Infrastructure and Development
Objective	3. To effectively manage growth and provide for community through the delivery of community infrastructure in a financially responsible manner.
Outcome	3.1 Development new and existing developments meet the Shire's Strategic Objectives and Outcomes.
Priority	3.1.1 Support strategies that facilitate commercial development.

VOTING REQUIREMENTS – SIMPLE MAJORITY

RECOMMENDATION

It is recommended that Council grant Development Approval for the proposed Caravan Park Redevelopment (Installation Phase – Stage 1) on Lots 31 and 762 Hopkins Street, Lancelin subject to the following conditions:

1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;
2. This Approval is for *Installation Phase – Stage 1* only consisting of recreation building, playground area, office and reception building, upgrade to internal road network, entry to west end, ablution block refurbishments, campers' kitchen, two Econolodge accommodation units, storage shed, site works and landscaping as indicated on the approved plan;
3. Further Development Approval will be required for the remaining installation phases;
4. Within 90 days from the date of this notice, the applicant is required to submit a Bushfire Management Plan (BMP) to the satisfaction of the Shire of Gingin;
5. Within 90 days from the date of this notice, the applicant is required to submit an Emergency Evacuation Plan to the satisfaction of the Shire of Gingin;
6. All activities associated with the construction of Stage 1 must be carried out to the satisfaction of the Shire of Gingin and all care must be taken to minimise the effect of such activities on the amenity of existing patrons and the locality;
7. Vegetation is to be planted and maintained along the Hopkins Street frontage as part of Stage 1, as indicated on the approved plan, to the satisfaction of the Shire of Gingin;

8. Prior to occupation of Stage 1, the car parking and manoeuvring areas including a universally accessible (disabled) car parking bay, vehicle access and exit points as shown on the approved plans are to be constructed, drained, and line marked to the satisfaction of the Shire of Gingin;
9. Stormwater from all roofed and paved areas is to be collected and contained onsite to the satisfaction of the Shire of Gingin;
10. The applicant shall, at its cost, implement the 'Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy prepared by Halsall and Associates on 14 December 2017 (final version) as reviewed and amended from time to time ("Planning Strategy") to the satisfaction of the Shire of Gingin;
11. The applicant shall engage a suitably qualified expert to undertake a review of the Planning Strategy within one year of the Shire finally adopting its Coastal Hazard Risk Management and Adaptation Planning Strategy so as to ensure that the applicant's Planning Strategy is consistent with the Shire's Coastal Hazard Risk Management and Adaption Planning Strategy. The review of the Planning Strategy shall be submitted to the Shire for approval. The Shire may require amendments to the reviewed Planning Strategy as a condition of its approval;
12. The applicant shall thereafter engage a suitably qualified expert to undertake a review of the Planning Strategy at five year intervals. The review of the Planning Strategy shall be submitted to the Shire for approval. The Shire may require amendments to the reviewed Planning Strategy as a condition of it approval; and
13. The applicant shall provide a copy of this approval, the Planning Strategy as reviewed from time to time, the approved Bushfire Management Plan and the approved Emergency Evacuation Plan to any future purchaser of the caravan park business undertaken on the subject site.

VOTING REQUIREMENTS – SIMPLE MAJORITY

RESOLUTION

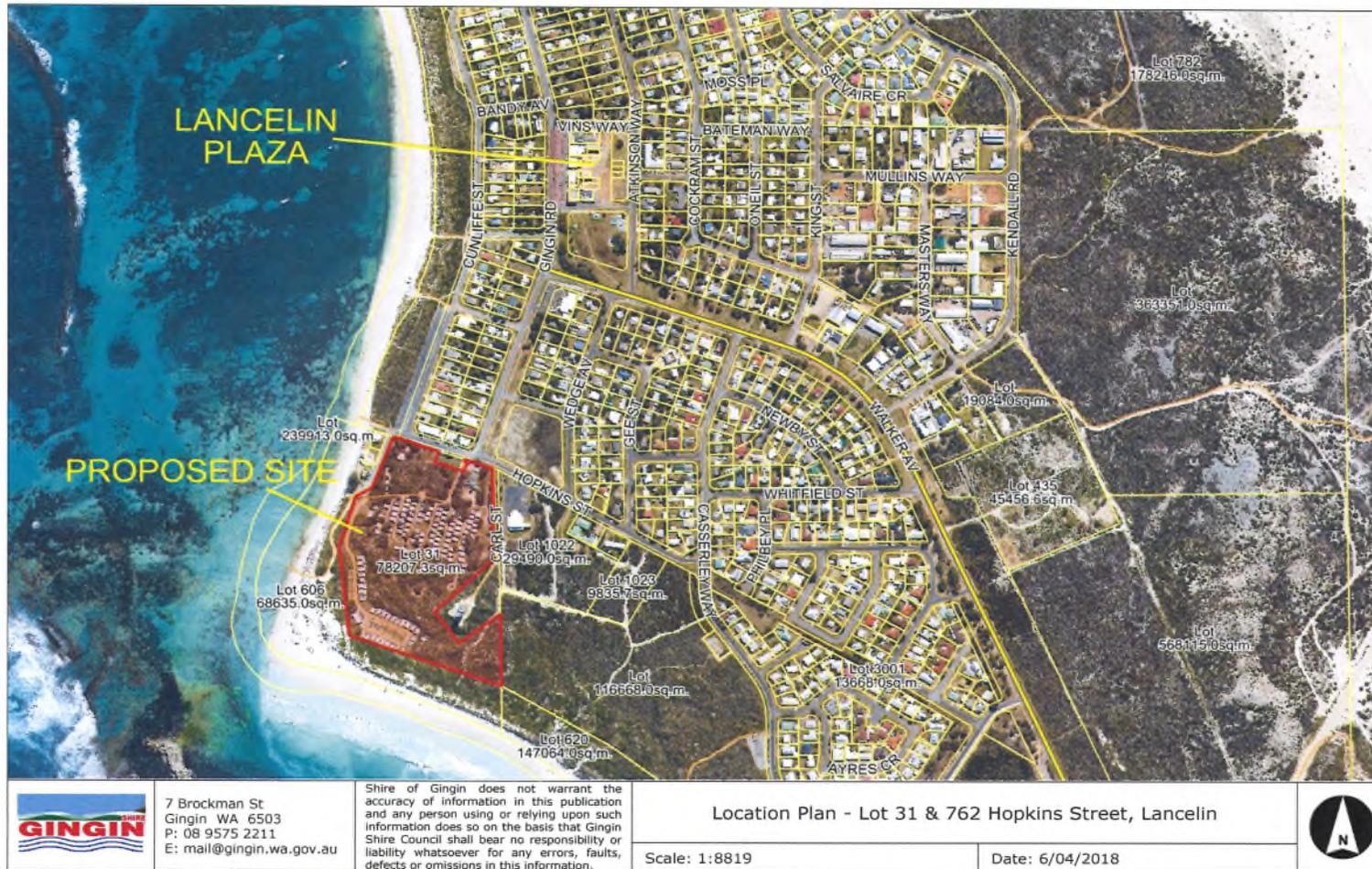
Moved Councillor Fewster, seconded Councillor Court that Council grant Development Approval for the proposed Caravan Park Redevelopment (Installation Phase – Stage 1) on Lots 31 and 762 Hopkins Street, Lancelin subject to the following conditions:

- 1. The land use and development shall be in accordance with the approved plans and specifications unless otherwise conditioned by this approval;**
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- 3. Further Development Approval will be required for the remaining installation phases;**
- 4. Within 90 days from the date of this notice, the applicant is required to submit a Bushfire Management Plan (BMP) to the satisfaction of the Shire of Gingin;**
- 5. Within 90 days from the date of this notice, the applicant is required to submit an Emergency Evacuation Plan to the satisfaction of the Shire of Gingin;**
- 6. All activities associated with the construction of Stage 1 must be carried out to the satisfaction of the Shire of Gingin and all care must be taken to minimise the effect of such activities on the amenity of existing patrons and the locality;**
- 7. Vegetation is to be planted and maintained along the Hopkins Street frontage as part of Stage 1, as indicated on the approved plan, to the satisfaction of the Shire of Gingin;**
- 8. Prior to occupation of Stage 1, the car parking and manoeuvring areas including a universally accessible (disabled) car parking bay, vehicle access and exit points as shown on the approved plans are to be constructed, drained, and line marked to the satisfaction of the Shire of Gingin;**
- 9. Stormwater from all roofed and paved areas is to be collected and contained onsite to the satisfaction of the Shire of Gingin;**
- 10. The applicant shall, at its cost, implement the ‘Lancelin Caravan Park – Coastal Hazard Risk Management Adaptation Planning Strategy prepared by Halsall and Associates on 14 December 2017 (final version) as reviewed and amended from time to time (“Planning Strategy”) to the satisfaction of the Shire of Gingin;**
- 11. The applicant shall engage a suitably qualified expert to undertake a review of the Planning Strategy within one year of the Shire finally adopting its Coastal Hazard Risk Management and Adaptation Planning Strategy so as to ensure that the applicant’s Planning Strategy is consistent with the Shire’s Coastal Hazard Risk Management and Adaption Planning Strategy. The review of the Planning Strategy shall be submitted to the Shire for approval. The Shire may require amendments to the reviewed Planning Strategy as a condition of its approval;**
- 12. The applicant shall thereafter engage a suitably qualified expert to undertake a review of the Planning Strategy at five year intervals. The review of the Planning Strategy shall be submitted to the Shire for approval. The Shire may require amendments to the reviewed Planning Strategy as a condition of it approval; and**
- 13. The applicant shall provide a copy of this approval, the Planning Strategy as reviewed from time to time, the approved Bushfire Management Plan and the approved Emergency Evacuation Plan to any future purchaser of the caravan park business undertaken on the subject site.**

CARRIED UNANIMOUSLY

APPENDIX 1





EXPERIENCE LANCELIN HOLIDAY PARK - 4 HOPKINS ST LANCELIN 6044 SHIRE OF GINGIN DEVELOPMENT APPLICATION
INSTALLATION PHASE - STAGE 1
Estimated Development Cost: 1.1 million
Swimming Pool Area
25m x 12m Pool/Pumps/Spa 5m x 4m
Pool Cover with Rollerdoor sides 30mx20m
Windows, Perspex Roller Doors, Brickwork, Plumbing, Plywood Sheeting Ceiling
Lighting / Landscaping, Solar Power
Pump Shed 5mx5m
Fencing \$110 per panel x 116m /Posts
Playground Area
Pedal Kart Storage Shed & Compound
Nautical Design Playground 14mx14m
Installation of Playground, Sand & Landscaping
Shade Sail Cover for Playground & Jumping Pillow
Jumping Pillow 25m x 9m, Sand & Landscaping
Limestone Wall \$33plm x 68lm
New Office & Games Room/Conference Room
Office 8m x 8m
Fit out materials, Games Room 13mx8m, Verandah 29m x 2.4m
Seal Roadway - Entry to West End & New Office entrance
South End Ablution Block & Central Block Refurbishment
New Floor and Wall Tiles
New Plumbing (Pipes, Cisterns, Toilets, Hand Basins, Doors, Hardware, Painting)
External Paving and Plaster repair
Campers' Kitchen South West
6 x 10 cover with sides
2 x Gas BBQs, 1 x Oven, 2 x 4 Burner Stove Tops, 2 x Sinks, 2 Door Fridge, 6 x 6-Seater BBQ Tables and Chairs
Utilities
Power Meters - Ortomate Meter Readers
Electrical & Lighting
Sewerage Headworks - including dump point, pumps etc
Technical Equipment Upgrades - WIFI
Upgrades to 15-20 Tourist Sites South End
Accommodation Stage 1
Eastern Boundary Econolodge 4 x 1 bedroom
Eastern Boundary Econolodge Disabled 2 x 1 Bedroom
Site works & Landscaping



PLAY AREA – NAUTICAL PLAYGROUND

- **Map Grid Reference: H 1**
- Australian Standards Certificate – Contained Play
Facility Jumping Pillows Pty Ltd
- Specifications: 25 m x 9m
- Inflation Details – approx. 120cm
- Trench width - 400mm

Mandurah Caravan Tourist Park
SS Lancelin



Date
06/12/2017

Drawing ref
PS-0384M-A

a_space range / s
Playtime Square

Colour scheme
Equipment: French Blue, Intensity Orange, Yellow
Rope: Blue

Under surfacing: Mulch

Specification
Marine

This drawing is subject to copyright and is confidential

Mandurah Caravan Tourist Park
SS Lancelin



Date
06/12/2017

Drawing ref
PS-0384M-A

a_space range / s
Playtime Square

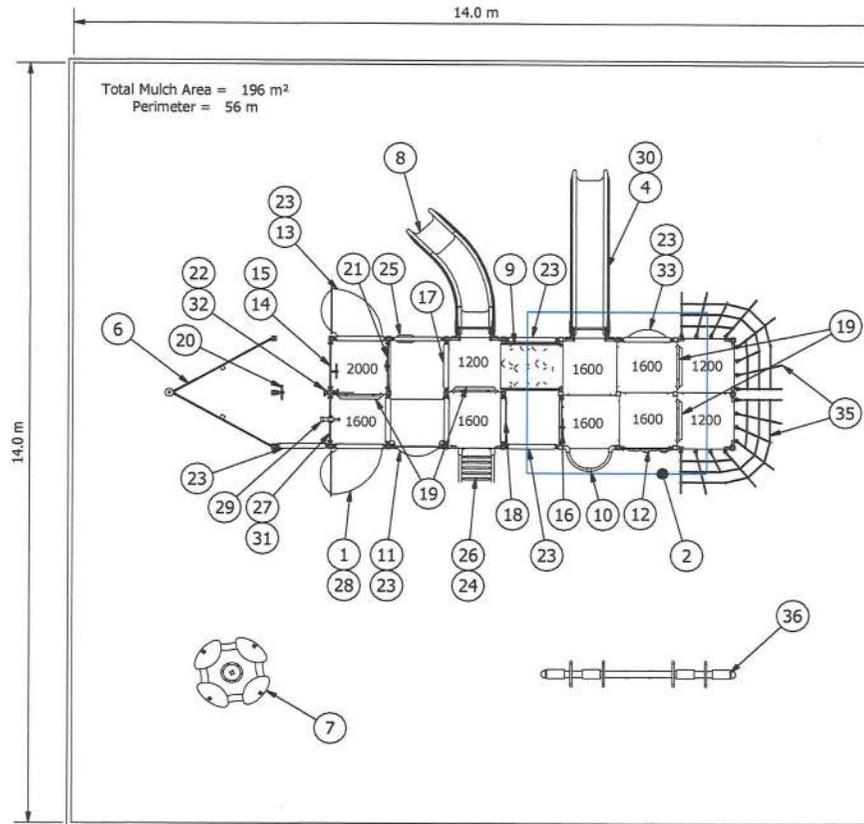
Colour scheme
Equipment: French Blue, Intensity Orange, Yellow
Rope: Blue

Under surfacing: Mulch

Specification
Marine

This drawing is subject to copyright and is confidential

**Mandurah Caravan Tourist Park
SS Lancelin**



EQUIPMENT INVENTORY		
ITEM	DESCRIPTION	QTY
1	PS Elbow Slotted / Bubble Panel Plastic	1
2	2M X 2M FLAT ROOF	1
3	PS 1000 Square Braced Aluminium Platform	4
4	PS Big Dipper Slide 1600 with HDPE sides	1
5	PS 1000 Braced Add On Aluminium Platform	4
6	PS Boat Bow - HDPE	1
7	G-Pod Spinner	1
8	PS Curved Slide 1200 with HDPE sides	1
9	PS Humpty Climber 1M x 400 inc with Geo Barriers	1
10	PS Sliding Pole 1600	1
11	PS Plastic Tube Tee - Slotted with Bubble (1 Mod)	1
12	PS Rock Wall Geo 1600	1
13	PS Elbow Slotted / Bubble Panel Plastic	1
14	PS Nautical Whale Panel HDPE	1
15	PS Ships Wheel for Plastic Infill Panel	1
16	PS Weather Panel HDPE	1
17	PS Kaleido Pie Panel (Above)	1
18	PS Mirror Panel (Above)	1
19	PS Plastic Inter Platform Step	4
20	PS Ships Wheel	1
21	PS Compass Panel HDPE	1
22	PS Flag	1
23	PS Hole Panel Plastic (Below)	6
24	PS Plastic Crawl Tunnel - Slotted (1 Mod)	1
25	PS Counter Panel Plastic (Ground)	1
26	PS Ladder 1600	1
27	PS Barrier HDPE with custom graphic	1
28	PS Bead Panel (3 Row)	1
29	Plastic Telescope Assy for HDPE Infill	1
30	PS Plastic Crawl Tunnel - Slotted (90 Deg)	1
31	PS Squeeze Bar Panel	1
32	PS Talk To Me	2
33	PS Bubble Panel Plastic (above)	1
34	PS 1000 Braced Add On Aluminium Platform	1
35	PS Cascade Rope Net 1200	2
36	Four Seat Rocker	1
209	Upright 75 x 75 4450 Aluminium	3

DESIGN COMPLIANT
WITH AS 4685:2014

Site Layout is Indicative only & subject to change.
This design is confidential & subject to Copyright.



Design plan

Design No: **PS-0384M-A** Drawn by: _____
Date drawn: _____



PLAY AREA - JUMPING PILLOW

- **Map Grid Reference: H 1**
- Australian Standards Certificate – Contained Play
Facility Jumping Pillows Pty Ltd
- Specifications: 25 m x 9m
- Installation Guide
- Inflation Details – approx. 120cm
- Trench width - 400mm



CONSULTING COORDINATION Pty Ltd

ENGINEERS & PLANNERS

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Queensland 4212 Australia
4824 The Parkway
Sanctuary Cove Qld 4212
Telephone: + 61 7 5514 8700
Facsimile: + 61 7 5514 8900
Email: clive@ccep.com.au
Web: www.ccep.com.au

AUST STANDARDS COMPLIANCE CERTIFICATE – CONTAINED PLAY FACILITY JUMPING PILLOWS PTY LTD

DISTRIBUTOR: JUMPING PILLOWS PTY LTD
PO BOX 1484
COOLUM BEACH QLD 4573
AUSTRALIA

MANUFACTURER: JUMPING PILLOWS PTY LTD
PO BOX 1484
COOLUM BEACH QLD 4573
AUSTRALIA

COMPONENT RANGE: JUMPING PILLOW

MODULES: JP3: 7.90m x 9m – 14 Patrons
JP4: 10.85m x 9m – 20 Patrons
JP5: 13.80m x 9m – 26 Patrons
JP6: 16.75m x 9m – 32 Patrons
JP7: 19.70m x 9m – 38 Patrons
JP7 Jumbo: 19.7m x 11m – 46 Patrons

We, Consulting Coordination Pty Ltd of 4824 The Parkway Queensland 4212 hereby certify that we have assessed the Jumping Pillows land-bourne inflatable contained play equipment modules as specified above for compliance with current Australian Standards. Based on our assessment, we are satisfied that the Jumping Pillows land-bourne inflatable contained play equipment specified above complies as a Class 2 device with the requirements of AS3533.4.2-2013, when installed in accordance with the specifications of the manufacturer providing operation, supervision, inspection and maintenance in accordance with AS3533.4.2-2013 is undertaken by the facility owner.

Signature.....
CLIVE DODD B Eng (Civil), MURP, MIE Aust, CP Eng (Aust), RPEQ 1985, LGE (Qld) 1036

Date:30th January 2015...



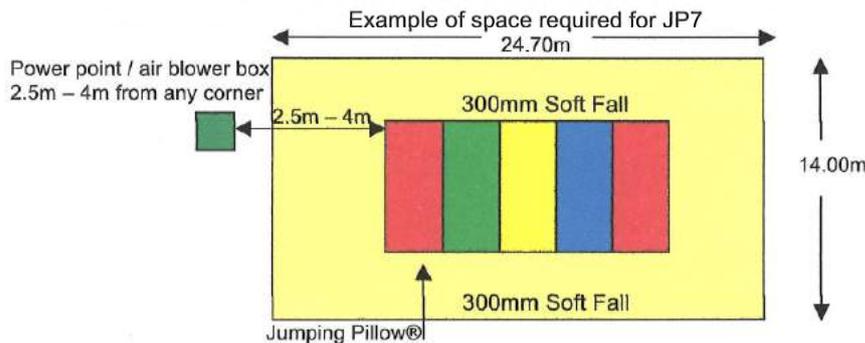
Jumping Pillows Pty Ltd
ATF Jumping Pillows Trust
PO Box 1484, Coolool Beach QLD 4573
Phone: (07) 5471 7659 Fax: (07) 5471 7639
www.jumpingpillows.com.au info@jumpingpillows.com.au

Installation guide

1. The whole minimum area required for pillow installation must be clear of all obstacles. For example, if your Jumping Pillow® is size JP7 your minimum area required will be 24.70m x 14.00m*. This whole area must be level & clear of trees, buildings, stones, sharp objects, tree stumps, branches etc. It needs to be as flat as possible and have limited or no underground rocks, services, holes etc (call JP for explanation). Jumping Pillows® can handle gently sloping grounds, roughly 50cm fall over 20m in length. For anything more than this, please call us to discuss.

The ground must be ready before the installation day!!!
Failure to do so may result in the installation going into second day or be rescheduled.
Extra charges will apply.

- * Should the future Jumping Pillows® area be covered with grass, please do not remove it.
- * If the area under your Jumping Pillow® is "hard as a rock" or is full of very small stones that are hard to remove, we recommend spreading some soft fall sand on (approx. 100mm).
- * When you decide your future Jumping Pillow® size, please be mindful that one day you will have to replace the PVC component. Most likely an excavator will have to come back and remove some soil from the trench. Please make sure you have enough space to do this. Under Australian Standard 3533.4.1-2005 your minimum soft fall requirement for a Jumping Pillow® is 1.2m around all sides. All descriptions and drawings below refer to 2.5m soft fall which is what we recommend.



Once installation is completed you will end up with 2.5m* soft fall around your Jumping Pillow®.

2. The Purchaser will, at its own cost and expense, excavate a trench up to 800mm deep around the perimeter of the Jumping Pillow® and will provide soft fall sand required to complete the installation. **The trenches are excavated on the day of Jumping Pillow® installation.** Should excavated soil be all clay (big "chunks" that can't be reduced to smaller size e.g. fist size), contain many rocks etc, then some or all of it may have to be removed. Extra backfill may be required. **Please talk to JP before removing any soil.** Please also note that the condition of your trench (and the soil in the trench) is directly responsible for inflation, settling and air sealing of your Jumping Pillow®. Jumping Pillows Pty Ltd is not responsible for the trench or its condition / make up of the soil. It is totally out of our control. For example, should there be any pipes, "hard clay", cave ins or rocks in your trench, it will take much longer time to make your pillow 100% operational. You may be required to purchase a bigger (non standard) air blower / builders film in order to successfully install & inflate your Jumping Pillow®. This simply means that due to different soils and what's in them some Jumping Pillows will need longer time to settle properly. **If you have any questions regarding this, please call us before we commence installation.**
3. Trenches are excavated on the day of your Jumping Pillow® installation. The Purchaser will be responsible for providing an excavator and a bobcat (**with a competent professional operator**). Please note that the Purchaser is fully responsible for fixing any trench "collapses" or "cave ins" due to machine operator negligence or soil condition. **Trench repairs are not part of our warranty.** Depending on the type of your soil, the best excavator size is 1 - 3.5 tons. Bucket size 400mm - 600mm max. Please do not get an excavator bigger than 3.5 tons unless you talk to JP. The machine should be available from 8.00 AM on the day of installation.



Jumping Pillows Pty Ltd
ATF Jumping Pillows Trust
PO Box 1484, Coolum Beach QLD 4573
Phone: (07) 5471 7659 Fax: (07) 5471 7639
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**In many cases a backhoe is not suitable for this job. It is very slow and not very precise.
In softer soils the outriggers can cave in / collapse the trench. Please call JP if you have to use one.**

4. Bob cat will be required in the afternoon. It is the best machine to backfill the trench and spread sand for the soft landing area. However, please make sure that there is enough space for him to operate, turn around etc. Backfilling can be done with an excavator but it will be a lot slower. When you hire the machines, try to get an excavator / bob cat combo. Often you can hire two machines for the price of one. Typically between the two of them it will be one days work.
 - * Please make sure you know where your under ground services are and be prepared in case they are damaged.
 - * Should the future Jumping Pillows® area be covered with grass, please do not remove it.
 - * If it's all sandy and dry, watering trench location before excavating will improve the edges.
5. Typical soft fall area for a Jumping Pillow® (when sand is used) is 2.5 meters wide by 300mm thick. As a guide we recommend (approx.): JP3 – 25m³ of sand, JP4 – 29m³, JP5 – 34m³, JP6 – 38m³, JP7 – 43m³. Soft landing sand should be maintained above the pillow's edge at 300mm at all times for safety and maximum pillow performance. For the soft landing area we suggest the best quality soft fall approved sand available to you. The soft fall sand should not be washed with any chemicals and if possible it should have minimum or no iron oxide content as it can make the pillow look dirty and hard to clean. Please check it with your supplier.

**We recommend that you confirm the requirements for the soft landing area sand type,
depth and widths with your insurance company.**

Soft fall sand must be available on the day of installation.

Failure to do so can result in the installation going into second day. Extra charges may apply.

**If you require soft fall area which is less than 2.5m around your Jumping Pillow®,
please call us to discuss.**

6. A permanent outdoor power point 240V (single phase) for the blower will be required (including a trench for the air pipe). This can be done before or after pillow installation. It should be located 2.5 – 4 meters away from any corner of the pillow. If you install the power point before installation day, please make sure it is not higher than 40cm.

After extremely heavy rain it is possible for the blower vent (under the pillow) or even blower box to get flooded. You must choose a corner, which is higher than the others (if you are on a sloping ground). If the ground is totally flat but the water can sit on top of the ground after a heavy fall – select the "driest" corner. The customer is responsible for the final air blower and air vent location.

If the whole area is known for getting flooded, water logged etc, please discuss it with us before installation day.

**Please note that any issues relating to water in the air vent/pipe, trench drainage, pillow components
lifting in the trench due to extreme weather events, flood etc. are not covered under warranty.**

7. Our terms are 50% deposit, balance due on delivery. All paper work and deposit must be received by JP before pillow fabrication commences and installation date is confirmed. In special cases balance payments can be given 48 hours grace. After this time interest may apply.
8. Our installers will travel to your location by plane or road from Brisbane or Sydney. If they can't get to you, install your Jumping Pillow® and leave on the same day, accommodation will be required. Customer will provide up to two nights (two men) at no cost to JP.



Jumping Pillows Pty Ltd
ATF Jumping Pillows Trust
Unit 1 / 30 Corbould Rd
Coolum Beach QLD 4573, Australia
Ph: 07 5471 7659 Fax: 07 5471 7639

ABN 27 460 155 320

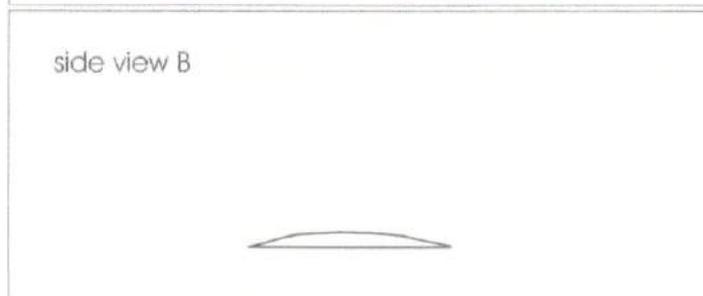
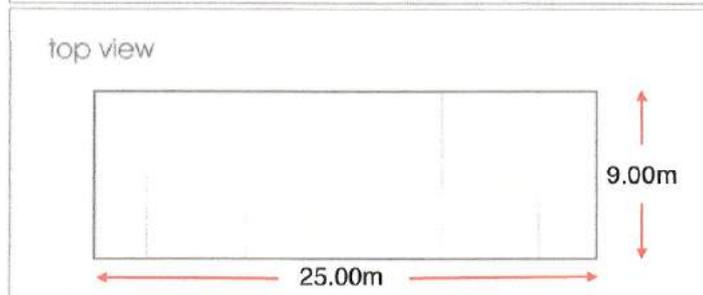
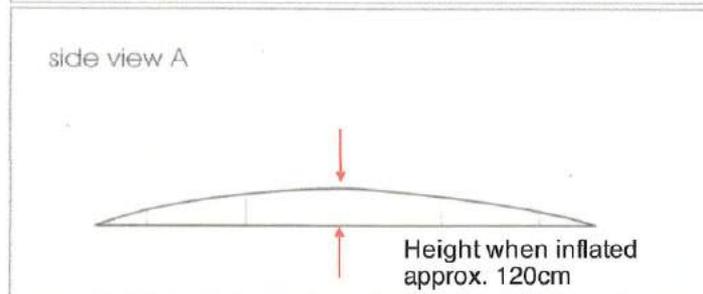
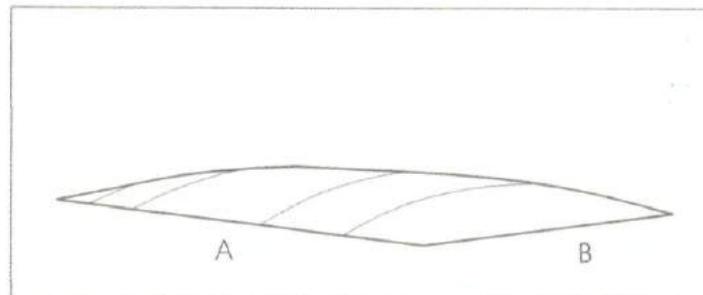
Specifications for Jumping Pillow® - Lancelin Holiday Park

1. Size 25.00m x 9.00m
2. Jumping component – double sided PVC fabric
3. Height of inflated Jumping Pillow: 80cm – 150cm
4. Height of deflated Jumping Pillow: 0cm (PVC jumping component rests on the ground)
5. Inflation – electric blower, single phase
0.18 - 0.25kW
IP55
1.37A
50Hz
6. Air supply 100mm flexi pipe – 30cm under ground
7. Air blower distance to the edge of the pillow: 2.5m – 6.00m
8. Anchoring system: Plastic sheets/strips and medium steel triangles installed / buried
60cm – 80cm under the ground in 40cm wide trench.
Trench backfilled with original soil and covered with soft fall sand.
9. Soft fall material – sand (customer's responsibility)

www.jumpingpillows.com.au

info@jumpingpillows.com.au

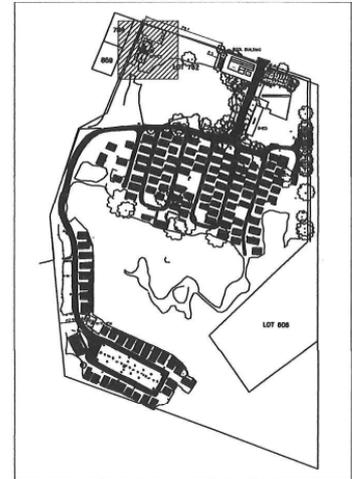
Jumping Pillows®



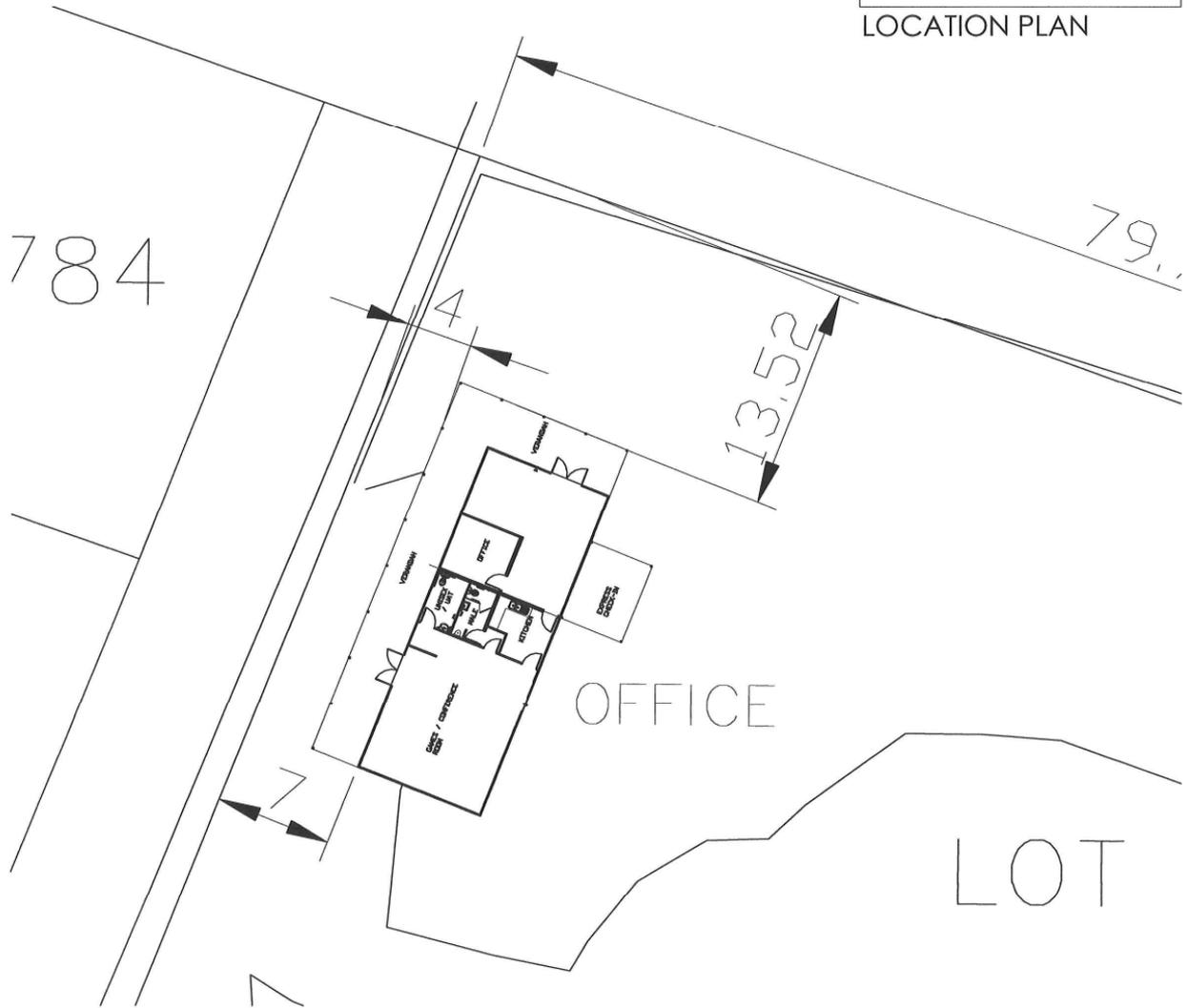


PROPOSED NEW OFFICE BUILDING

- **Map Grid Reference: F 1**
- General Construction Notes
- Location Plan
- Floor Plan
- External Elevations
- Area m² - Building – 168.00m²
- Verandah - 96.00m²
- Express Check-in – 20.00m²
- Total – 284.00m²
- Ceiling Height – 2710mm



LOCATION PLAN



D A D T S I T E P L A N

<p>BUILDING DESIGN CRITERIA Wind Load - in accordance with AS.1170.2-2011 REGION A, TERRAIN CATEGORY 2, IMPORTANCE LEVEL 2: Vu = 1500 = 45m/s Ms = 1.0 Mt = 1.0 Mzcat = 0.91 V Serviceability = 37m/s</p> <p>DESIGN CRITERIA IN ACCORDANCE WITH AS1170.4-2007: Probability P= 1/500 (Table 3.1) Kp = 1.0 (Table 3.1) Site hazard factor Z allowed = 0.09 (Figure 3.2(C)) Earthquake design category = EDC I as per Table 2.1</p> <p>Built To: NCC CLASS 5 BUILDING CLIMATE ZONE 5</p>	
AREA m²:	
BUILDING	- 168.00m ²
VERANDAH	- 96.00m ²
EXPRESS CHECK-IN	- 20.00m ²
TOTAL	= 284.00m ²
CEILING HEIGHT	- 2710mm

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. DIMENSIONS TAKE PREFERENCE OVER SCALE.
3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS AND DETAILS ON SITE BEFORE COMMENCING ANY WORKS.
4. ALL WORK SHALL COMPLY WITH RELEVANT / CURRENT NCC AND AUSTRALIAN STANDARDS.
5. ALL LEVELS, SITE CUTS, F.F.L TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
6. SMOKE DETECTORS TO BE HARD WIRED WITH EMERGENCY BACK-UP. INSTALL TO AS3766.

GENERAL CONSTRUCTION NOTES:

FLOOR	- TRANSPORTABLE CONCRETE SLAB
FLOOR COVERINGS	- VINYL with 'D' MOULD SKIRTING TO GAMES / OFFICE SPACE - SLIP-RESISTANT VINYL with 150mm HIGH COVING TO TOILETS & KITCHEN
EXTERNAL WALLS	- 90mm STEEL STUD FRAME - WEATHERBOARD OR SIMILAR EXTERNAL CLADDING - R2.5 HD INSULATION BATTS - (E-THERM OR SIMILAR UNDER CLADDING)
INTERNAL WALLS	- 90mm STEEL STUD FRAME - 10mm PLASTERBOARD LINING (PAINTED FINISH)
ROOF STRUCTURE	- GALV. STEEL FRAMING - COLORBOND CUSTOM ORB ROOF SHEETING - ANTI-CONDENSATION BLANKET UNDER ROOF SHEETS
CEILING	- GALV. STEEL FRAMING - 10mm PLASTERBOARD LINING -/w GYPROCK CORNICE (PAINTED FINISH) - R2.5 INSULATION BATTS BETWEEN CEILING JOISTS
SWING DOOR FRAMES	- METAL (PAINTED FINISH)
SLIDING DOOR FRAMES	- ALUMINIUM POWDER COAT
WINDOW FRAMES	- ALUMINIUM POWDER COAT

DOOR and WINDOW SCHEDULE:

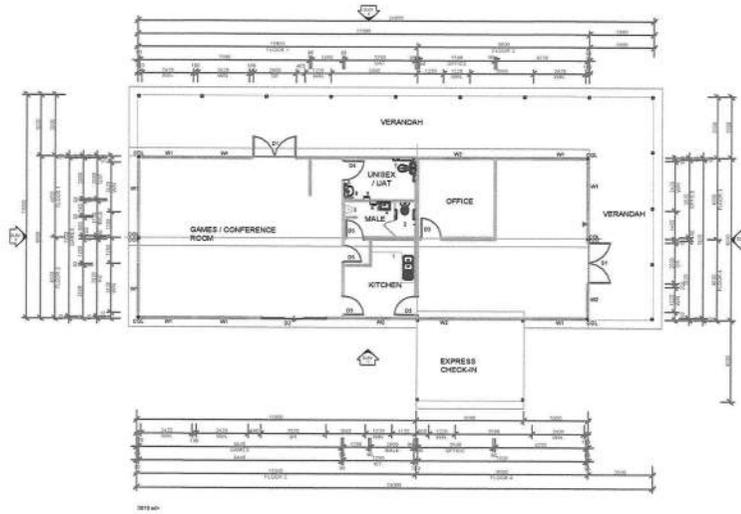
D1	- 2040h x 2000w SOLID CORE EXTERNAL DOUBLE SWING DOOR
D2	- 2100h x 3010w GLASS SLIDING EXTERNAL DOOR
D3	- 2040h x 920w HOLLOW CORE INTERNAL SWING DOOR
D4	- 2040h x 920w SOLID CORE INTERNAL SWING DOOR c/w DOOR CLOSER & PRIVACY LOCK
D5	- 2040h x 820w SOLID CORE INTERNAL SWING DOOR c/w DOOR CLOSER
W1	- 1200h x 2410w SLIDING WINDOW c/w FLYSCREEN
W2	- 1200h x 1210w SLIDING WINDOW c/w FLYSCREEN

EQUIPMENT LIST:

- 1 - 600 DEEP x 900 HIGH KITCHEN BENCH TOP c/w DOUBLE BOWL, S DRAINER S.S SINK INSET, BANK OF DRAWERS & C'BRDS UNDER
- 2 - AMBULANT CUBICLE c/w TOILET PAN WITH DUAL FLUSH CISTERNE ROLL HOLDER, 2x 450x450 S/S GRAB RAILS & COAT HOOK @1400 COMPLIANT TO AS1428.1-2009.
- 3 - WALL MOUNTED URINAL
- 4 - WALL MOUNTED HAND BASIN c/w MIXER & MIRROR OVER
- 5 - WALL MOUNTED LIQUID SOAP DISPENSER
- 6 - WALL MOUNTED PAPER TOWEL DISPENSER
- 7 - ACCESSIBLE TOILET PAN c/w DUAL FLUSH CISTERN, BACKREST ROLL HOLDER, 1x 300 LONG & 1x 600x950 GRAB RAIL (AS1428.1-2009)
- 8 - WALL MOUNTED ACCESSIBLE HAND BASIN c/w FLICK MIXER TAP MIRROR OVER & 400x150 MEL. S/S UTILITY SHELF WALL MOUNTED ADJACENT TO BASIN (AS1428.1-2009)

GENERAL NOTES

 <p>ABN: 6365 892 4486 Cosmole, Perth Western Australia 6110 T 0405 145 977 E apin@apd.com.au</p>	<p>NOTES:</p> <p>PROPOSED NEW OFFICE COMPLEX</p>	<p>CLIENT:</p> <p>LANCELIN TOURIST PARK</p> <p>ADDRESS:</p> <p>HOPKINS ST, LANCELIN</p>	<p>Drawn Date.</p> <p>15/11/2017</p> <p>Scale: NTS@A3</p>
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GENERAL NOTES:

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5. ALL LEVELS, SITE CUTS, P.F.I.'S TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
6. SMOKE DETECTORS TO BE HARD WIRED WITH EMERGENCY BACK-UP. INSTALL TO AS3786.

GENERAL CONSTRUCTION NOTES:

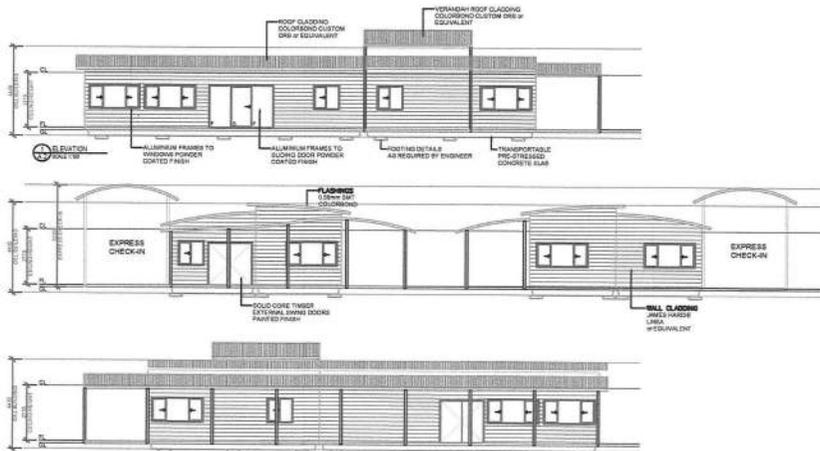
- FLOOR**
- TRANSPORTABLE CONCRETE SLAB
- FLOOR COVERINGS**
- VINYL W/ 12' MOLD SKIRTING TO GAMES / OFFICE SPACE
- SLIP RESISTANT VINYL W/ 180MM HIGH COUSING TO TOILETS & KITCHEN
- EXTERNAL WALLS**
- 80MM STEEL STUD FRAME
- WEATHERBOARD OR SIMILAR EXTERNAL CLADDING
- R2.5 HD INSULATION BATT
- E-THERM OR SIMILAR UNDER CLADDING
- INTERNAL WALLS**
- 90MM STEEL STUD FRAME
- 15MM PLASTERBOARD LINING (PAINTED FINISH)
- ROOF STRUCTURE**
- GALV. STEEL FRAMING
- COLORBOND CUSTOM ORB ROOF SHEETING
- ANTI-CONDENSATION BLANKET UNDER ROOF SHEETS
- CEILING**
- GALV. STEEL FRAMING
- 10MM PLASTERBOARD LINING w/ DYPROCK CORNICE (PAINTED FINISH)
- R3 INSULATION BATT BETWEEN CEILING JOISTS
- METAL PAINTED FINISH
- BIWIND DOOR FRAMES**
- ALUMINUM POWDER COAT
- SLIDING DOOR FRAMES**
- ALUMINUM POWDER COAT
- WINDOW FRAMES**
- ALUMINUM POWDER COAT

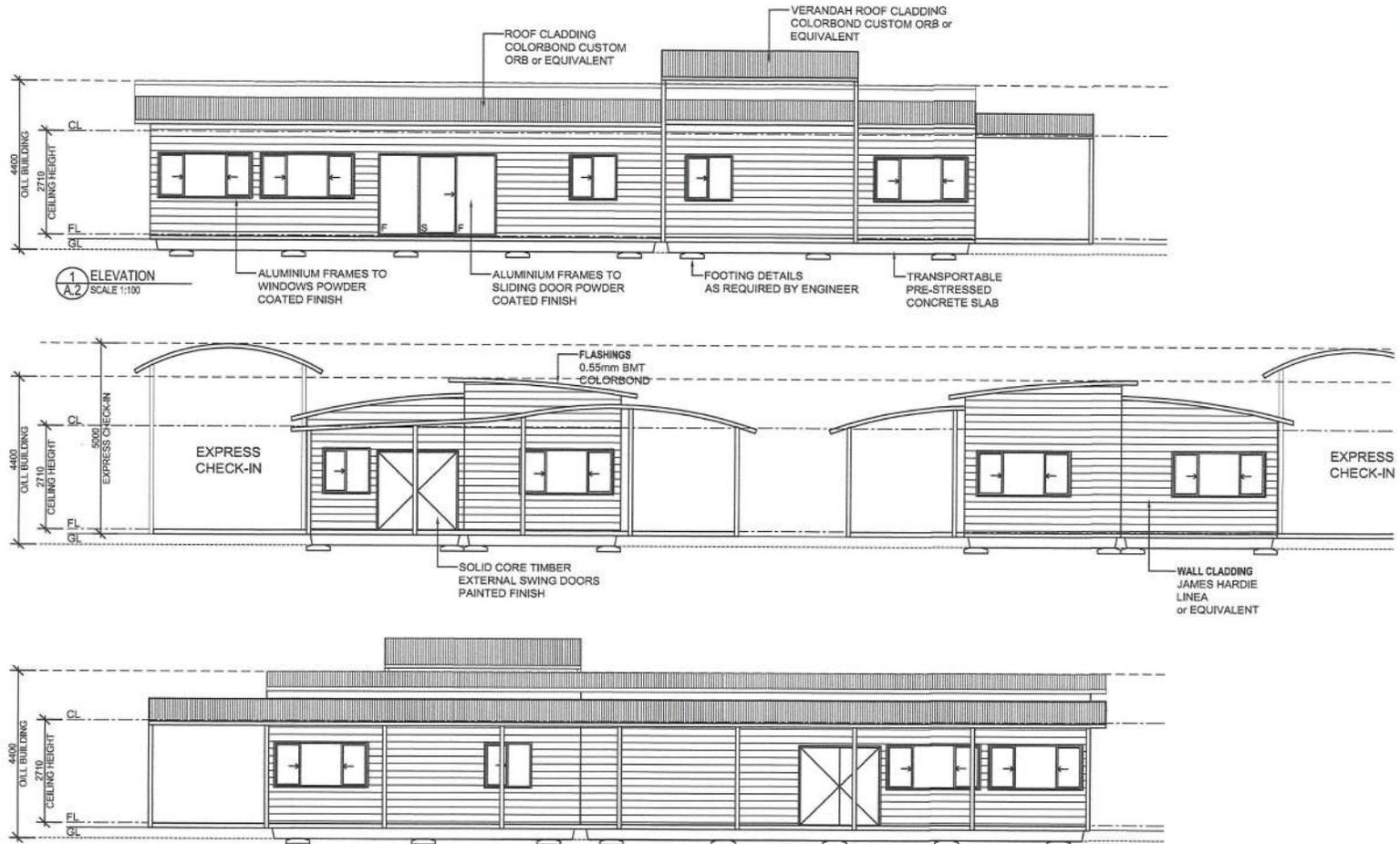
DOOR and WINDOW SCHEDULE:

- DOOR**
- D1 - 2040 x 1030x 8000 CORE INTERNAL DOUBLE SWING
 - D2 - 2100 x 1010x 8000 GLASS SLIDING EXTERNAL DOOR
 - D3 - 2040 x 1030x 8000 HOLLOW CORE INTERNAL BIWIND DOOR
 - D4 - 2040 x 1030x 8000 CORE INTERNAL BIWIND DOOR w/ DOOR CLOSURE & PRIVACY LOCK
 - D5 - 2040 x 1030x 8000 CORE INTERNAL BIWIND DOOR w/ DOOR CLOSURE
 - D6 - 2040 x 1030x 8000 CORE INTERNAL BIWIND DOOR w/ PRIVACY LOCK
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 - D100 - 2040 x 1030x 8000 CORE INTERNAL BIWIND DOOR w/ PRIVACY LOCK

EQUIPMENT LIST:

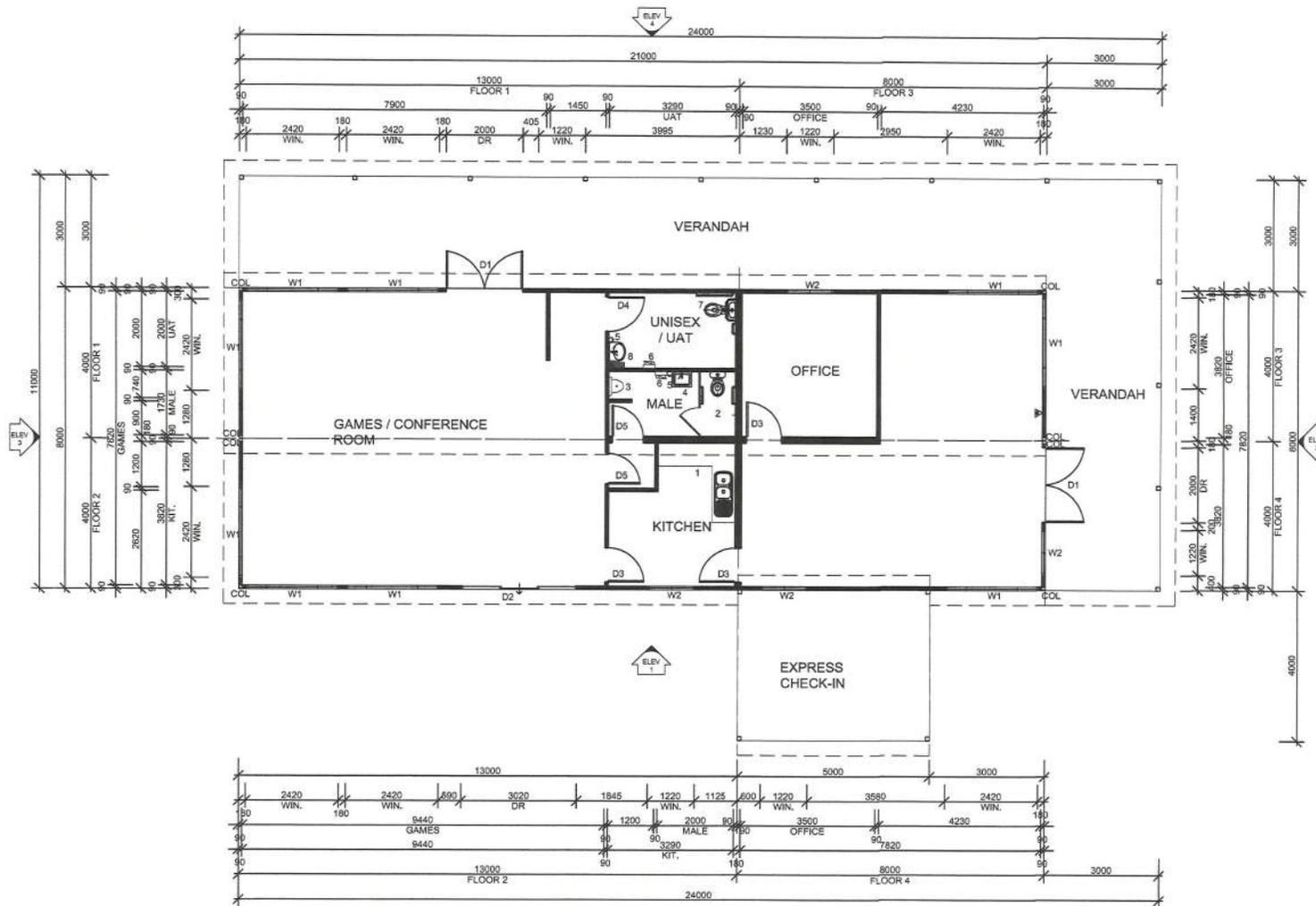
- 1 - 900 DEEP x 900 HIGH KITCHEN BENCH TOP ON DOUBLE BOWL, INSOLE DRAWERS & 2 SHAMPOO BASKETS & CUPBDS UNDER
- 2 - AMBILANF CLOSURE ON TOILET PAN WITH DUAL FLUSH CERTIFIED TOILET
- 3 - ROLL UP DOOR TO REMOVE BIRD POLES & COAT HOOK @ WEA R.F.L. COMPLIANT TO AS 1428 1:2008
- 4 - WALL MOUNTED URINE
- 5 - WALL MOUNTED TOILET
- 6 - WALL MOUNTED HANDWASH W/ MIRROR & WIPER OVER
- 7 - WALL MOUNTED TOWEL TOWER, 2 DISPENSER
- 8 - ACCESSIBLE TOILET PAN ON DUAL FLUSH CERTIFIED TOILET
- 9 - WALL MOUNTED ACCESSIBLE WIND BASKIN ON FLOOR MOUNTED TAPSET, WIPER OVER & 200MM WEL. 90° FLUCTY SHEET WALL MOUNTED ADJACENT TO BASKIN (AS 1428 1:2008)





EXTERNAL ELEVATIONS

 <p>ABN: 9365 692 4486 Gosnells, Perth Western Australia 6110 T: 8405 145 977 E: ap@addesign.com</p>	<p>NOTES: PROPOSED NEW OFFICE COMPLEX</p>	<p>CLIENT: LANCÉLIN TOURIST PARK</p> <p>ADDRESS: HOPKINS ST, LANCÉLIN</p>	<p>Drawn Date: 15/11/2017</p>
			<p>Scale: 1:100 @A3</p>



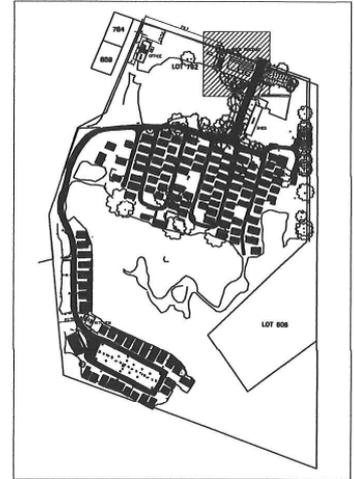
FLOOR PLAN

 <p>ABN: 8365 892 4486 Gosnells, Perth Western Australia 61110 T: 0405 148 977 E: sp@addmg.com</p>	<p>NOTES: PROPOSED NEW OFFICE COMPLEX</p>	<p>CLIENT: LANCELIN TOURIST PARK</p> <p>ADDRESS: HOPKINS ST, LANCELIN</p>	<p>Drawn Date. 15/11/2017</p>
			<p>Scale: 1:100 @A3</p>

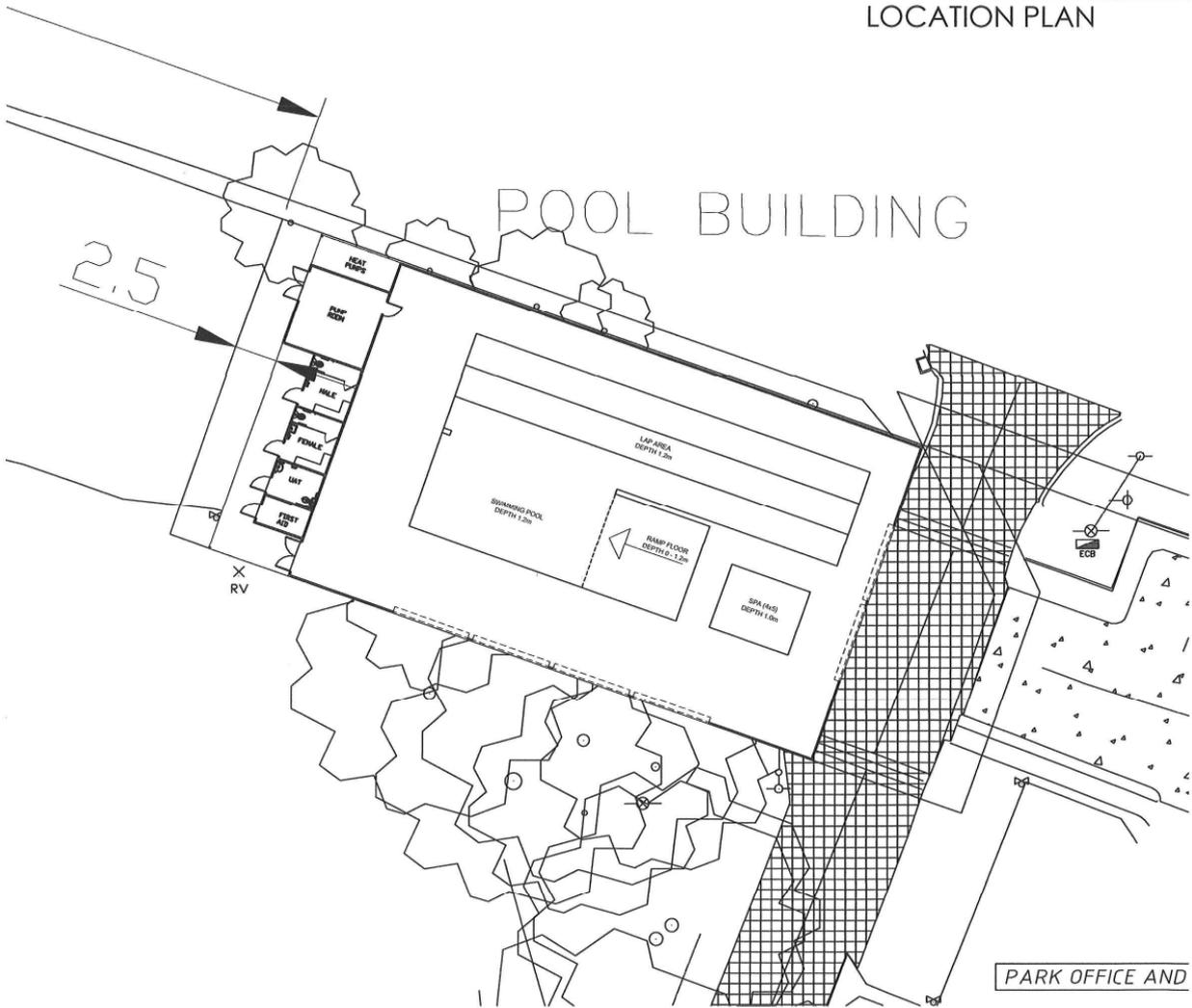


PROPOSED SWIMMING POOL BUILDING

- **Map Grid Reference: I 2**
- General Construction Notes
- Location Plan
- Floor Plan
- External Elevations
- Area m² - Building – 723.53m²
- Additional - 79.85m²
- Pitching Height – 4.00m



LOCATION PLAN



PART SITE PLAN

<p>BUILDING DESIGN CRITERIA Wind Load - in accordance with AS.1170.2-2011 REGION A, TERRAIN CATEGORY 2, IMPORTANCE LEVEL 2: Vu = V500 = 45m/s Ms = 1.0 Mt = 1.0 Mzcat = 0.91 V Serviceability = 37m/s</p> <p>DESIGN CRITERIA IN ACCORDANCE WITH AS1170.4-2007: Probability P= 1/500 (Table 3.1) Kp = 1.0 (Table 3.1) Site hazard factor Z allowed = 0.09 (Figure 3.2(C)) Earthquake design category = EDC I as per Table 2.1</p> <p>Built To: NCC CLASS 5 BUILDING CLIMATE ZONE 5</p>	
AREA m²:	
BUILDING	- 723.53m ²
ADDITIONAL	- 79.85m ²
TOTAL	= 803.38m²
PITCHING HEIGHT	- 4.00m

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. DIMENSIONS TAKE PREFERENCE OVER SCALE.
3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS AND DETAILS ON SITE BEFORE COMMENCING ANY WORKS.
4. ALL WORK SHALL COMPLY WITH RELEVANT / CURRENT NCC AND AUSTRALIAN STANDARDS.
5. ALL LEVELS, SITE CUTS, F.F.L TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
6. SMOKE DETECTORS TO BE HARD WIRED WITH EMERGENCY BACK-UP. INSTALL TO AS3786.

GENERAL CONSTRUCTION NOTES:

FLOOR	- CONCRETE SLAB TO ENGINEER'S SPECIFICATIONS
FLOOR COVERINGS	- TBA - SLIP-RESISTANT VINYL with 150mm HIGH COVING TO TOILETS
WALLS	- 290x182x90mm BRICK CONSTRUCTION (FACE BRICK)
ROOF STRUCTURE	- GALV. STEEL FRAMING - COLORBOND CUSTOM ORB ROOF SHEETING - ANTI-CONDENSATION BLANKET UNDER ROOF SHEETS
CEILING STRUCTURE	- TBA - TBA
SWING DOOR FRAMES	- METAL (PAINTED FINISH)
SLIDING DOOR FRAMES	- ALUMINIUM POWDER COAT
WINDOW FRAMES	- ALUMINIUM POWDER COAT

DOOR and WINDOW SCHEDULE:

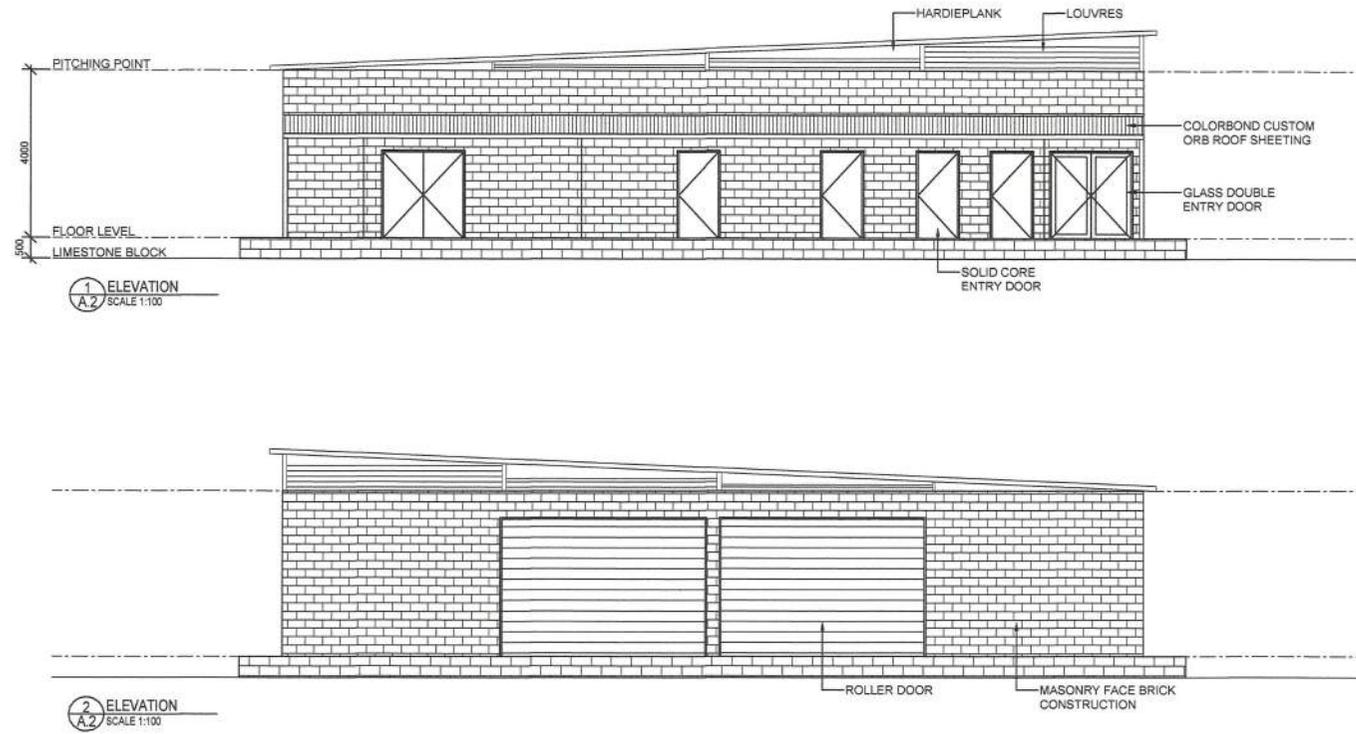
D1	- 2100h x 1875w GLASS EXTERNAL DOUBLE SWING DOOR
D2	- 2040h x 1875w SOLID CORE DOUBLE EXTERNAL SWING DOOR
D3	- 2040h x 920w HOLLOW CORE EXTERNAL SWING DOOR c/w DOOR CLOSER
D4	- 2040h x 920w SOLID CORE EXTERNAL SWING DOOR c/w DOOR CLOSER & PRIVACY LOCK
D5	- 2040h x 820w SOLID CORE INTERNAL SWING DOOR c/w DOOR CLOSER
WINDOW (A)	- 1000h x 1200w AWNING WINDOW c/w ALUMINIUM FRAMED (POWDERCOAT FINISH)
WINDOW (F)	- 1000h x 1200w FIXED WINDOW c/w ALUMINIUM FRAM (POWDERCOAT FINISH)
WINDOW (F)	- 1800h x 1200w FIXED WINDOW c/w ALUMINIUM FRAM (POWDERCOAT FINISH)

EQUIPMENT LIST:

- 1 - AMBULANT CUBICLE c/w TOILET PAN WITH DUAL FLUSH C/F ROLL HOLDER, 2x 450x450 S/S GRAB RAILS & COAT HOOK @ COMPLIANT TO AS1428.1-2009.
- 2 - WALL MOUNTED HAND BASIN c/w MIXER & MIRROR OVER
- 3 - WALL MOUNTED LIQUID SOAP DISPENSER
- 4 - WALL MOUNTED PAPER TOWEL DISPENSER
- 5 - ACCESSIBLE TOILET PAN c/w DUAL FLUSH CISTERN BACKL ROLL HOLDER, 1x 300 LONG & 1x 600x950 GRAB RAIL (AS1428)
- 6 - WALL MOUNTED ACCESSIBLE HAND BASIN c/w FLICK MIXER MIRROR OVER & 400x150 MEL. S/S UTILITY SHELF WALL MOL ADJACENT TO BASIN (AS1428.1-2009)
- 7 - TIMBER SLAT BENCH SEATING

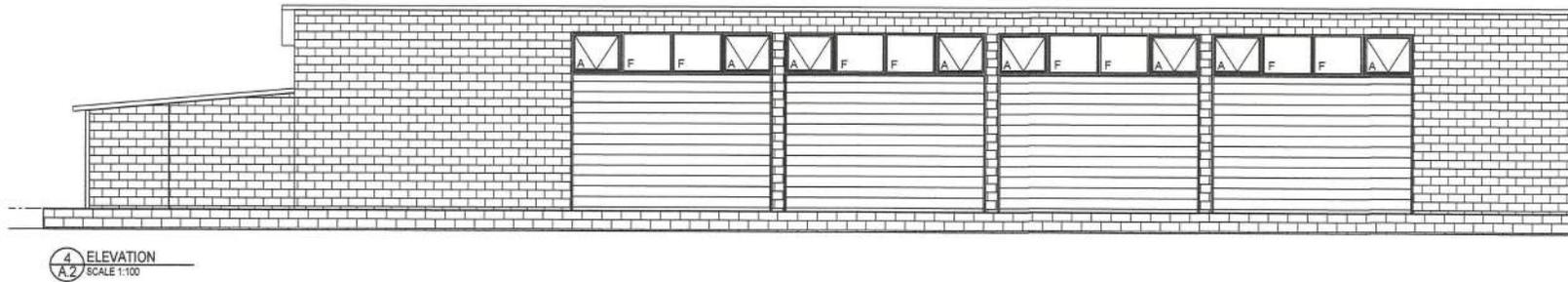
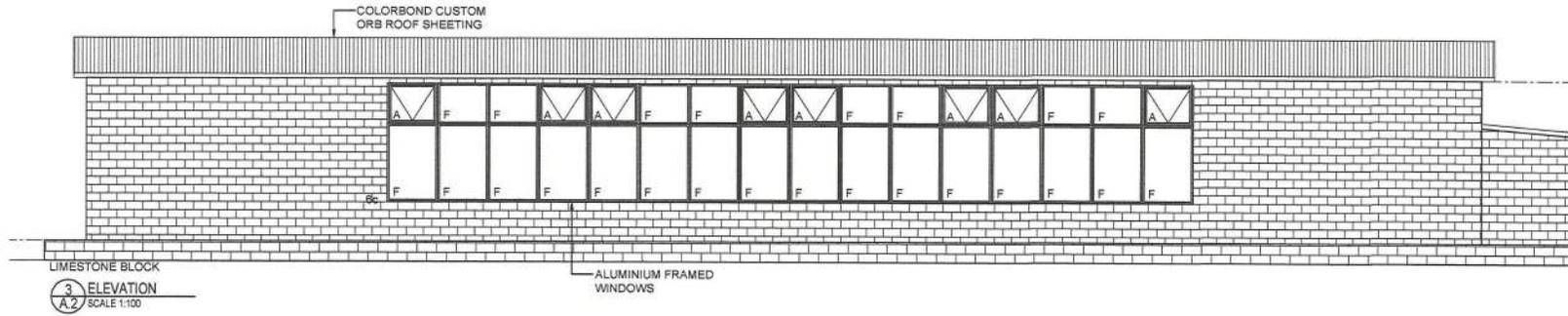
GENERAL NOTES

 <p>ABN: 8395 692 4496 Gosnells, Perth Western Australia 6110 T: 0805 145 977 E: apdr@trng@live.com</p>	<p>NOTES:</p> <p>PROPOSED NEW POOL BUILDING</p>	<p>CLIENT: LANCERLIN TOURIST PARK</p> <p>ADDRESS: HOPKINS ST, LANCERLIN</p>	<p>Drawn Date.</p> <p>21/11/2017</p> <p>Scale: NTS@A3</p>
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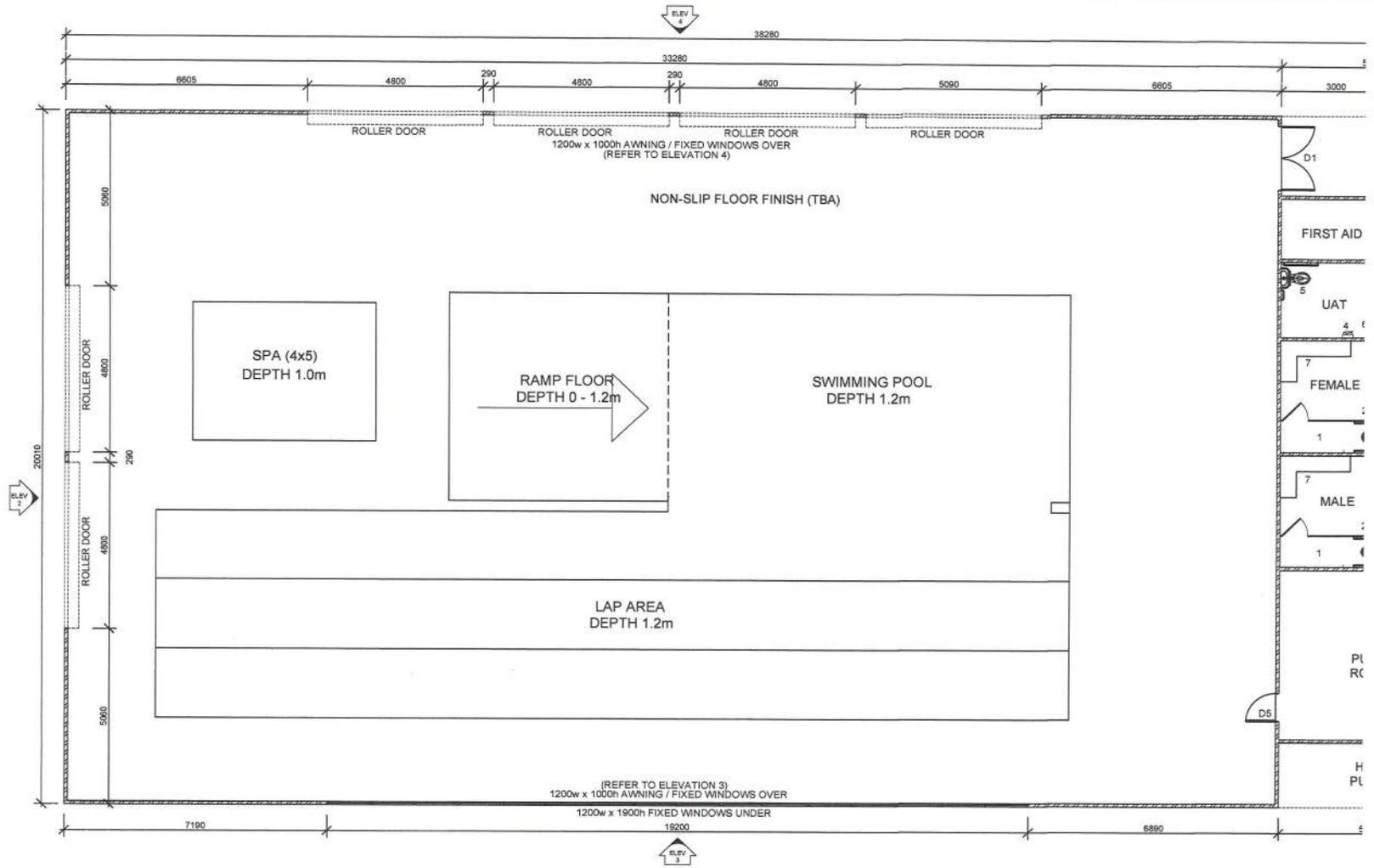
EXTERNAL ELEVATIONS

 <p>ABN: 8305 692 4485 Gosnells, Perth Western Australia 6110 T: 0405 145 977 E: info@addesign.com</p>	<p>NOTES: PROPOSED NEW POOL BUILDING</p>	<p>CLIENT: LANCÉLIN TOURIST PARK ADDRESS: HOPKINS ST, LANCÉLIN</p>	<p>Drawn Date: 21/11/2017</p>
			<p>Scale: 1:100 @A3</p>



EXTERNAL ELEVATIONS

 <p>ABN: 6385 852 4488 Gosnells, Perth Western Australia 6110 T: 0405 145 977 E: apdrafting@live.com</p>	<p>NOTES: PROPOSED NEW POOL BUILDING</p>	<p>CLIENT: LANCELIN TOURIST PARK</p> <p>ADDRESS: HOPKINS ST, LANCELIN</p>	Drawn Date.
			21/11/2017
			Scale: 1:100 @A3



FLOOR PLAN

 <p>ABN: 8395 092 4486 Gosnells, Perth Western Australia 6110 T: 0825 140 977 E: apdrafting@live.com</p>	<p>NOTES: PROPOSED NEW POOL BUILDING</p>	<p>CLIENT: LANCELIN TOURIST PARK</p> <p>ADDRESS: HOPKINS ST, LANCELIN</p>	<p>Drawn Date. 21/11/2017</p>
			<p>Scale: 1:100 @A3</p>



PROPOSED CAMPERS' KITCHEN

- **Map Grid Reference: E 8**
- General Construction Notes
- Location Plan
- Floor Plan
- External Elevations
- Area m² - Building – 70.90m²
- Outdoor Area – 29.10m²
- Total Area – 100.00m²
- Ceiling Height – 2710mm rake ceiling to 2.5 in from internal wall

<p>BUILDING DESIGN CRITERIA Wind Load - in accordance with AS.1170.2-2011 REGION A, TERRAIN CATEGORY 2, IMPORTANCE LEVEL 2: Vu = V500 = 45m/s Ms = 1.0 Mt = 1.0 Mzcat = 0.91 V Serviceability = 37m/s</p> <p>DESIGN CRITERIA IN ACCORDANCE WITH AS1170.4-2007: Probability P= 1/500 (Table 3.1) Kp = 1.0 (Table 3.1) Site hazard factor Z allowed = 0.09 (Figure 3.2(C)) Earthquake design category = EDC I as per Table 2.1</p> <p>Built To: NCC CLASS 6 BUILDING CLIMATE ZONE 5</p>	
<p>AREA m²:</p>	
BUILDING	- 70.90m ²
OUTDOOR AREA	- 29.10m ²
TOTAL	= 100.00m²
CEILING HEIGHT	- 2710mm
RAKE CEILING TO 2.5m IN FROM INTERNAL WALL	

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. DIMENSIONS TAKE PREFERENCE OVER SCALE.
3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS AND DETAILS ON SITE BEFORE COMMENCING ANY WORKS.
4. ALL WORK SHALL COMPLY WITH RELEVANT / CURRENT NCC AND AUSTRALIAN STANDARDS.
5. ALL LEVELS, SITE CUTS, F.F.L TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
6. SMOKE DETECTORS TO BE HARD WIRED WITH EMERGENCY BACK-UP. INSTALL TO AS3766.

GENERAL CONSTRUCTION NOTES:

FLOOR	- CONCRETE SLAB (AS REQUIRED BY ENGINEER)
FLOOR COVERINGS	- VINYL with 'D' MOULD SKIRTING TO KITCHEN AND DINING AREAS
EXTERNAL WALLS	- 90mm STEEL STUD FRAME - WEATHERBOARD OR SIMILAR EXTERNAL CLADDING - R2.5 HD INSULATION BATTS - (E-THERM OR SIMILAR UNDER CLADDING)
INTERNAL LINING	- 10mm PLASTERBOARD LINING (PAINTED FINISH)
ROOF STRUCTURE	- GALV. STEEL FRAMING - COLORBOND CUSTOM ORB ROOF SHEETING - ANTI-CONDENSATION BLANKET UNDER ROOF SHEETS
CEILING	- GALV. STEEL FRAMING - 10mm PLASTERBOARD LINING -/w GYPROCK CORNICE (PAINTED FINISH) - R2.5 INSULATION BATTS BETWEEN CEILING JOISTS
SWING DOOR FRAMES	- METAL (PAINTED FINISH)
ROLLER DOOR FRAMES	- METAL (PAINTED FINISH)
WINDOW FRAMES	- ALUMINIUM POWDER COAT

DOOR and WINDOW SCHEDULE:

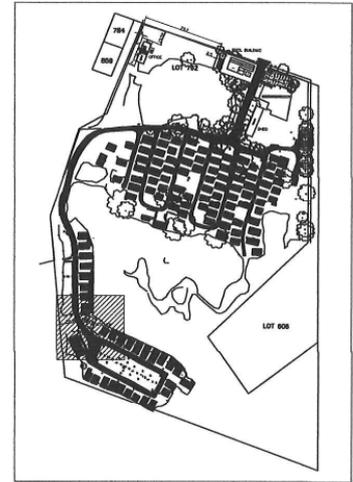
D1	- 2040h x 9200w FULLY GLAZED EXTERNAL SWING DOOR
W1	- 1500h x 2000w SLIDING WINDOW c/w FLYSCREEN

EQUIPMENT LIST:

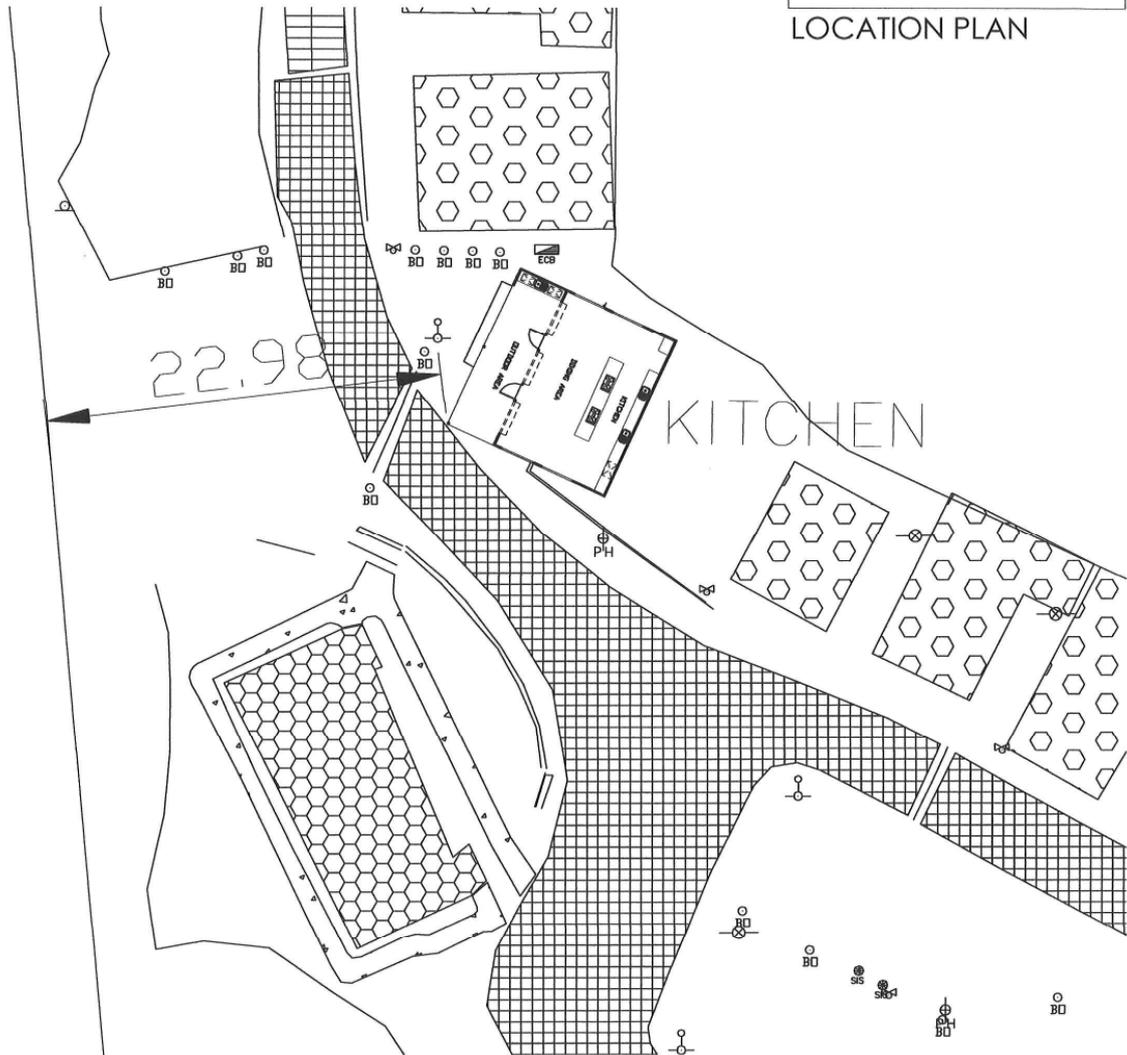
1	- 600 DEEP x 900 HIGH KITCHEN BENCH TOP c/w SINGLE BC DRAINER S.S SINK INSET, BANK OF DRAWERS & C'BRDS I
2	- 900 DEEP x 900 HIGH KITCHEN ISLAND BENCH TOP c/w 2x & C'BRDS UNDER.
3	- 900w x 2100h PANTRY
4	- 600 DEEP x 900 HIGH S/S OUTDOOR BENCH TOP c/w SINGL SINGLE DRAINER S.S SINK INSET, C'BRDS UNDER & 2x BBC

GENERAL NOTES

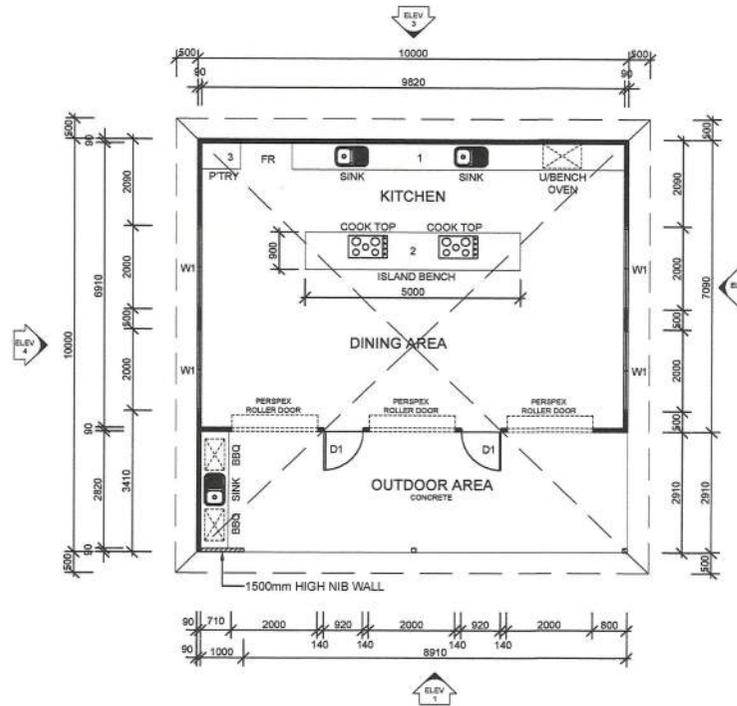
 <p>ABN: 8365 892 4486 Gosnells, Perth Western Australia 6110 T: 9425 145 977 E: apdrafting@live.com</p>	<p>NOTES:</p> <p>PROPOSED CAMPER KITCHEN</p>	<p>CLIENT:</p> <p>LANCELIN TOURIST PARK</p> <p>ADDRESS:</p> <p>HOPKINS ST, LANCELIN</p>	<p>Drawn Date.</p> <p>27/11/2017</p> <p>Scale: NTS@A3</p>



LOCATION PLAN

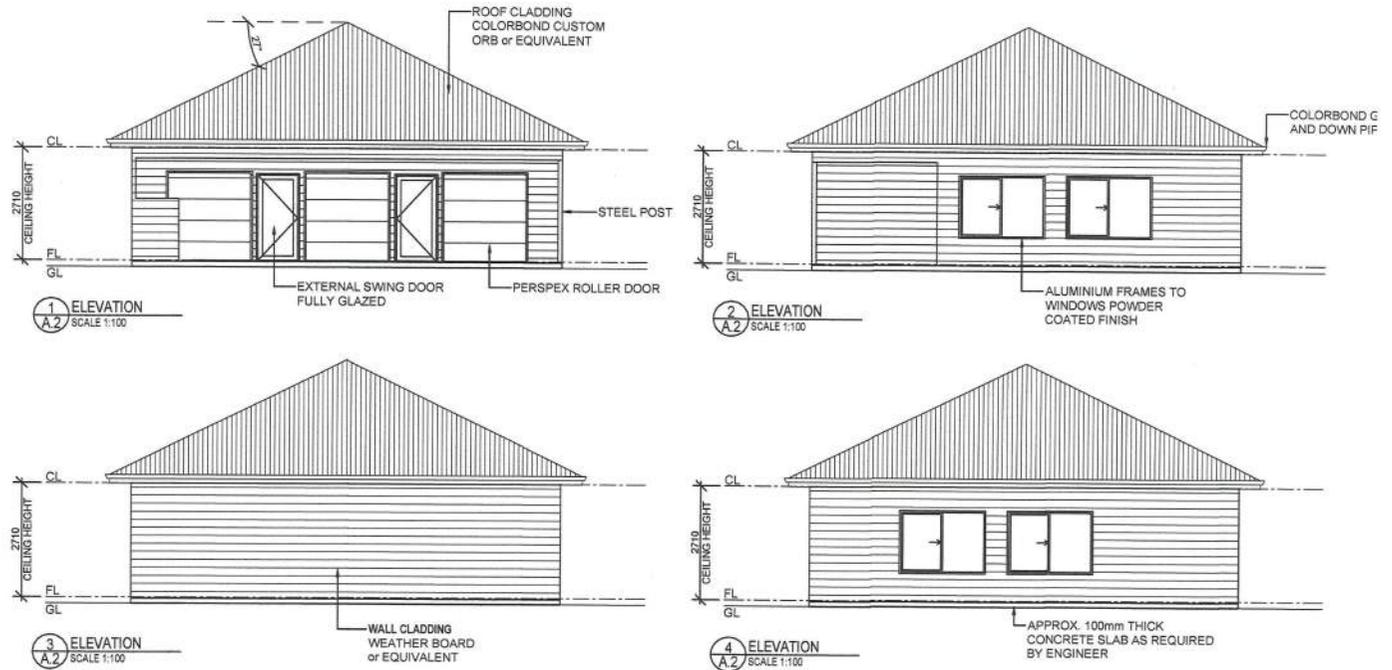


PART SITE PLAN



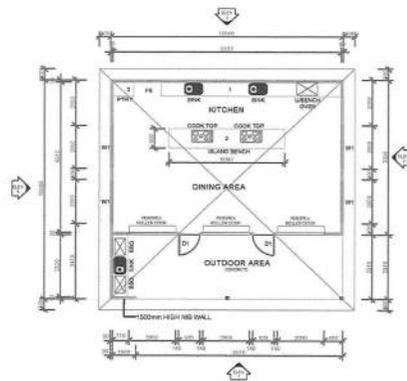
FLOOR PLAN

 <p>ABN: 8385 882 4486 Ospreys, Perth Western Australia 6110 T 0495 145 977 E apdrafting@live.com</p>	<p>NOTES: PROPOSED CAMPER KITCHEN</p>	<p>CLIENT: LANCERIN TOURIST PARK</p>	<p>Drawn Date: 27/11/2017</p>
		<p>ADDRESS: HOPKINS ST, LANCERIN</p>	<p>Scale: 1:100 @A3</p>



EXTERNAL ELEVATIONS

 <p>ABN: 8365 892 4485 Geonella, Perth Western Australia 6110 T 0405 145 977 E apdrafting@live.com</p>	<p>NOTES: PROPOSED CAMPER KITCHEN</p>	<p>CLIENT: LANCELIN TOURIST PARK</p> <p>ADDRESS: HOPKINS ST, LANCELIN</p>	<p>Drawn Date, 27/11/2017</p>
			<p>Scale: 1:100 @A3</p>



GENERAL NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. DIMENSIONS TAKE PREFERENCE OVER SCALE.
3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS AND DETAILS ON SITE BEFORE COMMENCING ANY WORKS.
4. ALL WORK SHALL COMPLY WITH RELEVANT / CURRENT NDS AND AUSTRALIAN STANDARDS.
5. ALL LEVELS, SITE CUTS, F.F.L TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
6. SMOKE DETECTORS TO BE HARD WIRED WITH EMERGENCY BACK-UP. INSTALL TO R237W.

DOOR and WINDOW SCHEDULE:

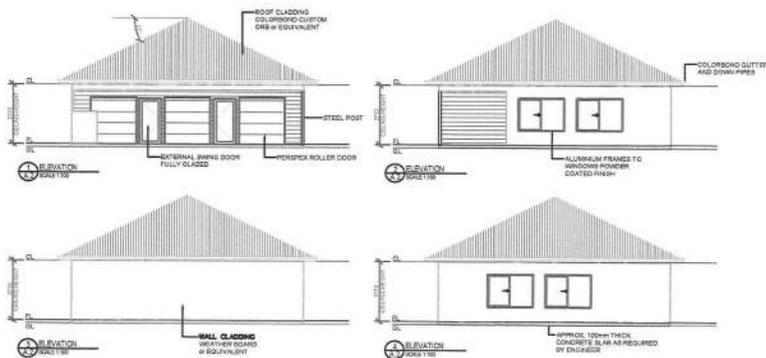
- | | |
|----|---|
| D1 | - 2040 x 2020w FULLY GLAZED EXTERNAL SWING DOOR |
| W1 | - 1500w x 2020w SLIDING WINDOW 6w PLYSCREEN |

EQUIPMENT LIST:

- | | |
|---|--|
| 1 | - 800 DEEP x 900 HIGH KITCHEN BENCH TOP 6w SINGLE BOWL, SINGLE DRAINER & 2 SINK INSET, BANK OF DRAWERS & CUPBOARDS |
| 2 | - 900 DEEP x 800 HIGH KITCHEN ISLAND BENCH TOP 6w 3x COOK TOPS & CUPBO UNDER |
| 3 | - 920w x 2100w PANTRY |
| 4 | - 800 DEEP x 900 HIGH 600 OUTDOOR BENCH TOP 6w SINGLE BOWL, SINGLE DRAWERS & 2 SINK INSET, CUPBO UNDER & 24 INCH. |

GENERAL CONSTRUCTION NOTES:

- | | |
|--------------------|---|
| FLOOR | - CONCRETE SLAB (AS REQUIRED BY ENGINEER) |
| FLOOR COVERINGS | - VINYL, HBT, D' MOULD SHIRTING TO KITCHEN AND DINING AREAS |
| EXTERNAL WALLS | - 90mm STEEL STUD FRAME
- WEATHERBOARD OR SIMILAR EXTERNAL CLADDING
- R2.5 HD INSULATION BATTS
- (E-THERM OR SIMILAR UNDER CLADDING) |
| INTERNAL LINING | - 10mm PLASTERBOARD LINING (PAINTED FINISH) |
| ROOF STRUCTURE | - GALV. STEEL FRAMING
- COLORBOND CUSTOM ORS ROOF SHEETING
- ANTI-CONDENSATION BLANKET UNDER ROOF SHEETS |
| CEILING | - GALV. STEEL FRAMING
- 10mm PLASTERBOARD LINING -w GYPROCK CORNICE (PAINTED FINISH)
- R2.5 INSULATION BATTS BETWEEN CEILING JOISTS |
| SWING DOOR FRAMES | - METAL (PAINTED FINISH) |
| ROLLER DOOR FRAMES | - METAL (PAINTED FINISH) |
| WINDOW FRAMES | - ALUMINIUM POWDER COAT |





PROPOSED STORAGE SHED

- **Map Grid Reference: J 3**
- General Construction Notes
- Location Plan
- External Elevations
- Area m² - Building – 240.00m²
- Pitching Height – 4.00m

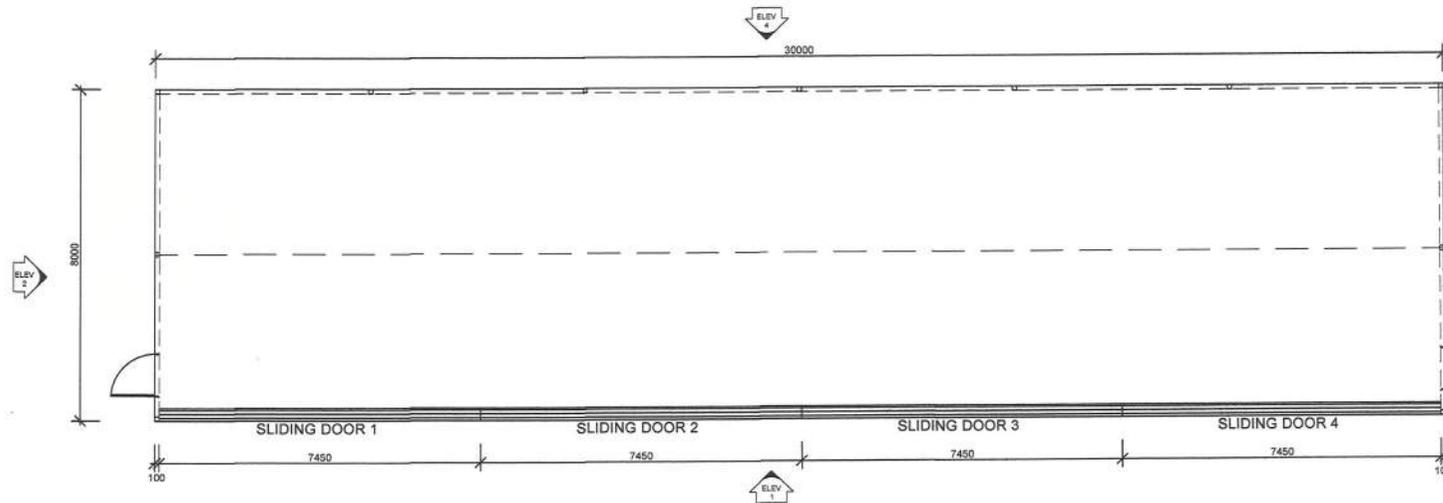
BUILDING DESIGN CRITERIA Wind Load - in accordance with AS.1170.2:2011 REGION A, TERRAIN CATEGORY 2, IMPORTANCE LEVEL 2: Vu = V500 = 45m/s Ms = 1.0 Mt = 1.0 Mzcat = 0.91 V Serviceability = 37m/s	
DESIGN CRITERIA IN ACCORDANCE WITH AS1170.4-2007: Probability P= 1/500 (Table 3.1) Ko = 1.0 (Table 3.1) Site hazard factor Z allowed = 0.09 (Figure 3.2(C)) Earthquake design category = EDC 1 as per Table 2.1	
Built To: NCC CLASS 10a BUILDING CLIMATE ZONE 5	
AREA m ² :	
BUILDING	- 240.00m ²
TOTAL	= 240.00m ²
PITCHING HEIGHT	- 4.00m

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. DIMENSIONS TAKE PREFERENCE OVER SCALE.
3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS AND DETAILS ON SITE BEFORE COMMENCING ANY WORKS.
4. ALL WORK SHALL COMPLY WITH RELEVANT / CURRENT NCC AND AUSTRALIAN STANDARDS.
5. ALL LEVELS, SITE CUTS, F.F.L TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
6. SMOKE DETECTORS TO BE HARD WIRED WITH EMERGENCY BACK-UP. INSTALL TO AS3766.

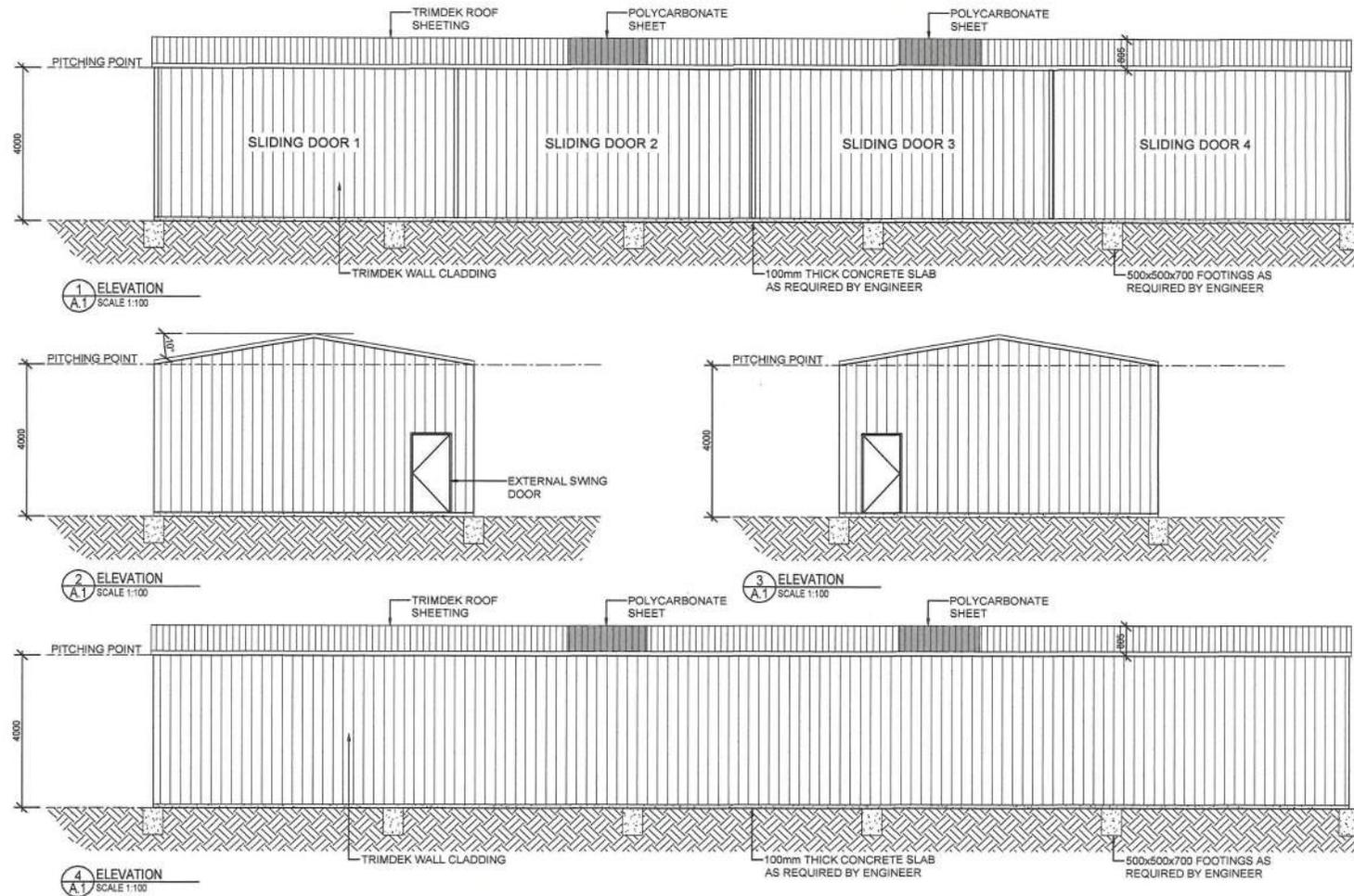
GENERAL CONSTRUCTION NOTES:

- | | |
|-------------------|---|
| FLOOR | - CONCRETE SLAB (AS REQUIRED BY ENGINEER) |
| EXTERNAL WALLS | - STEEL FRAME CONSTRUCTION |
| ROOF STRUCTURE | - TRIMDEK EXTERNAL CLADDING |
| | - STEEL FRAME CONSTRUCTION |
| | - TRIMDEK ROOF SHEETING |
| | - POLYCARBONATE SHEETS AS SHOWN |
| SWING DOOR FRAMES | - METAL (PAINTED FINISH) |
| SLIDING DOORS | - STEEL FRAME CONSTRUCTION |
| | - TRIMDEK CLADDING |



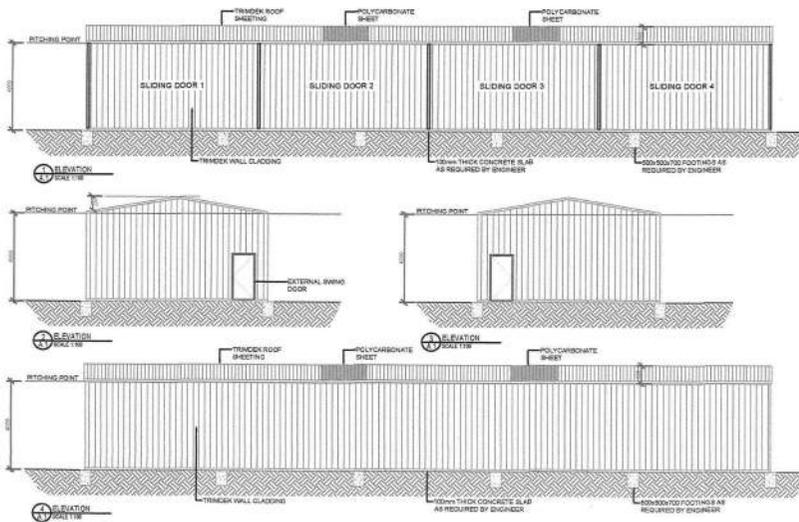
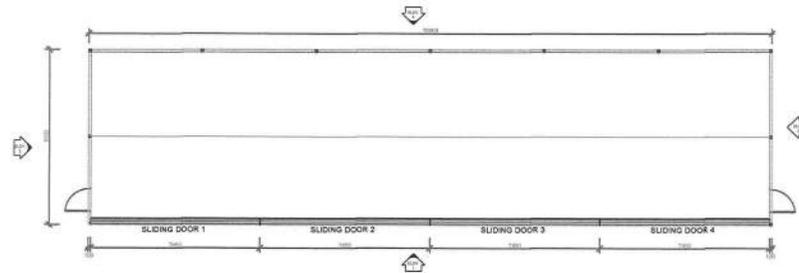
FLOOR PLAN

 ABN: 9385 992 4498 Gosnells, Perth Western Australia 6110 T 0425 145 977 E apdrafting@live.com	NOTES: PROPOSED STORAGE SHED	CLIENT: LANCELIN TOURIST PARK ADDRESS: HOPKINS ST, LANCELIN	Drawn Date: 29/11/2017 Scale: 1:100 @A3
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EXTERNAL ELEVATIONS

 <p>ABN: 8295 892 4486 Geraldton, Perth Western Australia 6110 T: 0425 145 977 E: apd@apd@live.com</p>	<p>NOTES: PROPOSED STORAGE SHED</p>	<p>CLIENT: LANCERLIN TOURIST PARK ADDRESS: HOPKINS ST, LANCERLIN</p>	<p>Drawn Date: 29/11/2017</p>
			<p>Scale: 1:100 @A3</p>

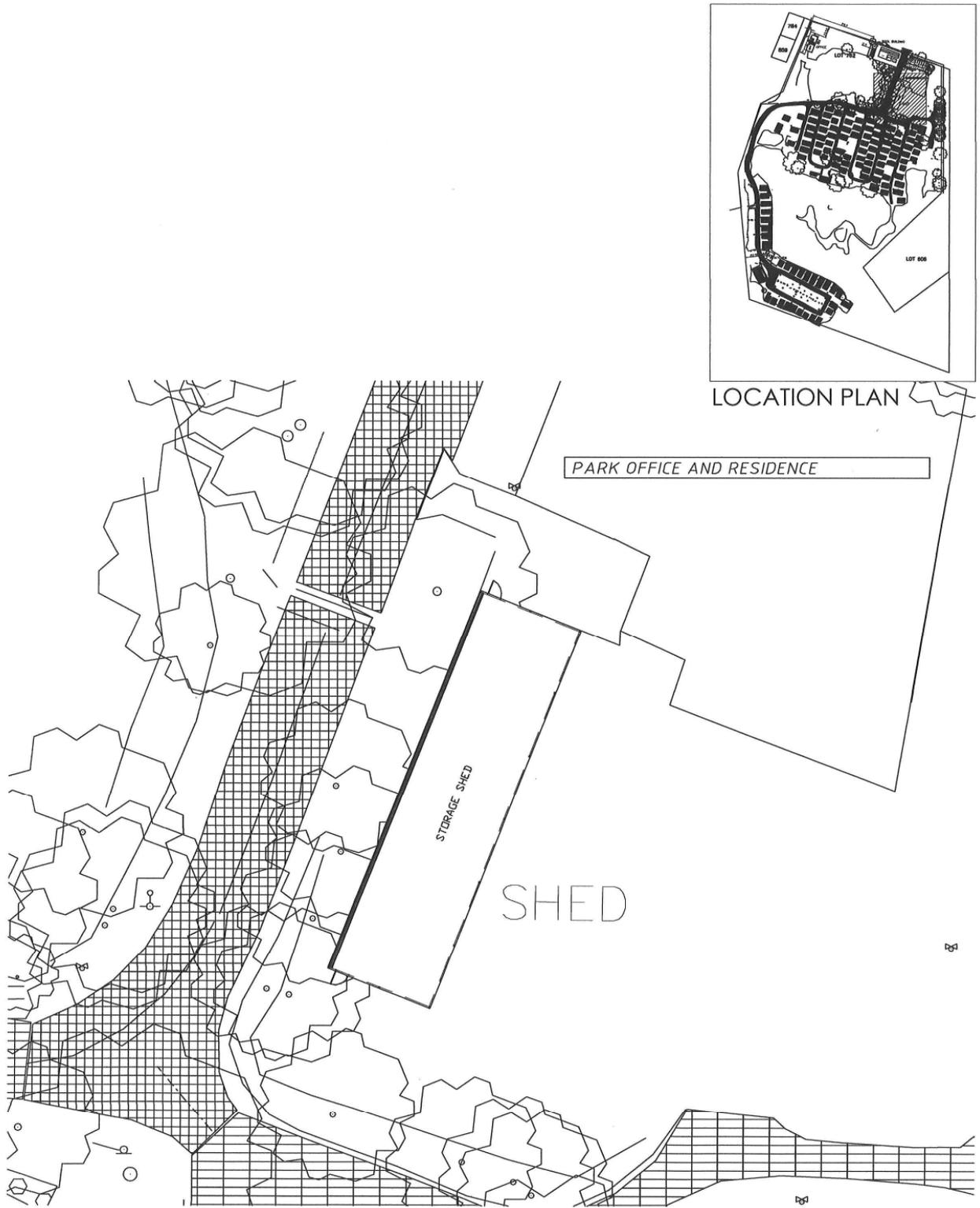


GENERAL NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. DIMENSIONS TAKE PREFERENCE OVER SCALE.
3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS AND DETAILS ON SITE BEFORE COMMENCING ANY WORKS.
4. ALL WORK SHALL COMPLY WITH RELEVANT / CURRENT NCC AND AUSTRALIAN STANDARDS.
5. ALL LEVELS, SITE CUTS, P.F.L TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
6. SMOKE DETECTORS TO BE HARD WIRED WITH EMERGENCY BACK-UP, INSTALL TO AS3786.

GENERAL CONSTRUCTION NOTES:

- | | |
|-------------------|---|
| FLOOR | - CONCRETE SLAB (AS REQUIRED BY ENGINEER) |
| EXTERNAL WALLS | - STEEL FRAME CONSTRUCTION |
| | - TRIMDEK EXTERNAL CLADDING |
| ROOF STRUCTURE | - STEEL FRAME CONSTRUCTION |
| | - TRIMDEK ROOF SHEETING |
| | - POLYCARBONATE SHEETS AS SHOWN |
| SWING DOOR FRAMES | - METAL (PAINTED FINISH) |
| SLIDING DOORS | - STEEL FRAME CONSTRUCTION |
| | - TRIMDEK CLADDING |



PART SITE PLAN



ECONOLODGES – 2 BEDROOM & 4 BEDROOM

- **Map Grid Reference: L 3**
- Electrical Plan –
- Coastal Specific External Elevations
- Floor Plan 2 Bedroom & 4 Bedroom Designs



ECONOLOGGE RENT OR BUY

The Econolodge consists of four individual accommodation units ideal for solo travellers and couples. Each unit features a bedroom with an ensuite bathroom, full length wardrobe and bench top.

The Econolodge is an affordable option for short stay accommodation needs and is available in optional layouts and specifications to suit your budget, location and requirements.

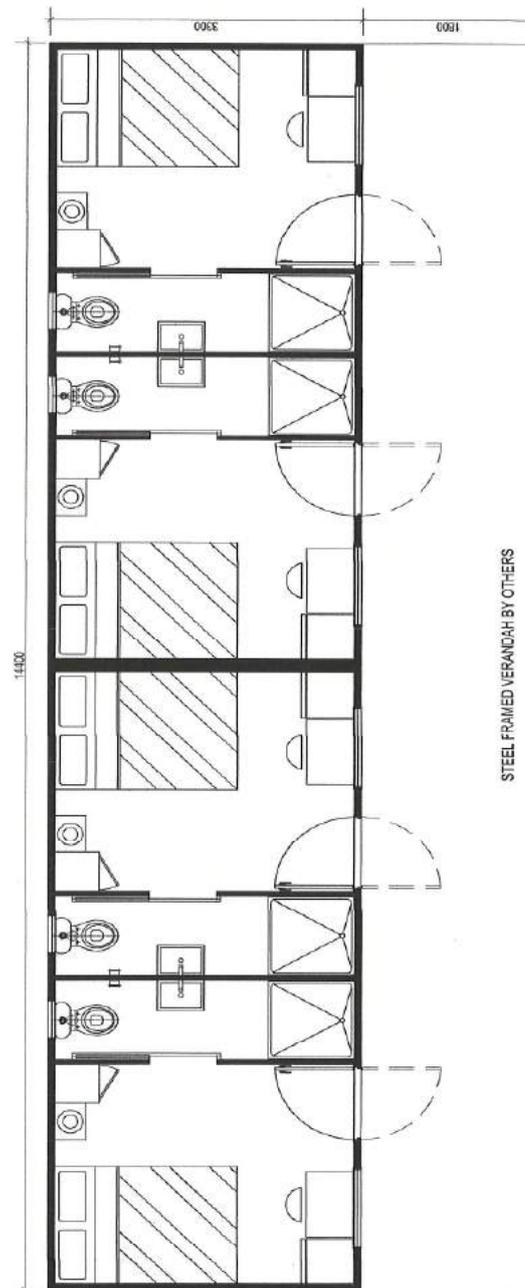
- King single or double bed option
- Fully remote reverse cycle air con
- Mini bar fridge space
- Full length wardrobe
- Bedside cabinets
- Window treatments optional
- A choice of external and internal colours
- Delivery options throughout WA

- HOMES
- EDUCATION
- VILLAGES
- COMMERCIAL

 **Fleetwood**

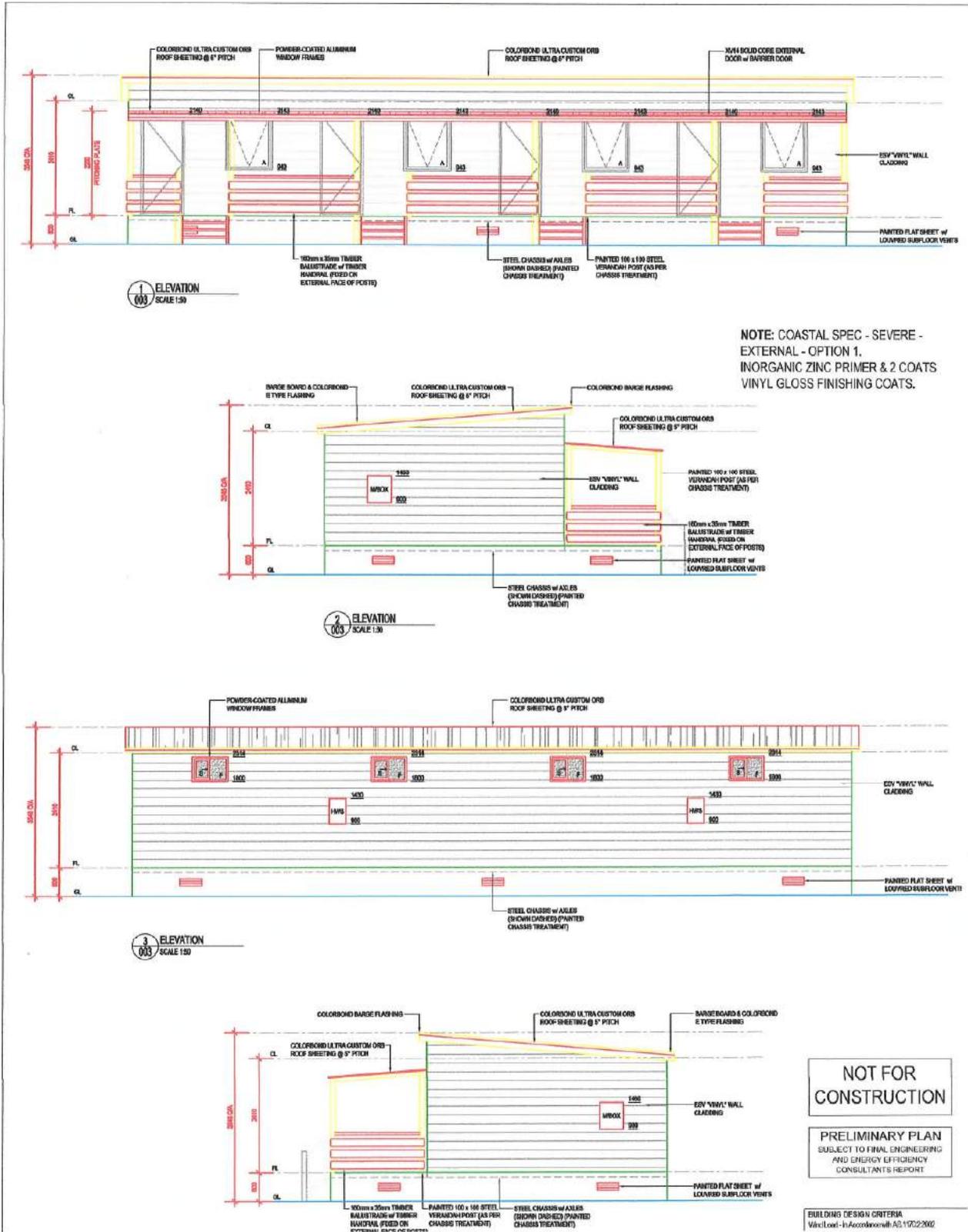
THE RIGHT CHOICE

THE RIGHT CHOICE FOR TOMORROW'S COMMUNITIES



Come and visit our High Wycombe display village
Monday to Friday: 9 – 4pm

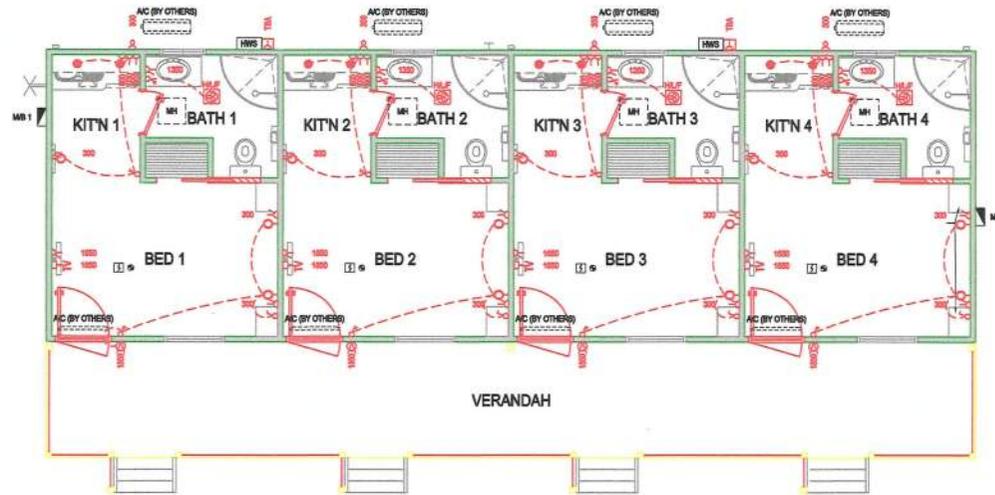
1202 ABERNETHY ROAD, PERTH AIRPORT WA 6105
FREECALL: 1800 199 100 T: (08) 9281 7500 E: FLEETWOODWESTSALES@FLEETWOOD.COM.AU
WA BRN 14096
WWW.FLEETWOOD.COM.AU



BUILDING DESIGN CRITERIA
Wind Load - in Accordance with AS 1170.2:2002
REGION A, TERRAIN CATEGORY 2
Annual Probability of Exceedance: 1:500
MAX REGIONAL WIND SPEED - 10500 + 57 m/s
BCA/NCC CLASSIFICATION - CLASS 1b
CLIMATE ZONE 5

NOTE ELECTRICIAN (ON-SITE): UNIT 1 & 2 TO BE ON M/B 1
NOTE ELECTRICIAN (ON-SITE): UNIT 3 & 4 TO BE ON M/B 2
NOTE ELECTRICIAN (ON-SITE): NO SUB-MAINS BETWEEN SWITCHBOARDS

DESCRIPTION
METER BOX
SWITCH - LIGHT
SWITCH - LIGHT
SWITCH - LIGHT
GPO : 10 AMP SI
GPO : 10 AMP Dc
GPO : 10 AMP SI
LIGHT - DOWN LI
LIGHT - EXTERN
LIGHT - WALL
FAN - EXHAUST
SMOKE DETECTOR
TELEVISION POI



ELECTRICAL PLAN
SCALE 1:50

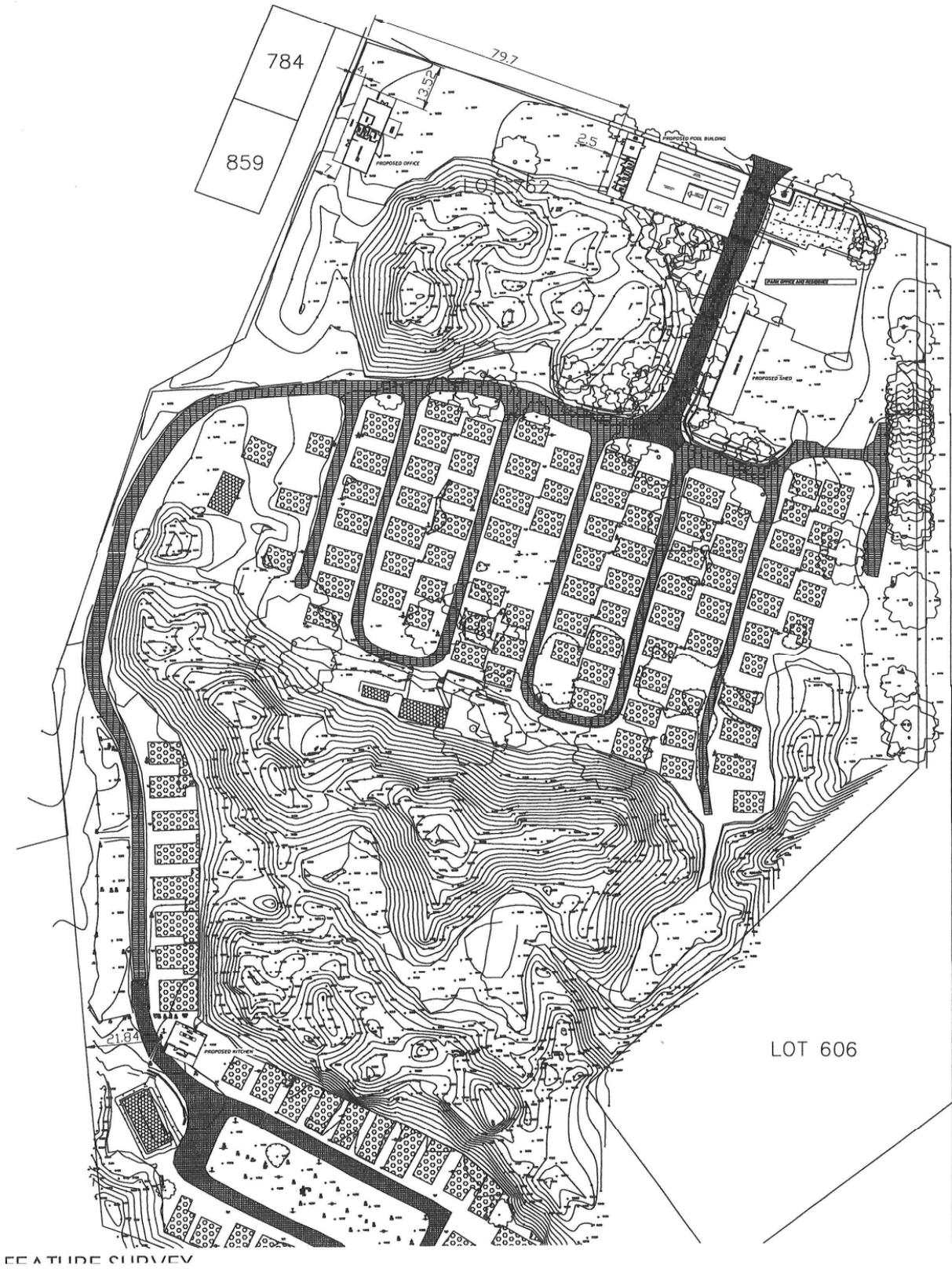
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NOTE: DOWNLIGHTS IN OHC TO BE SUPPLIED BY CABINET MAKER.
NOTE: H/L/F COMBOS TO BE VENTED THRU ROOF.
NOTE: CARD SYSTEM TO SWITCH OFF LIGHTS & NON ESSENTIAL POWER TO BE ADDED NEXT TO ALL BEDROOM ENTRANCE DOORS.
NOTE: AC PIPES TO BE RUN IN WALLS. HEAD/CONDENSER SUPPLIED & INSTALLED BY OTHERS. (FUJITSU R410A MODEL NO. AOTR 12LCC)

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CLIENT SIGNATURE	DATE	DAS	15.11.12	DESIGNED BY	DATE	1240 ABERMETHY RD HIGH WYCOMBE W.A. 6057 PH: (08) 9391 7000 FAX: (08) 9391 7040 EMAIL: SALES@FLEETWOOD.COM.AU WWW.FLEETWOOD.COM.AU	
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BUILDER SIGNATURE	DATE	ISSUED FOR APPROVAL	DAS 15.11.12	THIS DRAWING IS PROTECTED BY COPYRIGHT LAW. (2004)	DO NOT SCALE. REFER TO DIMENSIONS ONLY	FLEETWOOD INTERSTATE BRANCHES: NEWCASTLE (08) 9522 1111 WAGGA WAGGA (03) 9232 1111 WARRAGONG (02) 9332 1111 WARRIMOO (02) 9332 1111 WARRIMOO (02) 9332 1111 WARRIMOO (02) 9332 1111	



FEATURE SURVEY



APPENDIX 2

SCHEDULE OF SUBMISSIONS AND RECOMMENDED RESPONSES

**APPLICATION FOR DEVELOPMENT APPROVAL PROPOSED RE-DEVELOPMENT LANCELIN CARAVAN PARK
ON LOT 31 & 762 HOPKIN STREET, LANCELIN**

No.	Submitter	Submission Detail	Recommended Response
1.	Ratepayer	<p>The Submitter supports the proposal and provides the following general comments:</p> <p><i>"In response to the invitation to add comment regarding the redevelopment and upgrade of the existing park, we offer our full support.</i></p> <p><i>Having such wonderful new facilities as a 25 metre indoor swimming pool (the largest in any Caravan Park in WA), a Camp Kitchen overlooking Lancelin Bay and the latest innovation of 'Express check in' at the front office (another first for WA), it clearly demonstrates the vision required in order to bring the park up to its maximum potential and will significantly increase the numbers of tourists visiting the town.</i></p> <p><i>With experienced operators from within the caravan and camping industry making such a significant investment in this redevelopment, we believe it will be hugely positive for Lancelin and for regional tourism within WA."</i></p>	<p>Administration provides the following response:</p> <p>1. Noted.</p>
2.	Ratepayer	<p>The Submitter provides the following general comments:</p> <p><i>"Thank you for the opportunity to comment on the redevelopment of the existing Caravan park in Lancelin. I hope to bring to your attention some unforeseen problems regarding this development and some history you may not have been made aware of.</i></p> <p><i>I would dearly like to meet with a Shire representative on site to properly explain the following as there are so many adverse factors that have come together with this proposal.</i></p> <p><i>First and foremost as the one main stakeholder and business that will be adversely affected both physically on site and I assume financially, I would like to say, I still fully endorse the redevelopment and have spoken in favour of it from the outset over the development of another caravan park proposed along Casserly Way. May it rest in peace?</i></p>	<p>2. Noted</p>

	<p><i>I have met with the new owners/managers and gone over the plans with them, to ensure I am fully aware of the development and whatever consequences it may have on my business. All of the proposed buildings and site works are fine with me and I wish them well in there endeavour.</i></p> <p><i>There remains only one real problem for me, my business...people walking along Hopkins Street and the travelling public using the same stretch of roadway that absolutely must be addressed prior to any approval.</i></p> <p><i>The Proposed Entrance cannot be allowed to be located as it stands on the new plan. This entrance has been described in the past as dangerous by Shire Roads Engineer and by widening it and allowing large motor homes and caravans to enter from this point will only worsen and existing problem and furthermore create many new associated problems for all those listed above.</i></p> <p><i>You may not be aware of the fight between the Shire and me over parking in the front of my building.</i></p> <p><i>Given the Shire's mistakes in the past and the inability to admit them or fix them I strongly urge the Shire to look very closely at this problem before making yet another mistake that cannot be fixed or withdrawn at a later date.</i></p> <p><i>The main reasons for concern and my comments are:</i></p> <ol style="list-style-type: none"> <i>1. The Shire has already said this a dangerous place for an entrance.</i> <i>2. The disruption to traffic whilst a large motor home or large caravan tries to get to the entrance from Gingin Road around an almost blind and already busy corner.</i> <i>3. The tight turning circle required to make the turn into the new entrance will force vehicles into the wrong side of the road, remembering a motor home today can be 45 feet long and then add a large trailer with a car on board, ll up weighing more 30 tons.</i> <i>4. If you have ever observed the Grey Nomad going to a new caravan park, they generally do not book rather opt to stop outside, go in and meet the manager and take a quick look at whatever site they might like, plus check facilities and price. Having turned the corner of Gingin Road, the obvious place to stop is along Hopkins Street, just prior to the proposed new entrance,</i> 	<ol style="list-style-type: none"> 3. The proposed entrance is designed to cater for vehicles towing caravans and the like. The location of the check-in service area is designed to ensure al vehicles are internal to the property prior to checking in. 4. The Shire has no record of correspondence suggesting the proposed entrance is dangerous. 5. The logical path vehicles take to access the caravan park entrance is Gingin Road turning west onto Hopkins Street. 6. The entrance design tapers to the east to assist towing vehicles entering the site and avoid the situation described. 7. Refer to point 3 above.
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	<p><i>hence blocking the road for anyone else, or at least forcing other road users onto the wrong side of the road to pass. This is in consideration there is only one caravan stopped to check out the park, what happens when there is two three four or five all wanting the same thing. Why do I mention this because it's happening right now and has done for the past twenty or so years I have been here?</i></p> <p><i>5. This is the side of the road that contains a footpath, which by the way is completely inadequate for the number of people walking along it already.</i></p> <p><i>6. There are so many other ways to enter this park that do not create any of the hazards list above.</i></p> <p><i>7. As a small community with the little support for tourism, the Shire has endorsed and involved in "Lancelin2018 Triathlon". This is a fantastic event and allows Lancelin to be seen by a lot of people who may never have seen our town, please note: part of the rout for the events is from the carpark opposite the Windsurfers Chalets, down Hopkins Street which will be fully closed for two hours on a Sunday, possibly one of the busiest times in a caravan park and certainly the busiest time on this section of Hopkins Street. (Please take note of the photos attached, taken last Sunday the 11 of February)</i></p> <p><i>As I stated above, I am in favour of the redevelopment but not the entrance and I would like someone from the planning department to meet with me on site at my business so I can clearly express my concerns.</i></p> <p><i>There are several different places the new entrance can be placed, if a new entrance is required at all. Safety, Traffic flow and existing parking problems need to be observed and addressed before any plans should be approved. It is the opinion of the new management when I discussed the plan with them, that this is not a concern or a problem, however I do not believe they have been here long enough to see or realise the existing problems we and the Offshore Café face let alone how badly, affected we will be if the proposed entrance is built. Our meeting was a good one, most informative with free discussion between us regarding any points I wished to enquire about and I strongly believe we will be good neighbours into the future.</i></p> <p><i>I look forward to your comments and given the urgent nature of this impending decision I also look forward to meeting with you on site as soon</i></p>	<p>8. Dismissed – General Comment</p> <p>9. Dismissed – General Comment</p> <p>10. The design of the caravan park entrance has not, and is not required to consider the Lancelin Triathlon.</p>
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		<i>as possible. I do have alternate suggestions for the proposed entry that I would be keen to put forward."</i>	
3.	Ratepayer	<p>The Submitter does not support the proposal and makes the following comments:</p> <p><i>Please find attached my letter generating concerns with the Development of the Caravan Park.</i></p> <p><i>I have written regarding my concerns about the situation in the Park though I neglect to state that viewing the Plans on your Website which are unclear to read I believe there may be a road to be built through the dunes. Am I correct in my assumption?</i></p> <p><i>The new proposal notes building of new offices etc. at the park.</i></p> <p><i>How does the Shire not view the situation that is currently arising in the Park and why people are leaving prior to the anticipated proposal development date of the areas within the Park??</i></p> <p><i>The swimming pool may be a great factor eventually, how will this affect the drain systems within the town and the Park? Currently there is already an issue with drainage and needs to be investigated prior to any further water waste into the system.</i></p> <p><i>Instead of new office Administration block (spending large amounts of money here) why is this money not spent on better facilities of the park e.g. ablution block, bbq area, kitchen, children's playground? Surely if they want better office buildings, why not upgrade those already present.</i></p> <p><i>In viewing my input to the proposal, please read the attached letter with my concerns.</i></p> <p><i>The Caravan & Parking Grounds Act 1997 and the Health Act 2016 need to be adhered to prior to any further Park Developments being undertaken by the Developers.</i></p> <p><i>I am writing to voice my concerns in relation to the Development of the South End Caravan Park and the effect it will have on people who holiday in the Park or spend weekends there on a regular basis. I am all for seeing the Park</i></p>	<p>11. The internal road network will be traverse existing vegetation and dunes onsite.</p> <p>12. Dismissed – General Comment.</p> <p>13. The swimming pool is not connected to the existing drainage system. The site will be serviced by deep sewer.</p> <p>14. The application includes a new playground, ablution upgrades and a barbecue camp facility.</p> <p>15. The adherence to these pieces of legislation does not prevent the applicant from applying to develop their property under the <i>Planning and Development Act 2005</i>. Notwithstanding the above, components of the proposal will bring areas of non-compliance under the <i>caravan and camping act 1997</i> and the <i>Health Act 2016</i> into compliance.</p>

	<p><i>updated and facilities improved to entice people/holiday makers to the town of Lancelin though I feel it is at the cost and deterrent to those who already reside in the park or have vans on site. We purchased the van 5 years ago with the view of a place to visit/holiday with the family and enjoy the outdoor life, educating the children/grandchildren of a life that was different to the pressures of residing in the city.</i></p> <p><i>With the New Developers taking over the park though their intentions for the future of Lancelin may be a benefit to the town in the long term, I feel that there is no thought or compassion at this time of the Development for those who have resided in the Park for some 20 years plus and those who have purchased vans in the last 5 years. These people, whether tenants of the park or visitors have supported the town /local businesses over the years now to be told they will have to move out prior to the <u>estimated Development Plan Proposal dates</u>. Surely without these people who visit on a regular basis once gone the town will feel the effect.</i></p> <p><i>As my site is not classed as my permanent place of residence I have, as informed by the operators, an annual tenancy agreement (12 months) I can be asked to move on/out when so requested. This agreement, I am required to pay \$71.50 per week plus quarter electricity service cost of \$86.36 Per quarter and an electricity consumption rate of .42 cent per unit. Not only these costs but also informed we can only visit the park and stay in the van 104 days per year which they state equivalent to, 2 days per week when calculating these figures, and taking into consideration the electricity service charge the cost to is \$39.07 per night for 104days ? and also, been told, (as my name is the only one of the lease) though the lease states 1 -2 people per site any immediate family members who stay at the premises must pay \$13.50 per adult and \$7.50 per child per night. i am annoyed and disgusted at this factor and the harassment I am receiving regarding this, as no longer is the family welcomed to come to the Caravan Park without having to pay extra fees for the site when it clearly states 1 – 2 people. When the van was purchased (\$30,000) it was for holidays or weekend away for myself or the family as a place of tranquility and relaxing from the city life.</i></p> <p><i>My daughter and son-in-law who like to go to Lancelin from Lower Chittering spend money within the town of Lancelin for all their food etc. amounting to approx. \$200 - \$300.00 per weekend in the local businesses. They are disgusted and feel discriminated with the use of the Van been taken away</i></p>	<p>16. The comments made are general are do not relate the proposed stage 1 redevelopment.</p>
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	<p><i>from them by Experience Lancelin Park Developers and the enjoyment of weekends away in Lancelin with their children.</i></p> <p><i>I sure as hell would and will not be asking people to join me in Lancelin with their Developers Actions. (It is like asking someone to come and visit your home for the weekend and then turn around and ask them to pay to stay!!!!!!) Management informed me because I was the only name on the lease it only covers me though the Lease states 1 -2 people per site????? The only reason the daughters name was not on the Lease was so all correspondence etc. came through to my email address. When I asked for her name to be included Donna informed me she would not accept my Daughter's name on the Lease or for that matter her husband or even a new amended Lease? (Discrimination – from the Developers).</i></p> <p><i>How can the Shire of Gingin as Licensees of the Crown Land allow and justify the Developers charging these outstanding and ridiculous sums of money for the site & electricity meters and families to pay on top to stay, when no improvements to the park have occurred and not welcoming families?</i></p> <p><i>The toilets and showers are still basic, and do not comply with the Health Act 2016. No barbeque facilities or kitchen area for Caravan travelers/ Sites. Laundry in a poor state, no playground for the children and roads of poor quality which people have slipped/fallen due to the type of material used (rocks) as well as a hazard for children who enjoy riding their bikes. These factors and cost increases, affecting not just myself, the family and other van owners, has caused a lot of unrest and ill feeling. The caravan park and town of Lancelin is no longer the affordable friendly family holiday spot for those who enjoy the tranquility of Lancelin. People / tenants are packing up and leaving due to this feeling & intimidation that has been generated around the Park from the New Developers with their tactics. (Power Meter installation, the New Developers never gave us or any other tenants, written notice of their intention of the installation of the meters, with people losing food in their freezers for the Xmas period)</i></p> <p><i>Gone are the tenants/vans one by one as families feeling not welcomed and deciding their preference, cheaper to fly to Bali every 3 months or holiday elsewhere than to have a holiday with family and friends in Lancelin for a few days in their Van. Shire of Gingin as the Licensee of the Crown Land of the Caravan Park need to evaluate what is happening to the town of Lancelin &</i></p>	<p>17. Refer to point 14 and 15 above.</p>
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		<p><i>the South End Caravan Park and why people have decided to move out rather than stay in the Park until their area is developed by Experience Lancelin Park Developers (something is going wrong!!!!).</i></p> <p><i>I would appreciate if you would review this letter prior to accepting any Proposal of Development that does not include better Facilities as per the Health Act 2016. Caravan & Camping Ground Act 1997 and the Public Health Act 2016 need to be addressed and complied too prior with any further Development of New Buildings, Chalets etc. by the Developers."</i></p>	
4.	Lancelin Chamber of Commerce and Industry Inc.	<p>The Submitter supports the proposal and makes the following comments:</p> <p><i>"The Lancelin Chamber of Commerce and Industry Inc. is about ensuring this long term viability of the Lancelin Community and its business as an occupier of a premises the chamber want to see growth and visitor numbers increasing.</i></p> <p><i>The proposed redevelopment/upgrade to the Lancelin Holiday Park is long overdue and any improvement is great improvement and will bring park into the 21st century.</i></p> <p><i>Over this year the park has received many adverse comments that were not conducive to visitors waiting to stay in Lancelin. With that the Shire taking over management in 2016 things improved considerably so the current proposal will only further enhance this work done by the Shire and make Lancelin a desired tourist destination.</i></p> <p><i>In the past caravaners and mobile home travellers have been discouraged from coming to Lancelin and as a result of this the Shire management they have slowly been coming back, this proposed improvements will encourage more to come and stay."</i></p>	18. Noted.
5.	Ratepayer	<p>The Submitter supports the proposal and makes the following comments:</p> <p><i>"Property owner with business interests. As a long-term property owner any development and/or improvement is of huge benefit and must be supported.</i></p> <p><i>With Lancelin being recognised as the Shire of Gingin's preferred tourism noise in the North of the Shire the proposed development will only enhance Lancelin as a 'must visit' tourist destination.</i></p>	19. Noted.

		<i>Development of any magnitude can only be good for Lancelin and will ensure long term/viability for both the community and business owners."</i>	
6.	Ratepayer	<p>The Submitter supports the proposal and makes the following comments:</p> <p><i>"Long term resident of Lancelin. The proposed development will enhance this existing facility and will bring much needed upgrades to a 'tired' establishment and is long overdue.</i></p> <p><i>The upgrades will over time create employment opportunities which will ensure that we keep our essential services such as the doctor, pharmacist and school.</i></p> <p><i>The spin off from extra visitors using the park will only enhance other business in the town which in turn might encourage them to grow or encourage others to come and start other businesses."</i></p>	20. Noted
7.	Ratepayer	<p>The Submitter supports the proposal and makes the following comments:</p> <p><i>"Owner of residential property and long term Lancelin resident. The property is long overdue for development. The upgrade will enhance Lancelin as a tourist destination. I 100% support the application."</i></p>	21. Noted
8.	Ratepayer	<p>The Submitter does not support the proposal and makes the following comments:</p> <p><i>"On viewing the Plans of the upgrade to the Lancelin Caravan Park, I am all for Improvements to the Park for the future of Lancelin.</i></p> <p><i>I cannot see where the upgrade to the ablution blocks have been included!! Shire would be aware the ablution blocks do not meet the Health Act and I would think these would be considered one of the very first priorities, preceding any other improvements.</i></p> <p><i>Facilities e.g ablution block upgrades, lighting, BBQ area, kitchen etc as per the Caravan Park and Camping Grounds Act 1997 compliance, prior to any further proposals of office buildings, etc been accepted or built. Electricity meters installed ahead of any of the above is only an income for the Developers and not at this stage an item of importance for the welfare of the</i></p>	22. Refer to point 14 and 15 above.

		<p>Park or the Businesses of Lancelin. I am astounded at this concept (meters) installed prior to other items making the Park Compliant as per Legislation.</p> <p>Good Facilities are items campers, caravan travellers look for 1st when staying at a park. Not some new office building or chalets.</p> <p>Thanking you for considering this email as an input to the Development of the Park and the growth of Lancelin."</p>	
8.	Tourism Western Australia	<p>The Submitter supports the proposal and makes the following comments:</p> <p><i>"I thank you for the opportunity provided to Tourism Western Australia (Tourism WA) to make comment on this redevelopment plan. We reiterate our support for the Plan and have no further comment to make."</i></p>	23. Noted
9.	Department of Health	<p>The Submitter provides the following general comments:</p> <p><i>"Thank you for letter of 24 January 2018 requesting comment from the Department of Health (DOH) on the above proposal.</i></p> <p><i>The DOH provides the following comment:</i></p> <p>1. Water Supply and Wastewater Disposal <i>The proposed development is required to connect to scheme water and be in accordance with the draft Country Sewerage Policy.</i></p> <p><i>The proponents should be advised that approval is required for any on-site waste water treatment process with such proposals being in accordance with DOH publications which may be referenced and downloaded from:</i> .http://ww2.health.wa.gov.au/Articles/N_R/Recycled-water .http://ww2.health.wa.gov.au/Articles/U_Z/Water-legislations-and-guidelines</p> <p><i>The proponent be advised to consult the Shire's Environmental Health Officer to determine if the existing wastewater systems onsite can accommodate the additional development. Should an upgrade to the existing wastewater system and/or additional wastewater systems are requires, an application for the approval to install the new system(s) must be lodged with the Shire of Gingin.</i></p> <p>2. Health (Miscellaneous Provisions) Act Requirements</p>	24. The applicant is in negotiations with the Shires Health Officer. Approval of the proposed redevelopment does not void the need for an applicant to meet the appropriate health legislation or received the appropriate health approvals.

		<p>All public access areas (Games/conference rooms, swimming pool building, etc.) to comply with the provisions of the Health (Miscellaneous Provisions) Act 1911, related regulations and guidelines and in particular Part VI – Public Buildings.</p> <p>Separate approval is also required to construct an aquatic facility in accordance with the Health (Aquatic Facilities) Regulations 2007 and associated Code of Practise, Details available for download from:</p> <p>.http://ww2.health.wa.gov.au/Articles/N_R/Resources-guidance-and-checklists-for-aquatic-facility-operators . http://ww2.health.wa.gov.au/Articles/J_M/Management-of-aquatic-facilities-in-Western-Australia</p> <p>3. Food Act Requirements All food related aspects (campers kitchen, etc.) are to comply with the provisions of the Food Act 2008 and related code, regulations and guidelines. Details available for download from: http://ww2.health.wa.gov.au/Articles/F_I/Food-regulation-in-WA.</p> <p>Should you have queries or require further information please contact Vic Andrich on 9388 4999 or ehinfo@health.wa.gov.au “</p>	
10.	Water Corporation	<p>The Submitter provides the following general comments:</p> <p>“Thank you for your letter dated 24th January 2018. The Water Corporation offers the following comments in regards to this proposal.</p> <p><i>Water</i> Reticulated water is currently available to the subject site.</p> <p><i>Wastewater</i> Reticulated sewerage is not immediately available to serve the subject area. A private pump station is required to serve this proposed development.</p> <p><i>General Comments</i> This proposal will also require approval by our Building Services section prior to commencement of works. Infrastructure contributions and fees may be required to be paid prior to approval being issued.</p>	25. Noted.

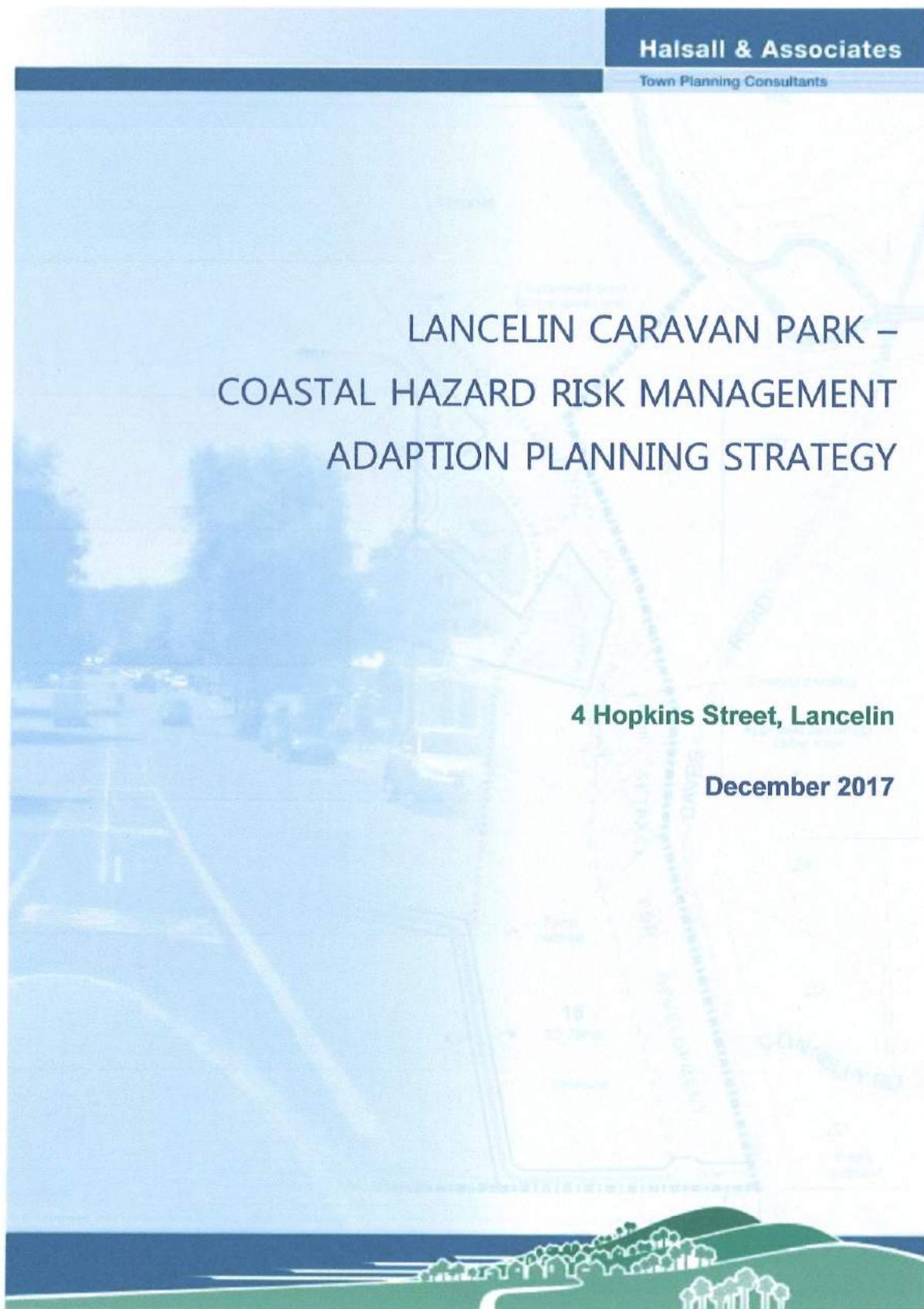
		<p><i>The principle followed by the Water Corporation for the funding of subdivision or development is one of user pays. The developer is expected to provide all water and sewerage reticulation if required. A contribution for Water, Sewerage and Drainage head works may also be required. In addition the developer may be required to fund new works or the upgrading of existing works and protection of all works. Any temporary works needed are required to be fully funded by the developer. The Water Corporation may also require land being ceded free of costs for works.</i></p> <p><i>Please provide the above comments to the land owner, developer and/or their representative.</i></p> <p><i>Should you have any queries or require further clarification on any of the above issues, please do not hesitate to contact the Enquiries Officer."</i></p>	
11.	Department of Fire and Emergency Service (DFES)	<p>The Submitter requests additional information and makes the following comments:</p> <p><i>I refer to your email dated 15 February 2018 regarding the submission of a BAL Contour Report (Report), prepared by Ecosystems Solutions dated 22 January 2018, for the above development application. DFES provide the following comments with regard to State Planning Policy 3.7 Planning in Bushfire Prone Areas (SPP3.7) and the Guidelines for Planning in Bushfire Prone Areas (Guidelines).</i></p> <p><i>Comment</i></p> <ul style="list-style-type: none"> <i>DFES acknowledges that the site currently operates as a caravan park and the development application seeks the expansion of use. However, the additional elements would constitute an intensification of development and trigger application of SPP 3.7.</i> <i>Therefore, the information in the BAL Contour Report (Report) requires further clarification of the requirements of SPP3.7 and the supporting Guidelines as outlined in our assessment below. The information should be provided in the form of a Bushfire Management Plan (BMP) as per policy measures 6.5 and 6.6.</i> <p><i>Tourism Land Uses</i></p> <ul style="list-style-type: none"> <i>Tourism land uses, such as caravan parks, are considered a vulnerable land use as prescribed by section 5.5.1 'Vulnerable Land Uses' of the Guidelines.</i> 	<p>26. Administration acknowledges the requirement for a BMP and BEEP to be prepared as a result of the vulnerable land use. The applicants Bushfire Consultant has advised that the highest bushfire risk area is the southern and central areas of the holiday park. The development subject to Stage 1 is predominantly within the northern section adjacent to an adequate road network, near hydrants and is therefore at a significantly lower risk. The implementation of stage 1, by providing additional road access and greater internal access is likely to assist the existing threat in the event of a bushfire.</p> <p>It is not deemed necessary to postpone implementation of Stage 1 whilst the preparation and endorsement of a BMP and BEEP is undertaken.</p>

	<ul style="list-style-type: none"> • <i>Vulnerable land uses located in designated bushfire prone areas require special consideration, especially as this accommodation type generally cannot achieve any level of construction under AS3959, and visitors may be unfamiliar with bushfire impacts and their surroundings.</i> • <i>The current provisions of SPP3.7 and the Guidelines do not provide for tourism land uses to be considered differently to any other vulnerable land use and as such, there is no further guidance or policy for DFES to refer when assessing this type of development.</i> • <i>The Department of Planning, Lands and Heritage' (DPLH) are working, in consultation with DFES, to better facilitate tourism land uses within the scope of SPP3.7 and the Guidelines, where the tourism land use has been recognised in a local planning strategy or scheme.</i> • <i>Consequently, the DFES advice provided relates to the Guidelines and compliance with the bushfire protection criteria to aid decision making.</i> • <i>It is noted a BMP has not been prepared in accordance with SPP 3.7 and the supporting Guidelines as outlined below.</i> <p><i>Given that the proposed development application has the potential to increase the threat of bushfire to people, property and infrastructure, it is considered that it should not be supported until such time that the bushfire risk and hazard reduction measures are established and understood. We recommend that the BMP addresses the policy requirements of SPP 3.7 and the Guidelines.</i></p> <p><i>While it is acknowledged that this site has been developed prior to the introduction of the bushfire policy framework; the bushfire management of the site should be improved and the risk reduced through the development of a BMP. The BMP can then influence the appropriate bushfire management measures to reduce vulnerability and minimise the threat of bushfire to visitors, the site itself and surrounding locality.</i></p> <p><i>Thanking you for considering this email as an input to the Development of the Park and the growth of Lancelin."</i></p>	
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APPENDIX 3



**COASTAL HAZARD RISK MANAGEMENT
ADAPTION PLANNING STRATEGY
(CHRMAP)**



Lancelin Caravan Park – Coastal Hazard Risk Management Adaption Planning Strategy
4 Hopkins Street, Lancelin

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Version Control

Report version	Revision No.	Purpose	H&A Author	Review date by officer	Date
Draft	1		Andrew Blee		2 November 2017
		Sent to client			3 November 2017
Final		Sent to client for lodgement			14 December 2017

Approval for Issue

Name	Signature	Date
Andrew Blee		



Lancelin Caravan Park – Coastal Hazard Risk Management Adaption Planning Strategy
4 Hopkins Street, Lancelin

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ATTACHMENTS

Attachment 1 – Managed Retreat Concept Plan



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1.0 INTRODUCTION

1.1 The Site

This Coastal Hazard Risk Management and Adoption Planning Strategy (CHRMAP) is only relevant to Lots 31 and 762 Hopkins Street, Lancelin as shown in Figure 1 below.

Figure 1 – Subject site

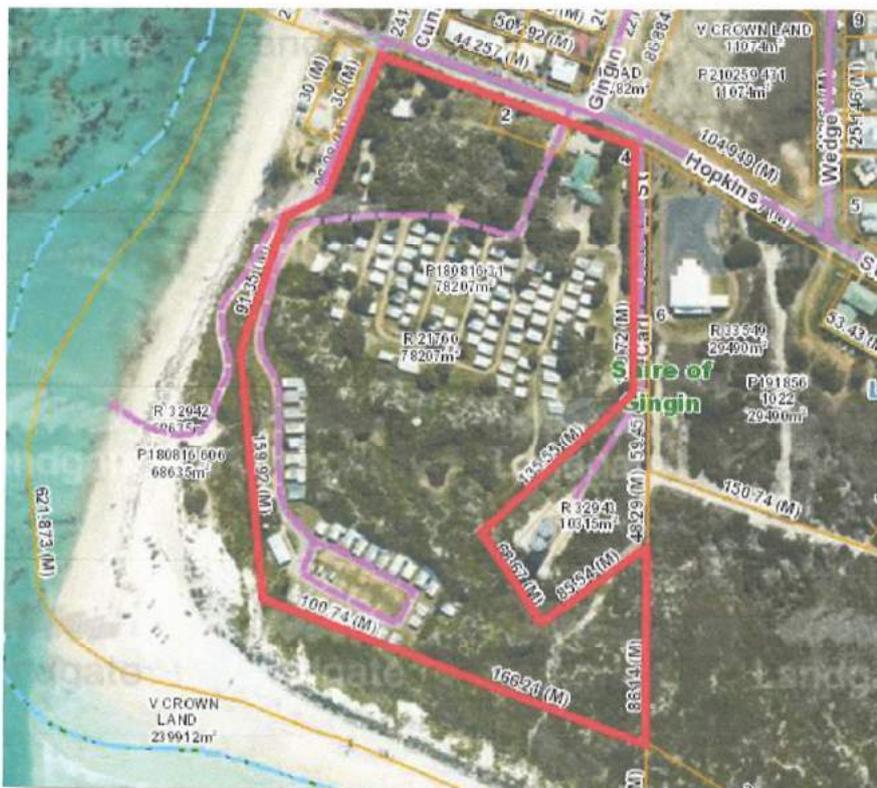


Figure 1 shows that the subject site is bounded by foreshore reserve on two sides to the west and south, which equates to approximately 645m of foreshore reserve frontage. There are a number of public amenities located in the adjoining reserve including the sea search and rescue club, toilets, car parking, grassed areas and shaded structures. This is therefore a well utilised section of the coastline.

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The Park also provides direct access for its visitors to the beach via a number of formal and informal paths. The Park currently provides the following facilities:

Caravan site powered	140
Caravan site unpowered	7
Camp site powered	4
Camp site unpowered	16
Overflow camp site unpowered	20
Total camp sites powered	144
Total camp sites unpowered	43
Overall total sites	187

The bulk of the caravan sites are currently used by annual or permanent park users.

The proposed redevelopment that this CHRMAP will accompanys proposes to provide the following accommodation options:

Caravan Sites	146
Camping sites	16
Overflow camp sites	20
Chalets	30

1.2 Background and context

Reg and Donna Cocking and Chris and Ornella Sialtsis were recently granted the Lease for the Lancelin Caravan Park which was issued on the basis that a significant redevelopment of the Park would be undertaken in a staged manner. The redevelopment will result in the accommodation options outlined above, improved facilities and additional recreation facilities such as an indoor pool and mini golf.

The review of the framework undertaken as part of the submission to obtain the lease identified the coastal risk associated with coastal processes and sea level rise. At the same time the Shire has been preparing a broader CHRMAP to deal with coastal risk which included preparing coastal hazard mapping. This mapping clearly shows the impact on the Park over the next 80 years without any adaption pathways being put in place. This mapping is included in this report.



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The Shire indicated that any development application would need to be accompanied by a CHRMAP to demonstrate how the coastal impacts on the Park will be dealt with over time.

1.3 CHRMAP Framework and Objectives

Coastal zones are vulnerable to adverse impacts from inundation and erosion hazards. The extent of the hazards is expected to increase in the future as it would be exacerbated by the projected sea level rise associated with climate change.

Despite the uncertainty surrounding the magnitude and extent of the adverse impact of combined sea level rise and storm surge, early consideration of coastal hazards and the adaptation and management of appropriate planning responses can provide economic, environmental and social benefits.

The CHRMAP objectives are to:

- Meet the requirements of the State Planning Policy No. 2.6 State Coastal Planning Policy (WAPC, 2013).
- Provide a long term pathway to reduce vulnerability to coastal hazards and build the long-term adaptive capacity of the Park to manage coastal hazard risk and to adapt.
- Identify effective management and adaptation measures and how these can be incorporated into short and longer term decision making.
- Be satisfactory to the Shire of Gingin and the Department of Planning, Lands and Heritage (DPLH).



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2.0 COASTAL HAZARD RISK

2.1 Identification

The context of the site is obviously determined to be one that is situated adjacent to the coast with a section of foreshore reserve between the caravan park to the west and south. This therefore illustrates the potential risk for impact on the usability of the park and the impact on coastal reserves to the west and south. The location of the site within this coastal context is evident at Figure 2 below.

Figure 2 – Coastal location of the site – Landgate December 2015



Coastal hazard risk identification is necessary given the location adjacent to the coast both on the west and south sides. Plans have been provided by the Shire of Gingin which indicates an assessment by MP Rogers and Associates Pty Ltd – Coastal and Port Engineers. This mapping is included at Figure 3 below. This indicates erosion hazard mapping that is likely and unlikely within the present timeframe, at 2030, 2070 and 2110.

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Figure 3 – Coastal erosion hazard mapping

Source: Shire of Gingin



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As evident in the Figures above it is clear that even by 2030 it is possible there will be impacts fringing the western and southern parts of the park along with decimation of the existing foreshore reserves, associated community buildings such as the Sea, Search and Rescue, ablutions, foreshore shelters, grassed areas and some coastal car park areas /roads. By 2070, it is possible that a large section of the park could be affected by retreating coastline due to rising sea levels and storm inundation.

A further analysis has also been undertaken of potential impacts on the coast from a review of aerial photography obtained from Landgate which is publicly available between 1999 and 2016. From a review of this aerial photography as shown in Figures 4, 5 and 6 below, it is noted that changes between winter and summer are generally experienced around the sand spit immediately to the south west of the caravan park. This is a popular recreational use point. It appears there is a general expanding of sand spit during the summer periods with accumulation of sand particularly along the south west stretching outwards towards Edward Island. During winter it is evident that that the sand spit is removed resulting in the flattening of the beach in this location. This shows that there is obviously a significant movement of sand within this area and particularly to the west of the park.

One noteworthy observation is that with the increase and decrease of sand at the spit to the south west of the park at various times of the year, there seems to be a gradual decline to the dunal systems immediately to the west of the park and in particular to the west of the Sea, Search and Rescue building. A photograph below taken from the year 2000 (June) shows a wide grassed area to the west of the Sea, Search and Rescue building and some sand spit area to the south west even though this is a winter photograph.



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Figure 4 – Photograph of June 2000

Source Landgate



Another photograph taken in March 2011 shows a wide sand spit however a change in landscape has begun to occur immediately west of the park particularly in the north-west corner resulting in a new access track to the sand spit. This was likely to replace the previous access across the beach frontage that was previously available but increasingly unreliable. Interestingly, the dunal systems to the south of the park appear to have been minimal over the same period of time.

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Figure 5 – Photograph of March 2011

Source Landgate



The latest photograph from September 2016 shows a winter configuration of the sand spit highlighting the lack of sand spit. It also highlights further impacts to the north west of the park with erosion now getting closer to the Sea Search and Rescue building. Over the 17 year period shown in these photographs, it is estimated that 50 metres of the foreshore has been lost particularly to the west/north west of the park. During this time impact in the southern parts appears to be minimal if at all. This is considered to be a result of the protection the reef and Edward Island provides against a dominant south-westerly wind system particularly during winter. Further it appears the northwest storms appear to be doing the coastal damage.

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Figure 6 – Photograph of September 2016

Source Landgate



This basic analysis suggests that the greatest risk to the Lancelin South Caravan Park from ocean erosion could be initially from the west and if the same rate of erosion occurs perhaps could be impacting the boundary of the park within 15 to 20 years. The distance from the existing high water mark in 2017 there appears to be 50metres of land between the park boundary and the ocean (thus suggesting around another 17 years before impacts occur). Notwithstanding this, if this occurs as stated previously, existing Council infrastructure and buildings on the foreshore such as Sea, Search and Rescue buildings, grassed areas and coastal shelters and public ablution blocks, car parking facilities and roads, will also be affected and potentially lost. Private houses to the north of the park could also come under threat.

The result of the assessment of the above information indicates there is a risk of impact on the park probably somewhere between 2030 and 2035. If unmanaged, this would continue and incrementally impact on the park most likely in the western parts but also potentially in the south.

The broader risks to the coastline in the area have been acknowledged by the Shire and the Shire is in the process of developing a CHRMAP for the broader area. It will be imperative that this Strategy compliments the outcomes and strategies of the broader CHRMAP. Given the broader CHRMAP is in draft form, the

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general compliance has been outlined in section 2.3 below, based on the information provided by the Shire.

The identification and acknowledgment of the risk outlined above, has formed the basis of the adaption pathways to address this risk. It is also considered important to understand the impacts that this risk may have on other aspects of the planning framework to ensure that these can be built into the adaption pathway. These are assessed in section 2.2 below.

2.2 Impact of risk on planning framework

It is considered that the identified coastal hazard risk will have an impact on the planning framework over time. These impacts include reduction in setbacks from recreation areas open to the public, the total loss of recreation areas and its impact on the public's access to the foreshore and ongoing bushfire management.

The continual regression of the foreshore area in proximity to the park and particularly to the west already has and will continue to have a significant impact on the reserve area and the park itself which will in turn impact on the land uses and public access to the beach. Figure 7 below shows the current zoning and reservations over the land in this area and the estimated location of the current high water mark. This demonstrates the decline in the area set aside for Public Recreation.

It is evident from this and the previous coastal hazard mapping that it will come to a point where there is no longer any reserved land to provide access to the beach for the public. This is unless a concerted effort is put by the Shire and community to obviate such risks. Whilst the park is owned by the Crown and vested in the Shire, it is considered that through the recommended adaption pathway, that the zoning and reservation of the land be considered in the longer term and the corresponding impacts on the management order from the State.

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Figure 7 – Zoning Map



Given that the proposed coastal risk will impact on access both to the foreshore area and the park itself, it is important to demonstrate that this will not impact on its ability to meet the requirements of the Bushfire Policy. Preliminary advice from Gary McMahon (Level 3 Fire Consultant) suggests that based on the sites fire risk associated with the vegetation and topography that at least two (2) egress routes for all residents within the park is prudent. Currently there are four (4) methods of entry/egress as shown in Figure 8 below.

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Figure 8 – Entry and egress points



Toward 2030, it is considered that the emergency gate to the west of the park as shown above may be compromised. By 2070, the proposed main entry into the park may be compromised leaving 2 remaining entry/egress points. By 2100 it is considered that the majority of the park area may be lost and as such may no longer be in operation given that the recommended adaption pathway is retreat. Based on the above, it is considered the park will comply with the relevant bushfire requirements for the life of the development. There is also an opportunity to utilise the adjoining water tank access road as an alternative. This could be reviewed in the long term.

2.3 Compliance with broader CHRMAP for the area

At the time of preparation of this CHRMAP, the broader version being prepared by the Shire was provided in a limited release version which only included risk identification and associated mapping. As such information relating to what adaption measures are proposed to be implemented for the surrounding areas have not yet been finalised and have not been made available to Halsall and Associates or the Park operator at this time. Given that the subject land is bounded by foreshore reserve, it is considered that the proposed retreat pathway will not impact on any strategies implemented by the Shire on the adjoining reserve areas. The only impact this will have is that the retreat mechanisms proposed in this CHRMAP may be delayed if the Shire decide to put protective measures in place, particularly to the west of the park.

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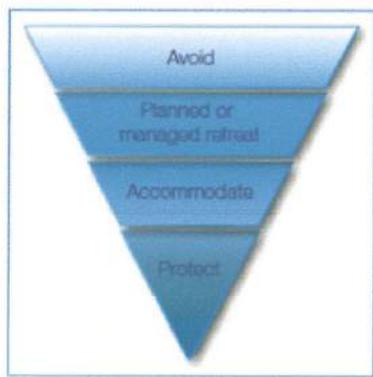
2.4 Adaption pathways

There are a number of adaption pathways available to the Lancelin Caravan Park to deal with the coastal hazard risk over time. Each adaption pathway has subsequent costs that will ultimately be the determining factor in whether or not each pathway is viable. Consideration also needs to be given to the broader adaption pathways along this section of coastline, as different options have potential downstream impacts if dealt with in isolation.

The four main adaption pathways that are considered achievable are shown in Figure 9 below and include:

- Protection – implies prevention using hard and soft sea defences;
- Accommodation – is reduction in the sensitivity and/or exposure to the impacts;
- Managed Retreat – major changes to land use and relocation of homes and infrastructure under threat; and
- Avoid – avoid development in areas of at risk of coastal hazard.

Figure 9 – Risk Management and Adaption Hierarchy (WAPC 2014)



All four of these pathways have a suite of policy options to achieve them as outlined in Table 1 below. The table also provides a summarised multi-criteria and cost benefit analysis to determine which option is most viable. It is important to note that the table only contains options that can be implemented based on the CHRMAP being limited to the Park only, the proposed re-development of the Park and the nature of existing development. The Shire may choose other options for the adjoining recreation reserves that will benefit the Park.

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Table 1 – Pathway Options and assessment

Adaption Option No.	Pathway name	Pathway type	Benefits of adaption pathway	Multi-criteria and cost benefit analysis	Proposed triggers/actions
1	Leaving assets unprotected.	Planned/managed retreat.	Allows for the natural recession of the shoreline over the long-term.	Financial resources required is minimal. Only required to implement repairs and maintain public safety through removing dangerous infrastructure and buildings. This option has a greater level of risk to the public as all actions are reactionary as opposed to planned.	The only trigger is the impact on public safety through buildings and other coastal assets. The action is to remove the public risk on a needs basis.
1.1	Demolition/ removal /relocation of assets from inside hazard area.	Planned/Managed retreat.	This option is good for low value assets that do not warrant construction to a standard to withstand the hazards but still allows them to be used for as long as possible.	This pathway recognises the social and economic value of providing public amenities in coastal locations and allows them to operate for as long as possible. Relocation or demolition can be planned to coincide with replacement or refurbishment therefore avoiding unnecessary spending in the longer term. The accommodation options associated with the park are temporary in nature which allows this option to be cost effective. Buildings can either be relocated elsewhere in the Park or transferred off-site.	The trigger for this pathway will be predetermined based on the greatest risk areas and assets anticipated to at risk first. The actions would be to either relocate elsewhere in the park of relocation off-site. Buildings that cannot be relocated will need to be demolished at the appropriate time.
2	Emergency evacuation plan.	Accommodate	Provides for park users safety in cases of inundation from coastal impacts by providing a clear framework as to how this will be dealt with.	Cost effective option for addressing the consequences of inundation to ensure the safety of park users. This option does not address other coastal impacts such as erosion and sea level rise. Would be most effective being implemented in conjunction with other pathways particularly in the early stages where other impacts have not yet become	When the Park starts having inundation impacts.

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			The plan may also include times when the park should close due to impacts.	prevalent.	
3.2	Design assets to withstand impacts.	Accommodate	This is most beneficial where assets cannot be easily avoided or relocated such as the indoor pool.	This option whilst likely being more expensive at construction, save costs over time as they withstand the impacts for longer periods and therefore don't require removal for a longer period of time. This pathway is only effective where the impacts subside. Where sea level rise and coastal erosion occur, this option is less effective as it will be inaccessible on a permanent basis. This will therefore need to be carefully weighed up based on anticipated timeframes for the different impacts to kick in, relative to the life of the building and the timing of upgrading and maintenance.	Where impacts are anticipated in the short term relative to when the building or re-development is scheduled to commence.
4	Seawalls	Protect	This option could be implemented along the boundary of the Park at the appropriate time and would minimise the impacts of erosion, storm surge and associated inundation.	This option would be extremely costly to the Park with some 645m of boundary abutting foreshore reserve. It is highly likely the cost would well out way the cost to relocate or remove assets from the site. Ongoing maintenance of the seawall would also need to be factored in. This option would also need to integrate with the broader CHRMAP plan for the area otherwise there is potential for downstream impacts from the seawalls which may put other areas at greater and accelerated risk.	The trigger for this would be when the site becomes close to risk of impacts from erosion and storm surge.

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3.0 PREFERRED ADAPTION STRATEGY

Based on Table 1 above and the capacity of the Park to expend financial resources, the preferred and most viable option is 1.1 - Demolition/ removal/ relocation of assets from inside the hazard area as the planned/managed retreat pathway and 2 – Emergency Evacuation Plan as the accommodate pathway.

These options can be further broken into specific actions that will be implemented over time and key strategies to measure the appropriate time for each action. As such this section will explore:

- Measuring the coastal risk;
- Actions - evacuation, relocation and removal; and
- Total retreat.

3.1 Measuring the coastal risk

It is important that a Strategy be put in place to ensure that the coastal risk are continually measured to ensure that each action is implemented at the appropriate time. Given that long term nature of impacts and the fact that there is a foreshore reserve adjoining the park that is not managed by the Park owners, the initial phase of measurement is mainly visual through photographs and in conjunction with the Shire and their monitoring mechanisms. More specifically this will involve:

- Monitoring the impacts on the adjoining foreshore and the loss of assets in this location. This will be undertaken in accordance with the Department of Transport's – 'Coastal Infrastructure – How to photo monitor beaches' at the following link:
https://www.transport.wa.gov.au/mediaFiles/marine/MAC_IS_HowToPhotoMonitorBeaches.pdf
Depending on the Shire's preferred option to manage this section of foreshore, the loss or relocation of the Sea Search and Rescue Club and toilets will be a key indication that coastal impacts on the Park are imminent.
- The trigger point to commence retreat will be when the most landward part of Horizontal Shoreline Datum (HSD) is within 40m of the most seaward point of a development or building. In addition to the photo monitoring above, It is considered that the most effective way to do determine when the impacts reach this point is using pegs driven a minimum 1m into the ground. This will involve marking a peg 40m from the most seaward building and using other pegs to mark the progression of the coastal impacts at the end of each winter when impacts are at their greatest. The difference between the impact and the 40m mark will give a clear indication of when the impacts will intersect this line and trigger retreat. The difference annually should be recorded in a log book. Where the impacts cross the 40m line but are limited to some winter inundation, this area can be utilised for caravan and camping sites in the warmer months with evacuation measures

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implemented in accordance with an endorsed evacuation plan. These areas will be abandoned when the impacts impede consistently across the year and the need to maintain a foreshore reserve for public access. Based on the mapping and specific aerial photography analysis it is anticipated that this will need to commence around 2030.

3.2 Actions

As outlined above, the monitoring will dictate when and what actions are required to be undertaken.

Section 3.3 outlines how and when the plan will be enforced. The actions are as follows:

- Observe only to monitor the progression of the impacts as outlined in section 3.1. Estimated to be undertaken from now until around 2030.
- Prepare and implement an evacuation plan during appropriate times of the year to allow for the continual use of the Park where land can be used for other uses such as recreation or caravan and camping sites. Consideration may need to be given to the relocation of the reception/games room given its proposed location abutting the foreshore reserve to allow for the use of other areas of the Park that are not affected by inundation. Attachment 1 shows the progressive retreat plan indicating that the reception will be relocated to the boom gate exit (opposite Gingin Road - Hopkins Street intersection) at the appropriate time. Estimated to commence from around 2030. This is actually the current entry /exit location which will likely result in the reconfiguration of the movement network and how vehicles travel around the park.
- Once coastal impacts have moved within the parameters outlined in section 3.1, the western most chalets will begin to be relocated further east to occupy the existing caravan and camping sites. At the same time areas to the west that can still be used in the dryer summer months will be used for caravan and camping until such time as it is no longer safe or additional land is required to maintain a foreshore reserve for public access. Services including power, water, drainage and effluent disposal will need to be removed at the same time as the buildings or where the impacts create a danger to park users or the public. As mentioned above, Attachment 1 shows how this will be achieved. Estimated to be required from 2030 onwards.

3.3 Total retreat

There will come a point where a total retreat of the Park will be required as the impacts will make the running of the Park no longer viable. This may coincide with the Shire identifying and setting aside an alternative site for a caravan park. The total retreat point is shown as a line on Attachment 1. It is estimated that the Park will reach this point at around 2090.

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It is important to note that the estimated timeframes outlined in sections 3.1, 3.2 and 3.3 above are based on the assumption that the Shire will choose not to protect the foreshore reserve surrounding the park as part of their CHRMAP currently being prepared. Should they choose to protect this part of the coastline then these timeframes will likely extend out significantly.

3.4 Enforcement

Enforcement of this CHRMAP will be through the following mechanisms:

- Conditions of development approval:

It is considered that the most appropriate mechanism to commence the enforcement of the CHRMAP is by including the following conditions on any future development approvals:

"The CHRMAP dated and any subsequent reviews endorsed by local government will be implemented to the satisfaction of the local government."

"An evacuation plan is to be prepared and implemented to the satisfaction of the local government that addresses the requirements of the CHRMAP and Bushfire Management Plan."

- It is also proposed that the requirement to implement the CHRMAP be included in the lease agreement at the next review date.
- It is also proposed that the Shire initiate an Amendment in the Scheme to include this, the area subject to the broader CHRMAP and any other sites that have prepared or are required to prepare a CHRMAP in a Special Control Area as outlined in the WAPC's draft *Planning or Managed Retreat Guidelines*.



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4.0 MONITORING AND REVIEW

Monitoring and review is an important part of managing coastal hazard risk, and completes the risk management framework. The preferred adaptation pathways outlined in Section 3 should be reviewed from time to time, in order to evaluate its success and to propose changes (as required) that would reflect changing circumstances. The review should specifically consider changes in:

- Understanding of coastal hazard;
- Its impacts or its management;
- Lessons learnt from inundation and erosion events; and
- Exposure, vulnerability or stakeholder's preference.

Such checks keep the overall understanding of coastal hazard risk and management measures relevant and up to date and ensure that the preferred adaption pathway is still the most appropriate for the circumstances. The review should also consider the Shire's CHRMAP and any reviews that are undertaken to that document that may impact on the subject land and the chosen pathways.

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5.0 REFERENCES

WAPC (2017) Draft Planned or Managed Retreat Guidelines. Published by the Western Australian Planning Commission.

WAPC (2014) Coastal hazard risk management and adaptation planning guidelines. Published by the Western Australian Planning Commission.

WAPC (2013) State Planning Policy No2.6 State Coastal Planning Policy. Prepared by the Western Australian Planning Commission. Gazetted 30 July 2013.

Department of Transport (2012) Coastal Infrastructure – How to photo monitor beaches. Published by the Department of Transport September 2012.

MP Rogers and Associates (2016) Cervantes, Lancelin and Ledge Point Erosion Mapping. Prepared for the Shires of Gingin and Dandaragan.

Landgate (2017) Aerial photography from 2000, 2011 and 2016. Provided by the Government of Western Australia.

Shire of Esperance (2016) Esperance Coastal Hazard Adaption Strategy. Prepared by BMT JFA Consultants.



11.4. OPERATIONS-CONSTRUCTION

Nil

11.5. ASSETS**11.5.1 RESURFACING OF OUTDOOR NETBALL COURTS - LANCELIN SPORTING COMPLEX**

LOCATION: LANCELIN SPORTING COMPLEX
FILE: BLD/4619
REPORTING OFFICER: RAEES RASOOL – EXECUTIVE MANAGER ASSETS
REPORT DATE: 17 APRIL 2018
REFER: NIL

OFFICER INTEREST DECLARATION

Nil

PURPOSE

To consider the resurfacing of the outdoor netball courts located at the Lancelin Sporting Complex.

BACKGROUND

Through the Shire's community grants process, the Lancelin Ledge Point Netball Association (LLPN) requested court construction and surfacing of the existing netball court at the Lancelin Sporting Complex (see **Appendix 1**). The request was for the Shire to resurface the court to cater for tennis, basketball and netball due to the growing demand and training needs of the community.

The request was not fully scoped or cost estimated but requested the construction of two courts reoriented in the east-west direction. This would have required significant reconstruction of the pavement base, an additional asphalt wearing course, new and relocation of existing fencing, additional lighting and reconstruction of the gravel access road, in addition to a court resurfacing. Council discussed this request at its Concept Forum on 4 April 2018, with the general consensus being that the application would not be supported.

However, Council agreed that the existing asphalt pavement was not suitable for netball and warranted a resurfacing, requesting staff to obtain costs for the resurfacing of the existing netball court only. A quote was obtained (see **Appendix 2**) and is summarised below:

Option	Brief Scope	Cost (Ex GST)
1: Netball	<ul style="list-style-type: none"> • Patch existing cracks and resurface the existing court • Line marking for one netball court 	\$10,960
2: Netball & Basketball	<ul style="list-style-type: none"> • Patch existing cracks and resurface the existing court • Line marking for one netball court and one basketball court • Supply and install two combination basketball/netball towers 	\$18,305

3: Netball, Basketball and Tennis	<ul style="list-style-type: none"> • Patch existing cracks and resurface the existing court • Line marking for one netball court, one basketball court and one tennis court • Supply and install two combination basketball/netball towers • Supply and install two tennis posts, net and winder 	\$20,560
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COMMENT

Council should be aware that resurfacing over the existing asphalt court will mean that any surface drainage issues, cracking and deflections will be reflected in the resurfaced court and are not covered by the product warranty.

STATUTORY ENVIRONMENT

Nil

POLICY IMPLICATIONS

Nil

BUDGET IMPLICATIONS

The cost, depending on the outcome of Council's deliberations, will be funded by a transfer from the Recreational Reserve.

STRATEGIC IMPLICATIONS

Shire of Gingin Strategic Community Plan 2017-2027

Focus Area	<i>Infrastructure and Development</i>
Objective	<i>Community wanted improvements in roads, footpaths, and sport and recreation facilities</i>
Outcome	<i>3.2 The Shire provides fit for purpose community infrastructure in a financially responsible manner.</i>
Key Service Area	<i>Community Infrastructure</i>
Priorities	<i>3.2.1 Improve the use and financial sustainability of community infrastructure.</i>

VOTING REQUIREMENTS – SIMPLE MAJORITY**RECOMMENDATION**

It is recommended that Council agree to:

1. Patch the existing cracks, resurface the existing court and line mark one netball court only; and
2. Amend the adopted 2017/18 Budget in accordance with the following table:

Account	Description	Current Budget	Revised Budget	Surplus Deficit
11369256	Transfer from Reserve – Lancelin Sporting Complex	\$0	\$10,960	\$10,960
11359108	Transfer to Lancelin Sporting Complex – Resurfacing of Netball Courts	\$10,960		-\$10,960
			Net Effect	NIL

RESOLUTION

Moved Councillor Fewster, seconded Councillor Elgin that Council agree to:

1. Patch the existing cracks, resurface the existing court and line mark one netball court only; and
2. Amend the adopted 2017/18 Budget in accordance with the following table:

Account	Description	Current Budget	Revised Budget	Surplus Deficit
11369256	Transfer from Reserve – Lancelin Sporting Complex	\$0	\$10,960	\$10,960
11359108	Transfer to Lancelin Sporting Complex – Resurfacing of Netball Courts	\$10,960		-\$10,960
			Net Effect	NIL

CARRIED BY ABSOLUTE MAJORITY

5-3

For: Councillors Collard, Court, Elgin, Fewster, Morton
Against: Councillors Johnson, Lobb, Peczka

APPENDIX 1



APPENDIX 2



Tel: 08 9244 2299
 Fax: (61) 8 9244 1709
 Email: enquiries@sportsurfaces.com.au
 Post: PO Box 2575 Clarkson WA 6030
 ABN: 58 521 861 188
www.sportssurfaces.com.au

To:	Raees Rasool	From:	Clive Peckham
Company:	Shire of Gingin	Date:	9 th April 2018
Phone:	0439 288 554	Subject:	Lancelin Netball Court
Email:	ema@gingin.wa.gov.au		

The contents of this quote are intended for the persons / Company it is addressed to. It may contain legally confidential and privileged information. If this quote is received in error, please call this office immediately to advise us of the mistake. We would appreciate your co-operation in this matter

Ref: LtQ9427B

Dear Raees

Sports Surfaces has pleasure in providing the following quotation to resurface the sports court at Lancelin and line mark for three different options for your consideration.

Sports Surfaces

Sports Surfaces is the agent in Western Australia for all Plexipave Products. We have laid the Plexipave Pure Acrylic Surfacing Systems on more than 4,000 playing surfaces throughout WA. Plexipave/Plexicushion was also selected as the preferred surface on thirteen courts at the WA State Tennis Centre, at the 1996 Atlanta Olympic Games and was selected as the Australian Open Series surface. It has also been laid at the indoor and outdoor Hopman Cup courts at Burswood and more recently at the Perth Arena.

Clive Peckham has been involved in the sports industry with an excellent reputation for over 35 years; he is highly experienced at national and international level with an excellent track record of installing Multi Sports Surfaces in Australia, the UK and Globally.

- Training and leadership of staff in the installation of all aspects of the Plexipave systems and Health and Safety requirements set by the Government.
- Designing and the building of Plexipave and Har-Tru clay tennis facilities including courts constructed at *Wimbledon Lawn Tennis Club*.

This quotation is based on the understanding that: -

- The works are to be carried out during favorable weather conditions.
- There is unrestricted access to both a power and water supply close to the facility. (FOC)
- Clear access for the delivery of materials and equipment to site is to be provided.
- No allowance has been made for security or cost to store, if required a variation will be applied.
- After inspection of the courts a variation will be required for any further remedial works.

Scope of Work - Option 1 ~660m²

- Kango and patch visible cracks of approximately 30LM with a compatible *Plexipave Court Patch Binder*

- Supply and lay a three coat, *Plexipave* Pure Acrylic Surface System comprising one coat of *Plexipave* Acrylic Resurfacer (base coat) and two coats of *Plexipave* Fortified Finish in Light Green.
- Line mark by hand one netball court in *Plexipave* colours including line sealer.

\$10,960.00

Scope of Work Option 2 ~660m²

- Kango and patch visible cracks of approximately 30LM with a compatible *Plexipave* Court Patch Binder
- Supply and lay a three coat, *Plexipave* Pure Acrylic Surface System comprising one coat of *Plexipave* Acrylic Resurfacer (base coat) and two coats of *Plexipave* Fortified Finish in Light Green.
- Line mark by hand one netball court and one basketball court in *Plexipave* colours including line sealer.

\$11,430.00

- Supply and install two combination basketball/netball towers in galvanized steel

\$6,875.00

Scope of Work – Option 3 ~660m²

- Kango and patch visible cracks of approximately 30LM with a compatible *Plexipave* Court Patch Binder
- Supply and lay a three coat, *Plexipave* Pure Acrylic Surface System comprising one coat of *Plexipave* Acrylic Resurfacer (base coat) and two coats of *Plexipave* Fortified Finish in Light Green.
- Line mark by hand one netball court, one basketball court and one tennis court in *Plexipave* colours including line sealer.

\$12,010.00

- Supply and install two combination basketball/netball towers in galvanized steel
- Supply and install two galvanized tennis posts in sleeves, including net and stainless-steel winder.

\$8,550.00

GST

An additional 10% GST is applicable on the above mentioned price.

Product Profile *Plexipave*

The *Plexipave* Pure Acrylic Surface System is accredited with an **ITF CLASSIFICATION** and is regarded by Tennis Australia as a **Tier 1 Product**. A *Plexipave Prestige* Cushion System is the surface for the tennis courts at the **Australian Open, Hopman Cup (Perth Arena) and State Tennis Centre**.

Plexipave has been laid on over **5000** courts throughout WA by Sports. *Plexipave* Surface Systems are products of the **most advanced** sport surface producer in the world. This is reflected in the applied surface performance, colour stability and **long-term cost saving attributes**.

Warranty

Both **three-coat**, UV stabilized, Pure Acrylic Surface Systems carry a five-year warranty in respect to workmanship and materials subject to fair wear and tear. It is also dependent on a proper record / schedule of the suggested maintenance program and any other works undertaken being properly maintained, dated, and signed.

The warranty offered will not cover cracks that may re-establish in the acrylic surface that either emanates from sub-surface or base movement, or, any differential cracking due to different base mediums underlying the acrylic coatings.

Aside from the UV stability of the product, the life expectancy of any acrylic surface system is equally dependent on the amount of usage the facility is subject to. i.e. whether the surface is subject to one or twenty sessions a week.

This quotation is open for acceptance for **30 days** from the date thereof and thereafter is subject to confirmation.

Should you require any further information please call this office on 9244 2299 (our ref: LtQ9427B).

Regards,

Clive Peckham



12. MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

13. COUNCILLORS' OFFICIAL REPORTS

13.1 AVON MIDLAND ZONE WHEATBELT 2018 CONFERENCE - 5-6 APRIL 2018

LOCATION: JURIEN
FILE: 20-1
COUNCILLOR: FRANK JOHNSON
REPORT DATE: 17 APRIL 2018

Councillor Johnson advised that he had attended the Avon Midland Zone Wheatbelt 2018 Conference at Jurien together with Councillor Court and the Acting Chief Executive Officer, Kaye Lowes. Council's newly-appointed Chief Executive Officer, Aaron Cook, was also in attendance at the Conference.

Councillor Johnson that the following presentations were of particular interest:

1. Steve Joske CSC (State Recovery Coordinator for the Office of Emergency Management)
Future Directions for Recovery in Western Australia
2. Jo Drayton (Wheatbelt Suicide Prevention Coordinator)
Why Suicide Prevention is Everyone's Business
3. Barry Urquhart (Keynote Speaker)
Changes, Challenges and New Opportunities; and
The Next BIG Steps – Formulate, Document, Implement.

13.2 AVON MIDLAND ZONE WHEATBELT CONFERENCE - 5-6 APRIL 2018

LOCATION: JURIEN
FILE: 20-1
COUNCILLOR: JAN COURT
REPORT DATE: 17 APRIL 2018

Councillor Court also reported on her attendance at the Avon Midland Zone Wheatbelt Conference and advised that she had found the presentation by Rebecca Tomkinson (Chair Wheatbelt Development Commission) very interesting.

Councillor Court advised that the Conference was well patronised by approximately 150 attendees and encouraged any Councillors with questions to approach herself or Councillor Johnson for further information.

13.3 2018 GINGIN DISTRICT HIGH SCHOOL ANZAC DAY CEREMONY

LOCATION: GINGIN DISTRICT HIGH SCHOOL
FILE: 20-1
COUNCILLOR: JOHN ELGIN
REPORT DATE: 17 APRIL 2018

Councillor Elgin advised that he had attended the Gingin District High School's 2018 ANZAC Day ceremony on Friday, 13 April 2018. He was greatly impressed by the ceremony, which was run by the student body.

13.4 INSPECTION OF JURIEN BAY VILLAGE - 5 APRIL 2018

LOCATION: JURIEN
FILE: 20-1
COUNCILLOR: IAN COLLARD (SHIRE PRESIDENT)
REPORT DATE: 17 APRIL 2018

Councillor Collard reported on his meeting with H & H Development Enterprises Pty Ltd, in company with Councillor Court and the Acting Chief Executive Officer, in Jurien on Thursday, 5 April 2018. H & H Development Enterprises Pty Ltd are the proponents of the prospective lifestyle village on Lot 11 Old Mooliabeenee Road, Gingin.

Councillor Collard advised that the inspection was very interesting and provided a good indication of the standard of development that could be expected on Lot 11 in the event that approval is granted by Council.

14. NEW BUSINESS OF AN URGENT NATURE

Nil

15. MATTERS FOR WHICH MEETING IS TO BE CLOSED TO THE PUBLIC

Nil

16. CLOSURE

There being no further business, the Shire President declared the meeting closed at 4.44pm.

The next Ordinary meeting of Council will be held in Council Chambers at the Shire of Gingin Administration Centre, 7 Brockman Street, Gingin on Tuesday, 15 May 2018 commencing at 3.00pm.

Councillor I B Collard
Shire President
15 May 2018